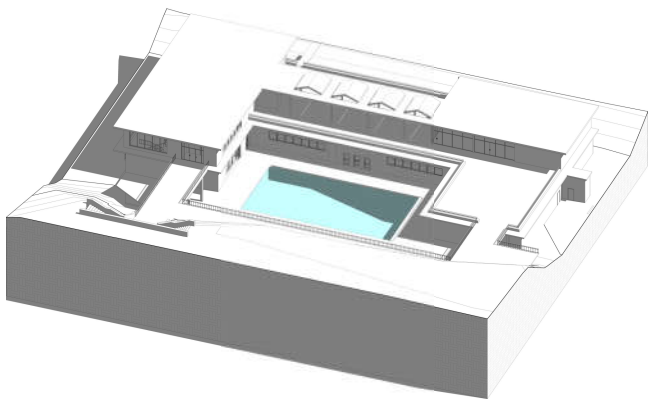


RADIUM HOT SPRINGS FACILITY DOOR AND WINDOW RENOVATIONS

ISSUED FOR TENDER
2021-04-07



ARCHITECTURAL

COVER ARCHITECTURAL COLLABORATIVE INC.
1-96 BAKER ST.
NELSON, BC V1L 4G9
250 354 4445

DRAWING LIST

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REVISIONS		
No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

Radium Hot Springs
Doors and Windows
Renovation

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT

19063, Flt 705

DATE

2021-04-07

SHEET

Cover Page

A000

NATIONAL BUILDING CODE REVIEW

PROJECT INFORMATION

Address:

5420 BC-93, Radium Hot Springs, BC V0A 1M0

Building Area approx:

Existing: 1533m²

- New

- Total: 1533m²

Building Height:

2 Storeys

Sprinklers:

Yes

Stairs:

1

Major Occupancies:

Group A, Division 2

Group E

Occupant Load:

Basement Level:

Use: Storage

Area req'd per person: 46

Area: 1740.16 m²

Occupant Load: 37.8

Ground Level:

Use: Mercantile Use, Change rooms

Area req'd per person: 3.7

Area: 1391 m²

Occupant Load: 375.8

Message Rooms Ground Level:

Use: Space with fixed seats

Area req'd per person: -

Occupant Load: 2 per room x 8 = 16

Second Level:

Use: Mercantile Use, Lobby

Area req'd per person: 3.7

Area: 429.3 m²

Occupant Load: 116

Offices Second Level:

Use: Office

Area req'd per person: 9.3

Area: 39.5 m²

Occupant Load: 4.2

Second Level Cafe/Kitchen:

Use: Dining, Beverage and cafeteria space

Area req'd per person: 1.2m

Area: 276.34 m²

Occupant Load: 230.37

Total Occupant Load:

778.8

Division A
1.1.1.1. Application of this Code
1) This Code applies to the design, construction and occupancy of all new buildings, and the alteration, reconstruction, demolition, removal, relocation and occupancy of all existing buildings.
1.3.3.2. Application of Parts 3, 4, 5, and 6
1) Parts 3, 4, 5, and 6 of Division B apply to all buildings described in Article 1.1.1.1. and
b) used for major occupancies classified as
i) Group A, assembly occupancies,

1.3.3.1. Separation of Major Occupancies
Group A-2 and Group E = 2h
3.2.2.8. Exceptions for Major Occupancies
1) In a building in which the aggregate area of all major occupancies in a particular Group or Division is not more than 10% of the floor area of the storey in which they are located, these major occupancies need not be considered as major occupancies for the purposes of this Subsection, provided they are not classified as Group F, Division 1 or 2 occupancies.

3.2.2.26. Group A, Division 2, up to 2 Storeys, Increased Area, Sprinklered
1) A building classified as Group A, Division 2 is permitted to conform to Sentence (2) provided
a) except as permitted by Sentences 3.2.2.7 (1) and 3.2.2.18 (2), the building is sprinklered throughout,
b) it is not more than 2 storeys in building height, and
c) it has a building area not more than
i) 2 400 m² if 2 storeys in building height,
2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and
a) floor assemblies shall be fire separations and, if of combustible construction, shall have a fire-resistance rating not less than 45 min,
b) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min, and
c) load-bearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall
i) have a fire-resistance rating not less than 45 min, or
ii) be of noncombustible construction.

3.2.4.1. Determination of Requirement for a Fire Alarm System
1) A fire alarm system shall be installed in buildings in which an automatic sprinkler system is required by this Part.

3.2.5.8. Standpipe Systems
Not required. Only two storeys, below 14m between grade roof height and does not exceed 2000m² in Building Area.

3.3.1.13. Doors and Door Hardware
1) Except in locations described in Subclauses (1)(d)(i) and (ii), in doorways, where the threshold is not flush with the floor, the threshold shall be not more than 13 mm higher than the finished floor surface, and where it is higher than 6 mm, shall be beveled to a slope no steeper than 1 in 2.

SECTION 3.4 EXITS
3.4.2. Number and Location of Exits from Floor Areas

3.4.2.1. Minimum Number of Exits
1) Except as permitted by Sentences (2) to (4), every floor area intended for occupancy shall be served by at least 2 exits.

3.4.2.6. Location of Exits
1) Except as permitted by Sentences (2) and 3.3.2.5.(6), if more than one exit is required from a floor area, the exits shall be located so that the travel distance to at least one exit shall be not more than
c) 45 m in a floor area that contains an occupancy other than a high-hazard industrial occupancy, provided it is sprinklered throughout.

SECTION 3.8 ACCESSIBILITY

3.8.2.2. Entrances
2) A suite of assembly occupancy, business and personal services occupancy or mercantile occupancy that is located in the first storey of a building, or in a storey to which an accessible path of travel is provided, and that is completely separated from the remainder of the building so that there is no access to the remainder of the building, shall have at least one accessible entrance.
4) At an accessible entrance that includes more than one doorway, only one of the doorways is required to be designed in accordance with Subsection 3.8.3.

3.8.2.7. Power Door Operators
1) Except as provided in Sentences (2) and (3), every door that provides an accessible path of travel through an entrance referred to in Article 3.8.2.2., including the interior doors of a vestibule where provided, shall be equipped with a power door operator that complies with Subsection 3.8.3., and allows persons to activate the opening of the door in the intended direction of travel, where the entrance serves
c) a building of assembly, care, business and personal service or mercantile major occupancy more than 500 m² in building area.
3) Only the active leaf in a multiple leaf door in an accessible path of travel need conform to the requirements of this Article.

3.8.3.6. Doorways and Doors
2) Every doorway that is located in an accessible path of travel shall have a clear width not less than 850 mm.
6) Power operated doors operators required by Sentence 3.8.2.7 (1) shall
a) have operators that activate automatically or through the use of controls that
i) are located in an accessible path of travel
ii) are marked with the International Symbol of Access,
iii) are located clear of the door swing and not less than 600 mm and no more than 1 500 mm from that door swing,
iv) comply with Subclause 3.8.3.8.(1)(b),
v) are operable from a height between 150 mm and 300 mm as well as between 900 mm and 1 100 mm above the floor, and
vi) are operable by touching or approaching any part of their surface with a fist, arm or foot, and
b) unless equipped with safety sensors, have operators that
i) fully open the door in not less than 3 s, and
ii) require a force not more than 65 N to stop movement of the door, and
c) have a clear and level space extending the height of the doorway and not less than 1 100 mm long by the

1 Ground Level Travel Distance
1 : 300

2 Second Level Travel Distance
1 : 300

GENERAL CONSTRUCTION NOTES

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS, SPECIFICATIONS, AND FINISHES SCHEDULE
- CONFIRM ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA 2015 EDITION (NBCC) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BY-LAWS.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, OR TO GRIDLINE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MUST BE FIELD MEASURED ON SITE AND SHOWN ON SHOP DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CARRYING OUT WORK.
- IF ADJUSTMENTS ARE REQUIRED, ADVISE THE DEPARTMENT REPRESENTATIVE PRIOR TO CARRYING OUT WORK.
- ALL AREAS ADJACENT TO AREA OF WORK ARE TO BE CONSIDERED OCCUPIED. WORK THAT IMPAIRS CORRIDOR ACCESS IS TO BE COORDINATED IN ONE WEEK ADVANCE WITH DEPARTMENT REPRESENTATIVE.
- PATCH AND MAKE GOOD ALL DAMAGED FINISHES & STRUCTURE (WALL, FLOOR, & CEILING) WHICH WERE A RESULT FROM DEMOLITION OR CONSTRUCTION. RETAIN THE ORIGINAL HERITAGE APPEARANCE WHERE NOTED.
- COORDINATE WITH DEPARTMENT REPRESENTATIVE THE REMOVAL OF ALL EQUIPMENTS, AND SUPPLIES PRIOR TO CONSTRUCTION.
- SCOPE OF WORK INCLUDES AREAS WITH ASBESTOS OR OTHER HAZARDOUS MATERIALS. TAKE ALL THE PRECAUTIONS OUTLINED BY WORKSAFE BC WHILE PROCEEDING WITH WORK. REFER TO THE HAZMAT REPORT FOR SPECIFIC AREAS THAT REQUIRE PRECAUTIONS.
- PROVIDE SOLID BLOCKING AS REQUIRED IN PARTITION WALLS TO SUPPORT SHELVING, HANGER RODS, MILLWORK, SINKS, ACCESSORIES AND OTHER ITEMS THAT ARE PART OF THIS CONTRACT OR PROVIDED BY OTHERS.
- REFER TO THE SPECIFICATIONS FOR DETAILS AROUND ALTERNATE PRICES AND CASH ALLOWANCES.
- WHERE NECESSARY, SUBFLOOR SHEATHING AND SUPPORTS ARE TO BE MADE LEVEL PRIOR TO ANY FLOORING INSTALLATION.
- ALL NEW AND EXISTING PENETRATIONS AND WALLS ARE TO BE SEALED TO PREVENT AIR LEAKAGE.

GENERAL DEMOLITION NOTES

- DEMOLISH, SALVAGE, REUSE AND/OR DISPOSE OF PRODUCTS AS INDICATED ON DRAWINGS.
- MINIMIZE, TO THE GREATEST EXTENT POSSIBLE, DAMAGE TO ADJACENT SURFACES DURING DEMOLITION.
- ALL CUTTING AND PATCHING WORK SHALL BE DONE IN A MANNER TO RECEIVE NEW WORK AND FINISHES.
- SALVAGED MATERIALS BECOME THE PROPERTY OF THE OWNER UNLESS NOTED OTHERWISE.
- CONFIRM LOCATIONS OF ALL MECHANICAL AND ELECTRICAL SERVICES PRIOR TO DEMOLITION. MECHANICAL AND ELECTRICAL ELEMENTS SERVING OTHER FLOORS ARE TO REMAIN UNLESS NOTED OTHERWISE.
- LEVEL AND PATCH DAMAGE TO SUBFLOORS CAUSED BY REMOVAL OF FLOOR FINISHES. REPAIR AND REPLACE FLOOR FINISHES AS REQUIRED.
- GENTLY CLEAN EXISTING DOOR AND DOOR FRAMES WHILE MAINTAINING THE HERITAGE APPEARANCE AFTER DEMOLITION AS INDICATED ON DRAWINGS.
- SALVAGE ONE COMPLETE SAMPLE OF ORIGINAL STEEL WINDOW AFTER DEMOLITION FOR FUTURE REFERENCE. SAMPLE SHOULD INCLUDE ALL COMPONENTS AND EXAMPLES OF THE VARIOUS CONDITIONS (HEAD, SILL, JAMB, HORIZONTAL MUNTIN AND VERTICAL MUNTIN).

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REVISONS

No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

Radium Hot Springs
Doors and Windows
Renovation

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT #

19063, Fil 705

DATE

2021-04-07

SHEET

Code Review & General
Notes

A001



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Radium Hot Springs
Doors and Windows
Renovation

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT #

19063, F17 705

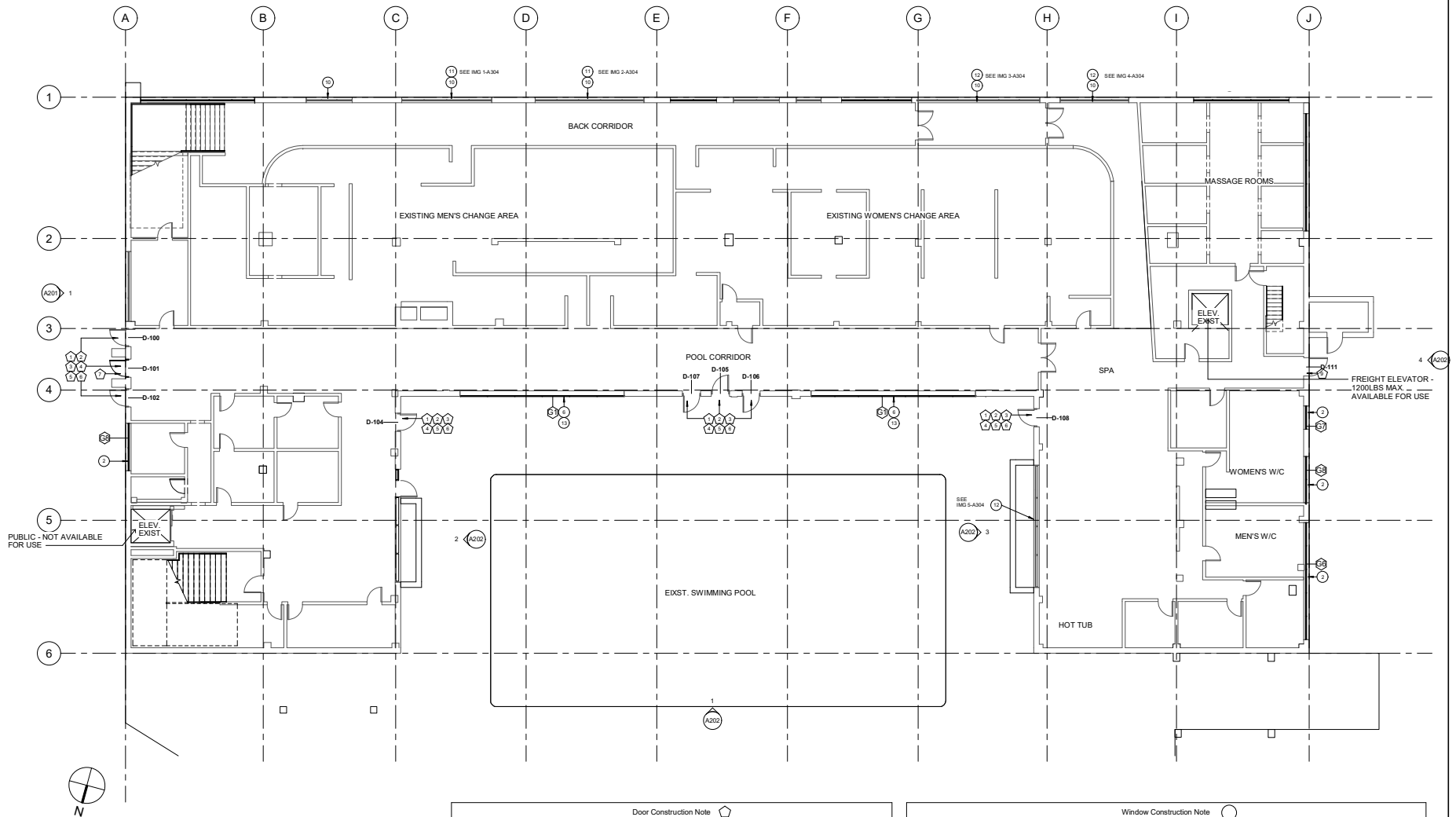
DATE

2021-04-07

SHEET

Ground Floor Plan

A103



Ground Floor Plan

1 : 100



WINDOW TAG, REFER TO A301.

Door Construction Note	
Number	Note Text
1	INSTALL CONTINUOUS CAULKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCT OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
4	INSTALL NEW DOOR THRESHOLD. REPAIR AFFECTED AREAS PRIOR TO INSTALLATION. FRAME NEW THRESHOLD TO MATCH THE DOOR FRAME PROFILE.
5	INSTALL NEW WEATHERSTRIP AROUND THE DOOR.
6	REPAIR DAMAGED DOOR. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCTS OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
7	REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE. SUBMIT REFURBISH PROCEDURE FOR REVIEW. INSTALL APPROPRIATE DOOR HARDWARE.
9	INSTALL NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. ROUGH OPENING TO BE CONFIRMED ON SITE.
10	PROVIDE NEW DOORWAY TO ACCESSIBILITY STANDARDS OUTLINED IN NBC2015. INSTALL NEW CAULKING, THRESHOLD AND REPAIR EXISTING DOOR FRAME AND DOORS.
11	REPURPOSE EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO NBC2015 STANDARDS. (SECTION 3.8.3.6-6)

Window Construction Note	
Number	Note Text
2	INSTALL NEW ALUMINUM FRAME PRIVACY DOUBLE PANE GLAZING - TRANSLUCENT PANEL @ EXTERIOR PANE/CLEAR @ INTERIOR PANE. SEE TYP. DETAIL 1-A403, 2-A403, 3-A403
6	INSTALL NEW ALUMINUM FRAME CLEAR DOUBLE PANE GLAZING. INSTALL NEW DRYWALL AT THE CEILING. SEE DETAIL 7-A403
10	REMOVE AND REPLACE CAULKING IN EXISTING WINDOW
11	REPAIR DRYWALL AROUND EXISTING WINDOW
12	REMOVE AND REPLACE WEATHERSTRIPPING IN EXISTING WINDOW
13	RECONSTRUCT SURROUNDING WALLS AND CEILING AS REQUIRED WHERE DEMOLISHED DUE TO WATER DAMAGE. SEE 7-A403



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Radium Hot Springs
Doors and Windows
Renovation

ADDRESS

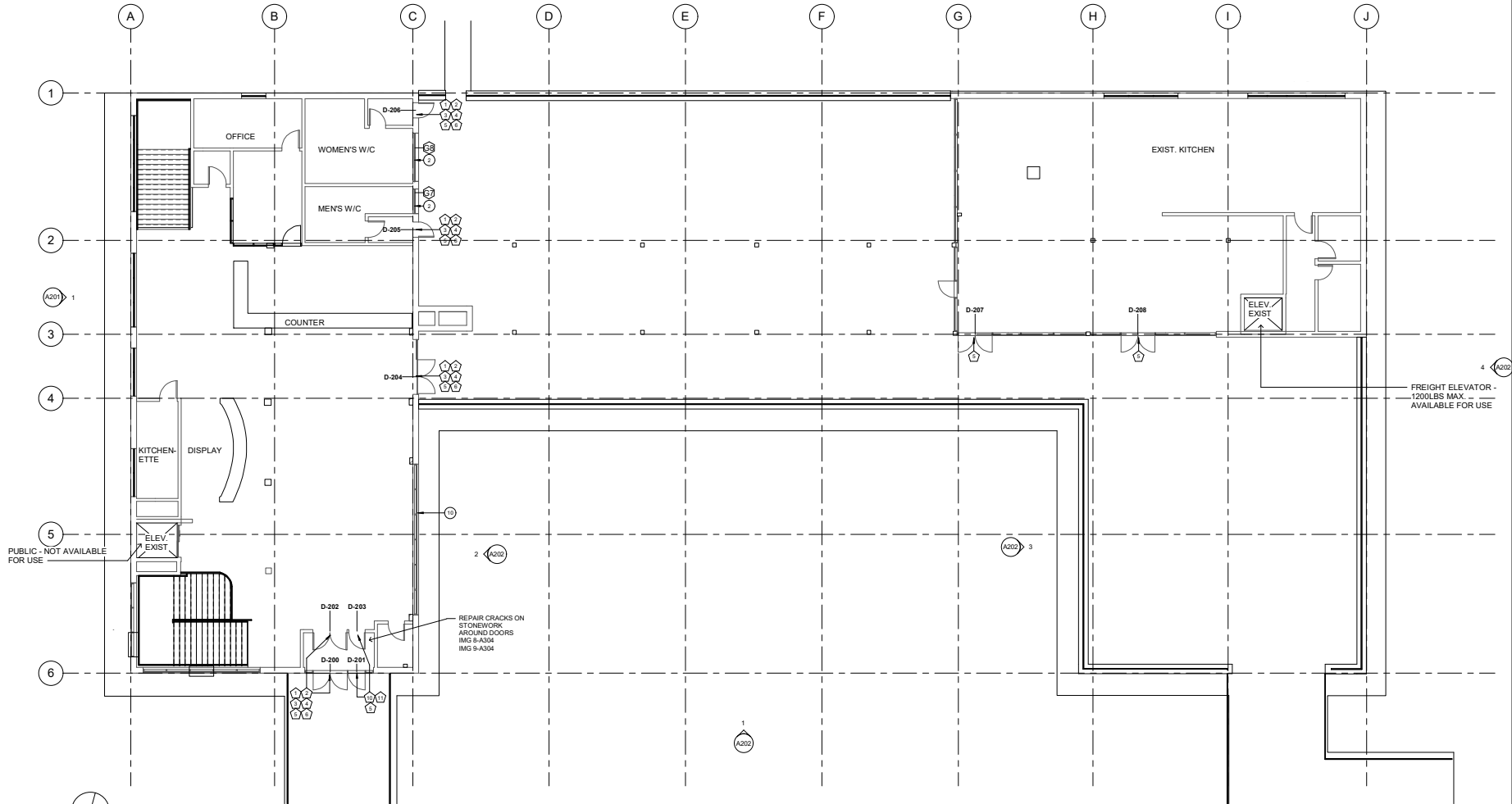
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PROJECT #
19063, Flt 705

DATE
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SHEET
Second Floor Plan

A104



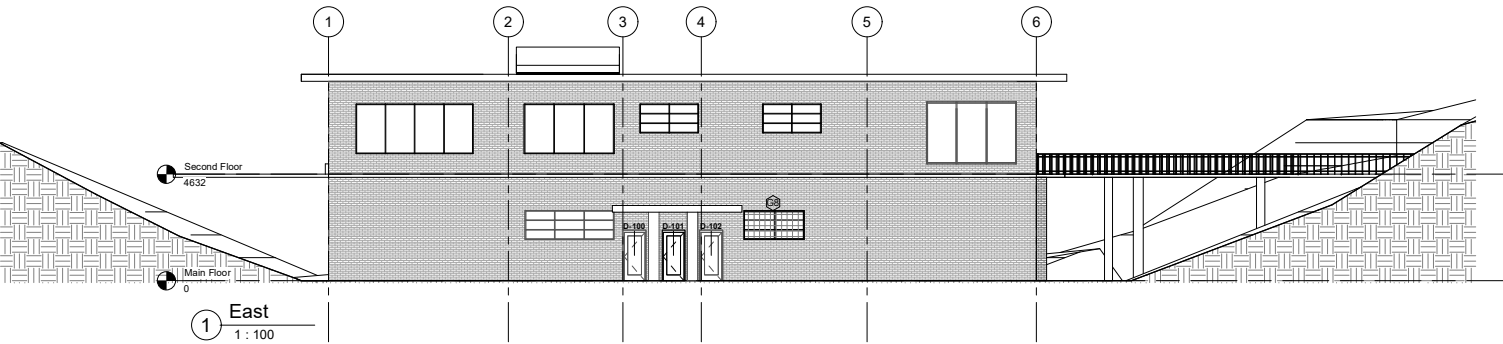
Door Construction Note	
Number	Note Text
1	INSTALL CONTINUOUS CAULKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROFIK ALUMINUM FROM BRODI SPECIALTY PRODUCT OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
4	INSTALL NEW DOOR THRESHOLD. REPAIR AFFECTED AREAS PRIOR TO INSTALLATION. FRAME NEW THRESHOLD TO MATCH THE DOOR FRAME PROFILE.
5	INSTALL NEW WEATHERSTRIP AROUND THE DOOR.
6	REPAIR DAMAGED DOOR. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR. USE BROFIK ALUMINUM FROM BRODI SPECIALTY PRODUCTS OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
7	REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE. SUBMIT REFURBISH PROCEDURE FOR REVIEW. INSTALL APPROPRIATE DOOR HARDWARE. INSTALL NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. ROUGH OPENING TO BE CONFIRMED ON SITE.
10	PROVIDE NEW DOORWAY TO ACCESSIBILITY STANDARDS OUTLINED IN NBC2015. INSTALL NEW CAULKING, THRESHOLD AND REPAIR EXISTING DOOR FRAME AND DOORS.
11	REPURPOSE EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO NBC2015 STANDARDS. (SECTION 3.8.3.6-9)

Window Construction Note	
Number	Note Text
2	INSTALL NEW ALUMINUM FRAME PRIVACY DOUBLE GLAZING - TRANSLUCENT PANEL @ EXTERIOR PANE/CLEAR @ INTERIOR PANE. SEE TYP. DETAIL 1-A403, 2-A403, 3-A403
6	INSTALL NEW ALUMINUM FRAME CLEAR DOUBLE PANE GLAZING. INSTALL NEW DRYWALL AT THE CEILING. SEE DETAIL 7-A403
10	REMOVE AND REPLACE CAULKING IN EXISTING WINDOW
11	REPAIR DRYWALL AROUND EXISTING WINDOW
12	REMOVE AND REPLACE WEATHERSTRIPPING IN EXISTING WINDOW
13	RECONSTRUCT SURROUNDING WALLS AND CEILING AS REQUIRED WHERE DEMOLISHED DUE TO WATER DAMAGE. SEE 7-A403

1 Second Floor Plan

1: 100

WINDOW TAG, REFER TO A301.



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Radium Hot Springs
Doors and Windows
Renovation

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PROJECT

19063, Flt 705

DATE

2021-04-07

SHEET

Elevation

A201



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Radium Hot Springs
Doors and Windows Renovation

ADDRESS

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PROJECT #

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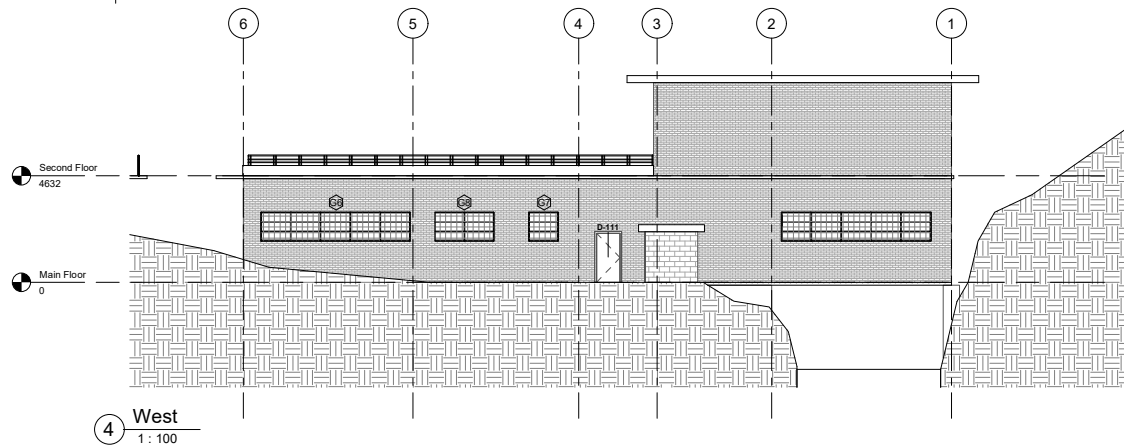
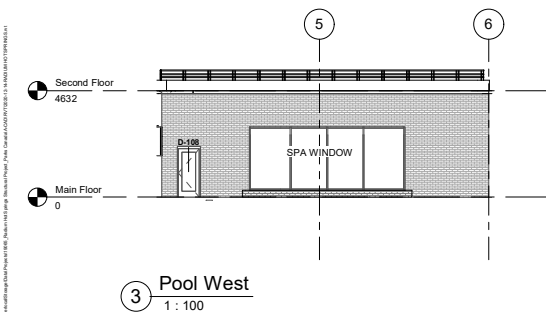
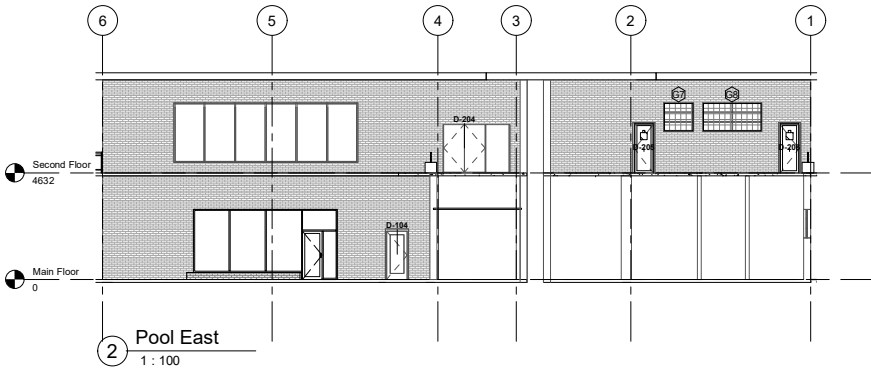
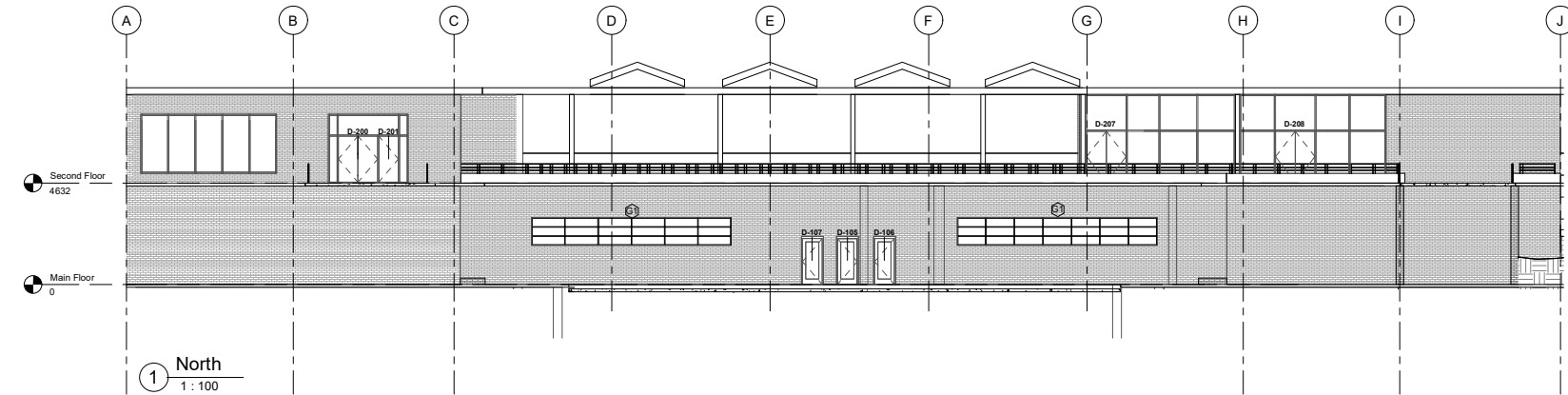
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SHEET

Elevation

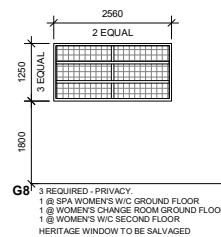
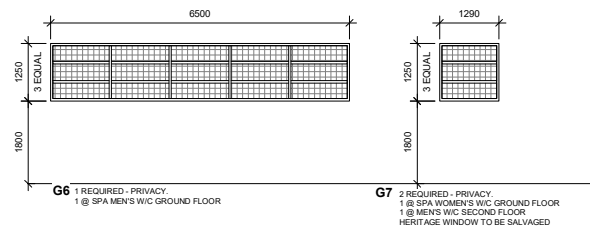
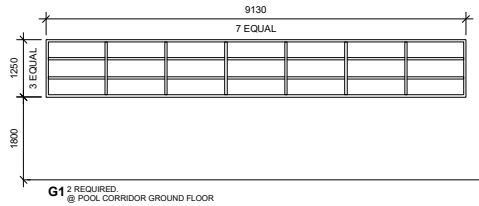
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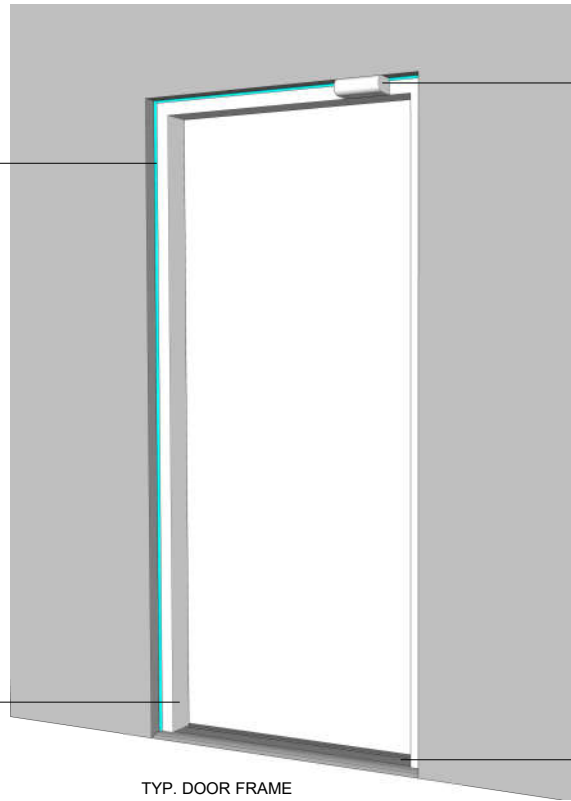
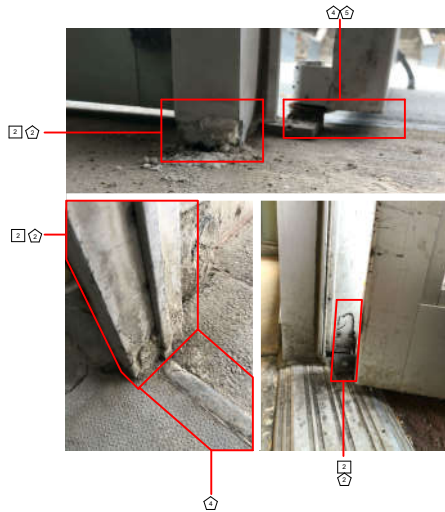
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Door Schedule					
Mark	Rough Width	Rough Height	Comments	Applicable Demolition Keynotes	Applicable Construction Keynotes
D-100	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-101	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-102	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-104	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-105	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-106	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-107	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-108	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-109	813	2134			
D-110	813	2134			
D-111	1016	2134	NEW DOOR, FRAME, THRESHOLD, AND HARDWARE, SEE SPEC. FINISH TO MATCH EXISTING. ROUGH OPENING TO BE CONFIRMED ON SITE.	9	9
D-200	1800	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-201	900	2100		0, 1, 2, 4, 5, 6, 10	5, 10, 11
D-202	1800	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-203	884	2100		0, 1, 2, 3, 4, 5, 6	5, 10, 11
D-204	1800	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-205	810	2100		0, 1, 2, 3, 4, 5, 6, 8	1, 2, 3, 4, 5, 6, 8
D-206	810	2100		0, 1, 2, 3, 4, 5, 6, 8	1, 2, 3, 4, 5, 6, 8
D-207	1800	2325			
D-208	1800	2325			5



MATCH NEW WINDOWS
FRAMES WITH EXISTING
REPLACED WINDOWS

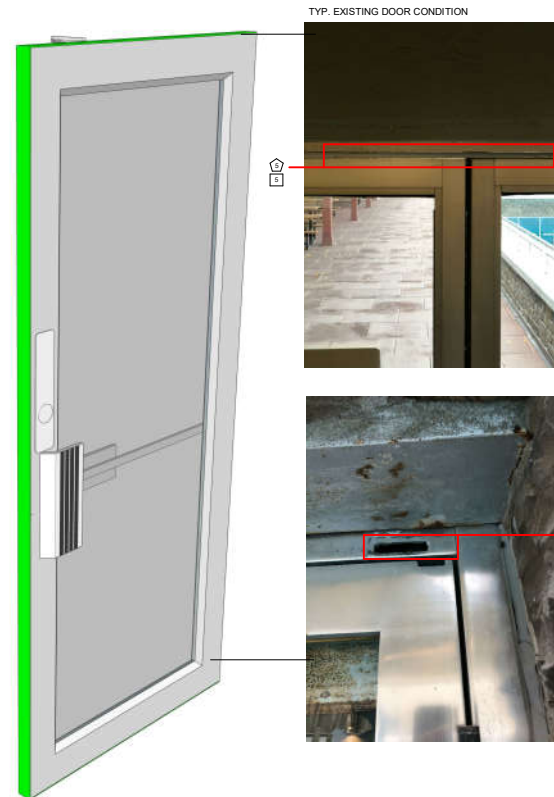
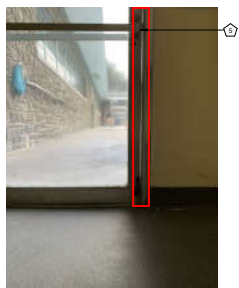
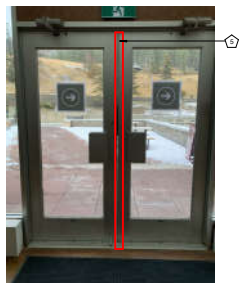
A301



TYP. DOOR FRAME

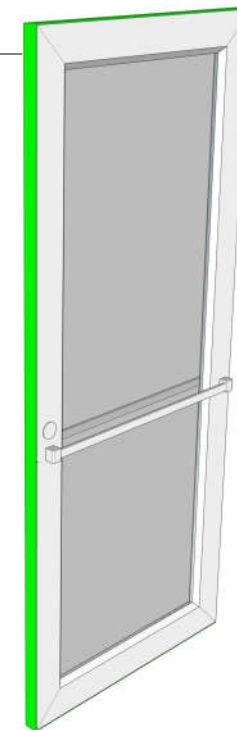
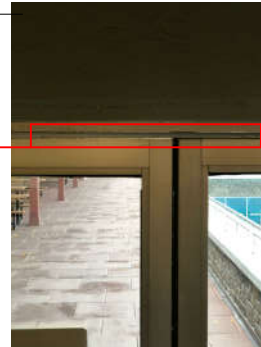
Door Demolition Note	
Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING CAULKING. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW CAULKING. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
2	RETAIN EXISTING DOOR FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE REPAIR ON DAMAGED DOOR FRAME. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
3	REMOVE EXISTING DOOR CLOSER. GENTLY CLEAN AND MAKE GOOD AFFECTED SURFACES TO RECEIVE NEW SURFACE MOUNTED DOOR CLOSER. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
4	REMOVE EXISTING DOOR THRESHOLD. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
5	RETAIN EXISTING DOOR. REMOVE EXISTING WEATHERSTRIP AROUND THE DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW WEATHERSTRIP. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
6	RETAIN EXISTING DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE REPAIR ON DAMAGE IN THE DOOR. SUBMIT REPAIR PROCEDURES TO CONSULTANT FOR REVIEW. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
7	RETAIN EXISTING DOOR. REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HERITAGE' APPEARANCE.
8	EXISTING THRESHOLD HAS BEEN REMOVED. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
9	REMOVE EXISTING DOOR AND FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR FRAME, THRESHOLD, AND HARDWARE.
10	RETAIN EXISTING AUTOMATIC DOOR OPENER.

Door Construction Note	
Number	Note Text
1	INSTALL CONTINUOUS CAULKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROF-X ALUMINUM FROM BRODI SPECIALTY PRODUCTS OR APPROVED EQUIVALENT PRODUCT TO FILL HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
4	INSTALL NEW DOOR THRESHOLD. DOOR CLOSED AREAS PRIOR TO INSTALLATION. FRAME NEW THRESHOLD TO MATCH THE DOOR FRAME PROFILE.
5	INSTALL NEW WEATHERSTRIP AROUND THE DOOR.
6	REPAIR DAMAGED DOOR. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR. USE BROF-X ALUMINUM FROM BRODI SPECIALTY PRODUCTS OR APPROVED EQUIVALENT PRODUCT TO FILL HOLES IN ALUMINUM.
7	REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE. SUBMIT REFURBISH PROCEDURE FOR REVIEW. INSTALL APPROPRIATE DOOR HARDWARE.
9	INSTALL NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. ROUGH OPENING TO BE CONFIRMED ON SITE.
10	PROVIDE NEW DOORWAY TO ACCESSIBILITY STANDARDS OUTLINED IN NBC2015. INSTALL NEW CAULKING, THRESHOLD AND REPAIR EXISTING DOOR FRAME AND DOORS.
	REFURBISH EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO ACCESSIBILITY STANDARDS.



DOOR TYPE 1

TYP. EXISTING DOOR CONDITION



DOOR TYPE 2

Door Demolition Note <input type="checkbox"/>	
Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING CAULKING. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW CAULKING. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
2	RETAIN EXISTING DOOR FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE REPAIR ON DAMAGED DOOR FRAME. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
3	REMOVE EXISTING DOOR CLOSER. GENTLY CLEAN AND MAKE GOOD AFFECTED SURFACES TO RECEIVE NEW SURFACE MOUNTED DOOR CLOSER. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
4	REMOVE EXISTING DOOR THRESHOLD. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
5	RETAIN EXISTING DOOR. REMOVE EXISTING WEATHERSTRIP AROUND THE DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW WEATHERSTRIP. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
6	RETAIN EXISTING DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE REPAIR ON DAMAGES IN THE DOOR. SUBMIT REPAIR PROCEDURES TO CONSULTANT FOR REVIEW. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
7	RETAIN EXISTING DOOR. REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE.
8	EXISTING THRESHOLD HAS BEEN REMOVED. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
9	REMOVE EXISTING DOOR AND FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR, FRAME, THRESHOLD, AND HARDWARE.
10	RETAIN EXISTING AUTOMATIC DOOR OPENER.

Door Construction Note <input type="checkbox"/>	
Number	Note Text
1	INSTALL CONTINUOUS CAULKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCT OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
4	INSTALL NEW DOOR THRESHOLD. REPAIR AFFECTED AREAS PRIOR TO INSTALLATION. FRAME NEW THRESHOLD TO MATCH THE DOOR FRAME PROFILE.
5	INSTALL NEW WEATHERSTRIP AROUND THE DOOR.
6	REPAIR DAMAGED DOOR. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCTS OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
7	REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE. SUBMIT REFURBISH PROCEDURE FOR REVIEW. INSTALL APPROPRIATE DOOR HARDWARE.
9	INSTALL NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. ROUGH OPENING TO BE CONFIRMED ON SITE.
10	PROVIDE NEW DOORWAY TO ACCESSIBILITY STANDARDS OUTLINED IN NBC2015. INSTALL NEW CAULKING, THRESHOLD AND REPAIR EXISTING DOOR FRAME AND DOORS.
11	REPURPOSE EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO NBC2015 STANDARDS. (SECTION 3.8.3.6-8)



ARCHITECTURE

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03	2021-04-07	IFT

Radium Hot Springs
Doors and Windows
Renovation

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT #

19063, Flt 705

DATE

2021-04-07

SHEET

Door Details

A303



IMAGE 1 ①



IMAGE 2 ②



IMAGE 3 ③



IMAGE 4 ④



IMAGE 5 ⑤



IMAGE 8



IMAGE 9

FILL CRACKS WITH CONCRETE COMPOUND

Window Construction Note	
Number	Note Text
E INSTALLING NEW WINDOWS.	
GLAZING: SEE TYP. DETAIL 1-A403, 2-A403, 3-A403.	
2	INSTALL NEW ALUMINUM FRAME PRIVACY DOUBLE PANE GLAZING - TRANSLUCENT PANEL @ EXTERIOR PANE/CLEAR @ INTERIOR PANE. SEE TYP. DETAIL 1-A403, 2-A403, 3-A403
6	INSTALL NEW ALUMINUM FRAME CLEAR DOUBLE PANE GLAZING. INSTALL NEW DRYWALL AT THE CEILING. SEE DETAIL 7-A403
10	REMOVE AND REPLACE CAULKING IN EXISTING WINDOW
11	REPAIR DRYWALL AROUND EXISTING WINDOW
12	REMOVE AND REPLACE WEATHERSTRIPPING IN EXISTING WINDOW
13	RECONSTRUCT SURROUNDING WALLS AND CEILING AS REQUIRED WHERE DEMOLISHED DUE TO WATER DAMAGE. SEE 7-A403



ARCHITECTURE
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Radium Hot Springs
Doors and Windows
Renovation

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT #

19063, Flt 705

DATE

2021-04-07

SHEET

Existing Repair Details

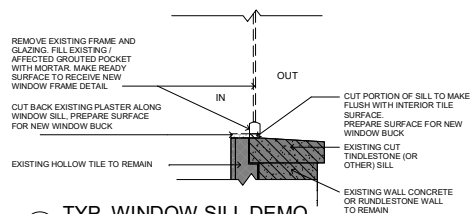
A304



EXISTING TYP. HEADER CONDITION @ GROUND
FLOOR BACK CORRIDOR

1 : 10

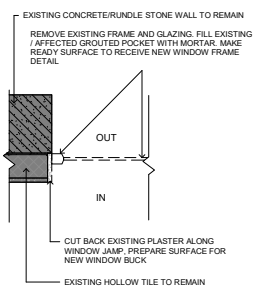
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EXISTING TYP. SILL CONDITION @ GROUND FLOOR
BACK CORRIDOR

1 : 10

1 : 10



1 : 10

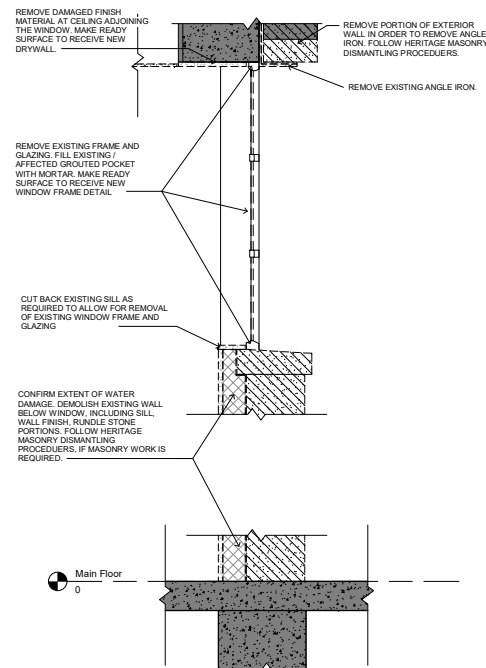
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TYP. HEAD CONDITION @ MAIN FLOOR POOL COORIDOR. REMOVE EXISTING DAMAGED DRYWALL



TYP. SILL CONDITION @ MAIN FLOOR POOL CORRIDOR



5 1 : 10

1 : 10

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Radium Hot Springs Doors and Windows Renovation

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT

19063, FII 705

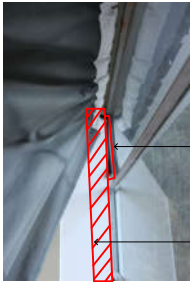
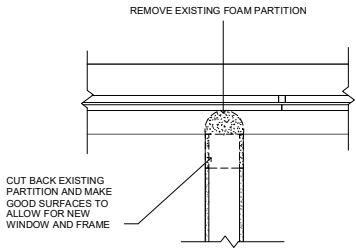
DATE _____

2021-04-07

SHEET

Demolition Details

A401



REMOVE FOAM PARTITION

CUT BACK EXIST. WALL TO ALLOW WINDOW REPLACEMENT

EXISTING CONDITION.

1 SPA INTERIOR PARTITION PLAN DEMO DETAIL

1 : 10



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Radium Hot Springs
Doors and Windows
Renovation

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT

19063, Flt 705

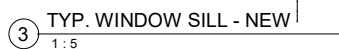
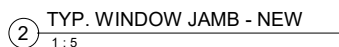
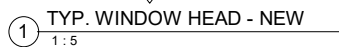
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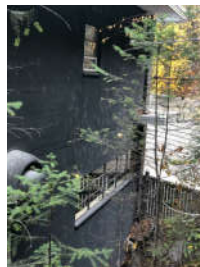
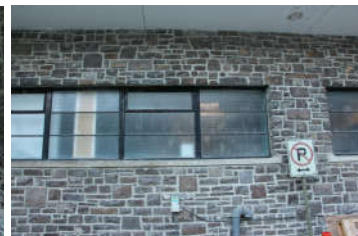
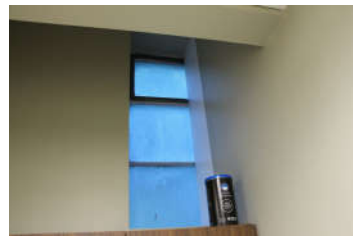
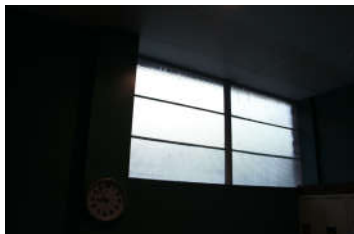
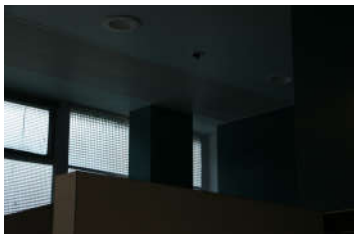
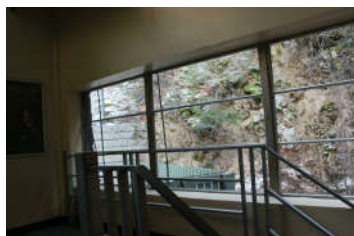
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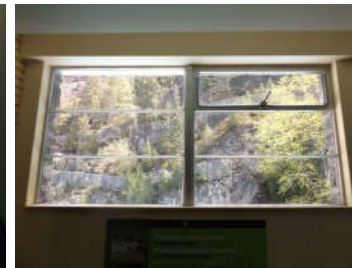
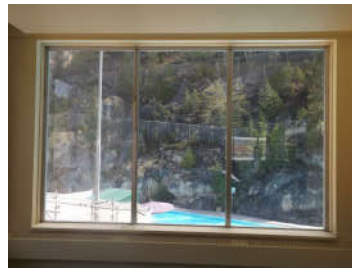
SHEET

Demolition Details

A402







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