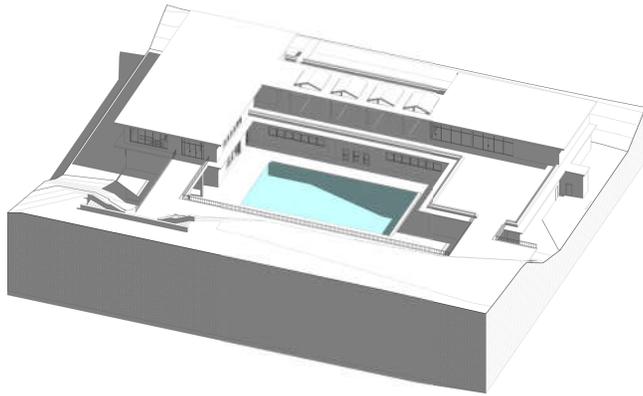


# RADIUM HOT SPRINGS FACILITY DOOR AND WINDOW RENOVATIONS

ISSUED FOR TENDER  
2021-04-07



## ARCHITECTURAL

COVER ARCHITECTURAL COLLABORATIVE INC.  
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## DRAWING LIST

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CONSULTANTS

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Parks Canada Agency

REVISIONS

No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

Radium Hot Springs  
Doors and Windows  
Renovation

## ADDRESS

5420 BC-93, Radium Hot Springs

## PROJECT #

19063, Fil 705

## DATE

2021-04-07

## SHEET

Cover Page

**A000**

# NATIONAL BUILDING CODE REVIEW

**PROJECT INFORMATION**  
**Address:** 5420 BC-93, Radium Hot Springs, BC V0A 1M0  
**Building Area approx:**  
 Existing: 1533m<sup>2</sup>  
 - New  
 Total: 1533m<sup>2</sup>  
**Building Height:** 2 Storeys  
**Sprinklers:** Yes  
**Staircase:** 1  
**Major Occupancies:** Group A, Division 2  
 Group E  
**Occupant Load:** Statement Level:  
 Use: Storage Area req'd per person: 46 Area: 1740.16 m<sup>2</sup> Occupant Load: 37.8  
Ground Level:  
 Use: Mercantile Use, Change rooms Area: 1391 m<sup>2</sup> Occupant Load: 375.9  
 Area req'd per person: 3.7  
Message Rooms, Ground Level:  
 Use: Space with fixed seats Area: - Occupant Load: 2 per room x 8 = 16  
 Area req'd per person: -  
Second Level:  
 Use: Mercantile Use, Lobby Area: 429.3 m<sup>2</sup> Occupant Load: 116  
 Area req'd per person: 3.7  
Offices, Second Level:  
 Use: Office Area: 39.5 m<sup>2</sup> Occupant Load: 4.2  
 Area req'd per person: 9.3  
Second Level Cafe/Kitchen:  
 Use: Dining, Beverage and cafeteria space Area: 276.34 m<sup>2</sup> Occupant Load: 230.37  
 Area req'd per person: 1.2m  
 Total Occupant Load: 778.9

## Division A

**1.1.1.1. Application of this Code**  
 1) This Code applies to the design, construction and occupancy of all new buildings, and the alteration, reconstruction, demolition, removal, renovation and occupancy of all existing buildings.

**1.3.3.2. Application of Parts 3, 4, 5, and 6**  
 1) Parts 3, 4, 5, and 6 of Division B apply to all buildings described in Article 1.1.1.1, and  
 b) used for major occupancies classified as  
 i) Group A, assembly occupancies,

**1.3.1.3. Separation of Major Occupancies**  
 Group A-2 and Group E = 2h

**3.2.2.8. Exceptions for Major Occupancies**  
 1) In a building in which the aggregate area of all major occupancies in a particular Group or Division is not more than 10% of the floor area of the storey in which they are located, these major occupancies need not be considered as major occupancies for the purposes of this Subsection, provided they are not classified as Group F, Division 1 or 2 occupancies.

**3.2.2.26. Group A, Division 2, up to 2 Storeys, Increased Area, Sprinklered**  
 1) A building classified as Group A, Division 2 is permitted to conform to Sentence (2) provided  
 a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout,  
 b) it is not more than 2 storeys in building height, and  
 c) it has a building area not more than  
 i) 3 400 m<sup>2</sup> if 2 storeys in building height.  
 2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and  
 a) floor assemblies shall be fire separations and, if of combustible construction, shall have a fire-resistance rating not less than 45 min,  
 b) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min, and  
 c) load-bearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall i) have a fire-resistance rating not less than 45 min, or  
 ii) be of noncombustible construction.

**3.2.4.1. Determination of Requirement for a Fire Alarm System**  
 1) A fire alarm system shall be installed in buildings in which an automatic sprinkler system is required by this Part.

**3.2.5.8. Standpipe Systems**  
Not required. Only two storeys, below 14m between grade roof height and does not exceed 2000m<sup>2</sup> in Building Area.

**3.3.1.13. Doors and Door Hardware**  
 1) Except in locations described in Subclauses (1)(d)(i) and (ii), in doorways, where the threshold is not flush with the floor, the threshold shall be not more than 13 mm higher than the finished floor surface, and where it is higher than 6 mm, shall be beveled to a slope no steeper than 1 in 2.

## SECTION 3.4 EXITS

### 3.4.2. Number and Location of Exits from Floor Areas

**3.4.2.1. Minimum Number of Exits**  
 1) Except as permitted by Sentences (2) to (4), every floor area intended for occupancy shall be served by at least 2 exits.

**3.4.2.6. Location of Exits**  
 1) Except as permitted by Sentences (2) and 3.3.2.5.(6), if more than one exit is required from a floor area, the exits shall be located so that the travel distance to at least one exit shall be not more than  
 c) 45 m in a floor area that contains an occupancy other than a high-hazard industrial occupancy, provided it is sprinklered throughout.

## SECTION 3.8 ACCESSIBILITY

**3.8.2.2. Entrances**  
 2) A suite of assembly occupancy, business and personal services occupancy or mercantile occupancy that is located in the first storey of a building, or in a storey to which an accessible path of travel is provided, and that is completely separated from the remainder of the building so that there is no access to the remainder of the building, shall have at least one accessible entrance.

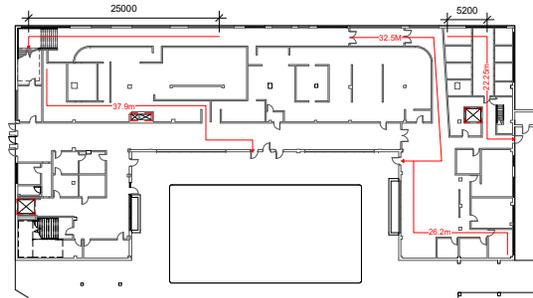
4) At an accessible entrance that includes more than one doorway, only one of the doorways is required to be designed in accordance with Subsection 3.8.3.

### 3.8.2.7. Power Door Operators

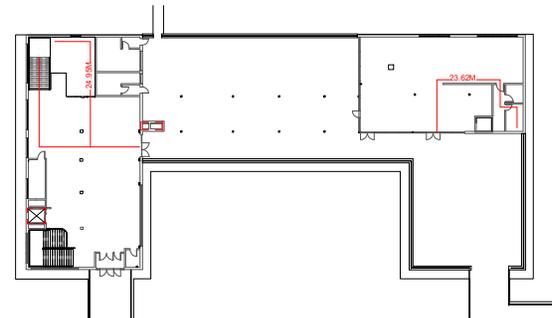
1) Except as provided in Sentences (2) and (3), every door that provides an accessible path of travel through an entrance referred to in Article 3.8.2.2, including the interior doors of a vestibule where provided, shall be equipped with a power door operator that complies with Subsection 3.8.3, and allows persons to activate the opening of the door in the intended direction of travel, where the entrance serves  
 c) a building of assembly, care, business and personal service or mercantile major occupancy more than 500 m<sup>2</sup> in building area.  
 3) Only the active leaf in a multiple leaf door in an accessible path of travel need conform to the requirements of this Article.

### 3.8.3.6. Doorways and Doors

2) Every doorway that is located in an accessible path of travel shall have a clear width not less than 850 mm.  
 6) Power operated doors operators required by Sentence 3.8.2.7.(1) shall  
 i) have operators that activate automatically or through the use of controls that  
 i) are located in an accessible path of travel  
 ii) are marked with the International Symbol of Access,  
 iii) are located clear of the door swing and not less than 600 mm and no more than 1 500 mm from that door swing,  
 iv) comply with Subclause 3.8.3.8.(1)(b),  
 v) are operable from a height between 150 mm and 300 mm as well as between 900 mm and 1 100 mm above the floor, and  
 vi) are operable by touching or approaching any part of their surface with a fist, arm or foot, and  
 b) unless equipped with safety sensors, have operators that  
 i) fully open the door in not less than 3 s, and  
 ii) require a force not more than 65 N to stop movement of the door, and  
 c) have a clear and level space extending the height of the doorway and not less than 1 100 mm long by the



1 Ground Level Travel Distance  
1 : 300



2 Second Level Travel Distance  
1 : 300

## GENERAL CONSTRUCTION NOTES

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS, SPECIFICATIONS, AND FINISHES SCHEDULE
- CONFIRM ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA 2015 EDITION (NBCC) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BY-LAWS.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, OR TO GRIDLINE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MUST BE FIELD MEASURED ON SITE AND SHOWN ON SHOP DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CARRYING OUT WORK.
- IF ADJUSTMENTS ARE REQUIRED, ADVISE THE DEPARTMENT REPRESENTATIVE PRIOR TO CARRYING OUT WORK.
- ALL AREAS ADJACENT TO AREA OF WORK ARE TO BE CONSIDERED OCCUPIED. WORK THAT IMPAIRS CORRIDOR ACCESS IS TO BE COORDINATED IN ONE WEEK ADVANCE WITH DEPARTMENT REPRESENTATIVE.
- PATCH AND MAKE GOOD ALL DAMAGED FINISHES & STRUCTURE (WALL, FLOOR, & CEILING) WHICH WERE A RESULT FROM DEMOLITION OR CONSTRUCTION. RETAIN THE ORIGINAL HERITAGE APPEARANCE WHERE NOTED.
- COORDINATE WITH DEPARTMENT REPRESENTATIVE THE REMOVAL OF ALL EQUIPMENTS, AND SUPPLIES PRIOR TO CONSTRUCTION.
- SCOPE OF WORK INCLUDES AREAS WITH ASBESTOS OR OTHER HAZARDOUS MATERIALS. TAKE ALL THE PRECAUTIONS OUTLINED BY WORKSAFE BC WHILE PROCEEDING WITH WORK. REFER TO THE HAZMAT REPORT FOR SPECIFIC AREAS THAT REQUIRE PRECAUTIONS.
- PROVIDE SOLID BLOCKING AS REQUIRED IN PARTITION WALLS TO SUPPORT SHELVING, HANGER RODS, MILLWORK, SINKS, ACCESSORIES AND OTHER ITEMS THAT ARE PART OF THIS CONTRACT OR PROVIDED BY OTHERS.
- REFER TO THE SPECIFICATIONS FOR DETAILS AROUND ALTERNATE PRICES AND CASH ALLOWANCES.
- WHERE NECESSARY, SUB-FLOOR SHEATHING AND SUPPORTS ARE TO BE MADE LEVEL PRIOR TO ANY FLOORING INSTALLATION.
- ALL NEW AND EXISTING PENETRATIONS AND WALLS ARE TO BE SEALED TO PREVENT AIR LEAKAGE.

## GENERAL DEMOLITION NOTES

- DEMOLISH, SALVAGE, REUSE AND/OR DISPOSE OF PRODUCTS AS INDICATED ON DRAWINGS.
- MINIMIZE, TO THE GREATEST EXTENT POSSIBLE, DAMAGE TO ADJACENT SURFACES DURING DEMOLITION.
- ALL CUTTING AND PATCHING WORK SHALL BE DONE IN A MANNER TO RECEIVE NEW WORK AND FINISHES.
- SALVAGED MATERIALS BECOME THE PROPERTY OF THE OWNER UNLESS NOTED OTHERWISE.
- CONFIRM LOCATIONS OF ALL MECHANICAL AND ELECTRICAL SERVICES PRIOR TO DEMOLITION. MECHANICAL AND ELECTRICAL ELEMENTS SERVING OTHER FLOORS ARE TO REMAIN UNLESS NOTED OTHERWISE.
- LEVEL AND PATCH DAMAGE TO SUBFLOORS CAUSED BY REMOVAL OF FLOOR FINISHES. REPAIR AND REPLACE FLOOR FINISHES AS REQUIRED.
- GENTLY CLEAN EXISTING DOOR AND DOOR FRAMES WHILE MAINTAINING THE HERITAGE APPEARANCE AFTER DEMOLITION AS INDICATED ON DRAWINGS.
- SALVAGE ONE COMPLETE SAMPLE OF ORIGINAL STEEL WINDOW AFTER DEMOLITION FOR FUTURE REFERENCE. SAMPLE SHOULD INCLUDE ALL COMPONENTS AND EXAMPLES OF THE VARIOUS CONDITIONS (HEAD, SILL, JAMB, HORIZONTAL MUNTIN AND VERTICAL MUNTIN).



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 Parks Canada Agency

No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

Radium Hot Springs  
 Doors and Windows  
 Renovation

## ADDRESS

5420 BC-93, Radium Hot Springs

## PROJECT #

19068, Flt 705

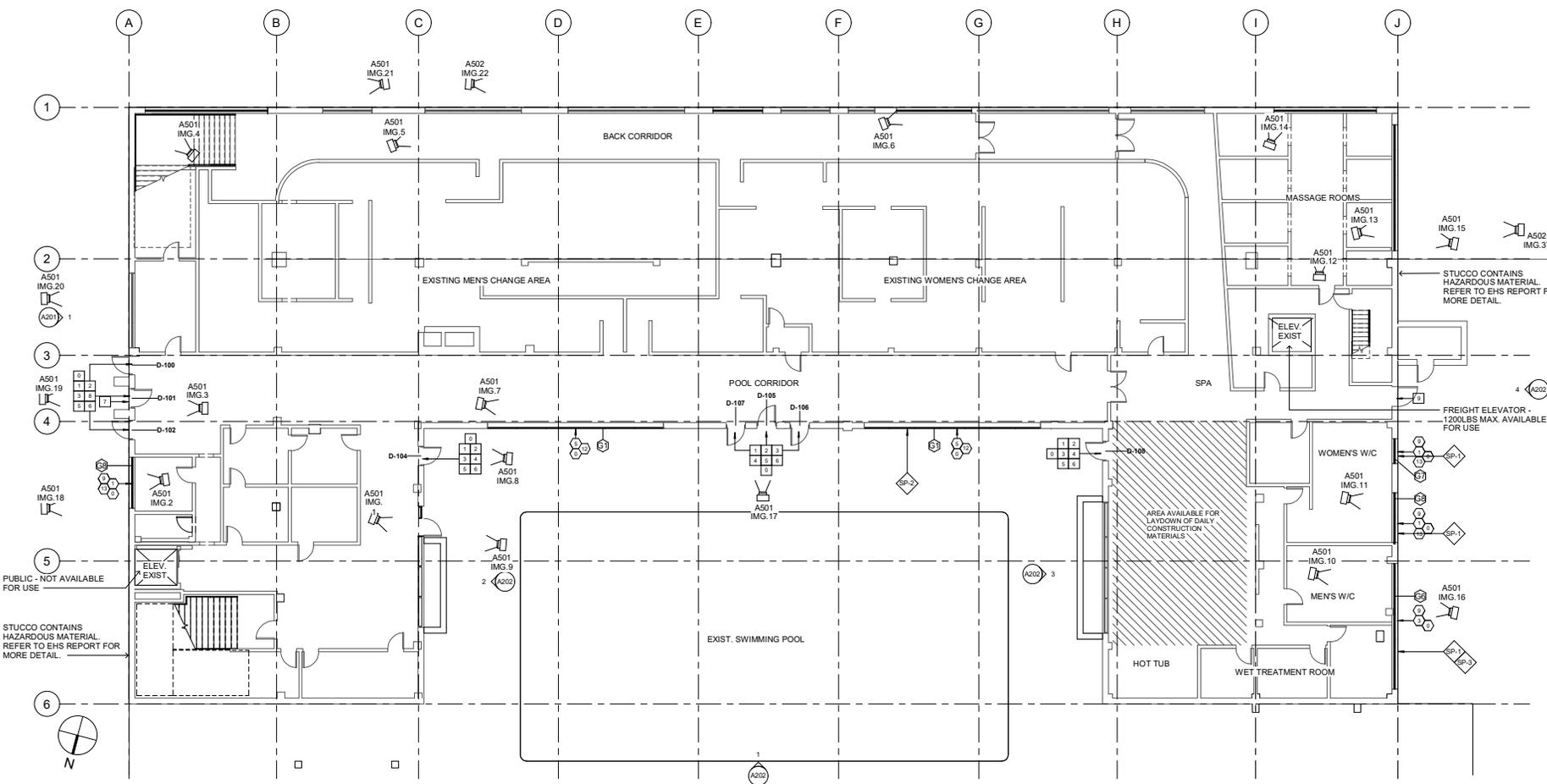
## DATE

2021-04-07

## SHEET

Code Review & General Notes

A001



PUBLIC - NOT AVAILABLE FOR USE

STUCCO CONTAINS HAZARDOUS MATERIAL REFER TO EHS REPORT FOR MORE DETAIL.

**1** Ground Floor Demo Plan  
1 : 100

Door Demolition Note	
Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING CAULKING. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW CAULKING. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
2	RETAIN EXISTING DOOR FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE REPAIR ON DAMAGED DOOR FRAME. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
3	REMOVE EXISTING DOOR CLOSER. GENTLY CLEAN AND MAKE GOOD AFFECTED SURFACES TO RECEIVE NEW SURFACE MOUNTED DOOR CLOSER. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
4	REMOVE EXISTING DOOR THRESHOLD. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
5	RETAIN EXISTING DOOR. REMOVE EXISTING WEATHERSTRIP AROUND THE DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW WEATHERSTRIP. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
6	RETAIN EXISTING DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE REPAIR ON DAMAGES IN THE DOOR. SUBMIT REPAIR PROCEDURES TO CONSULTANT FOR REVIEW. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
7	RETAIN EXISTING DOOR. REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO ORIGINAL HISTORIC APPEARANCE.
8	EXISTING THRESHOLD HAS BEEN REMOVED. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
9	REMOVE EXISTING DOOR AND FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR, FRAME, THRESHOLD, AND HARDWARE.
10	RETAIN EXISTING AUTOMATIC DOOR OPENER.

Window Demolition Note	
Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW DOUBLE GLAZED WINDOW UNIT. SEE TYP. DETAIL 1-A401, 2-A401, 3-A401.
3	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW DOUBLE GLAZED WINDOW UNIT. CUT BACK AND PREPARE DRYWALL THAT BUTTS AGAINST THE EXISTING WINDOW TO ALLOW FOR WINDOW REMOVAL AND NEW PARTITION CLOSURE. SEE DETAIL 1-A402.
5	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW DOUBLE GLAZED WINDOW UNIT. REMOVE DAMAGED SURFACE MATERIAL AT THE CEILING. PREPARE SURFACE TO RECEIVE NEW DRYWALL, TAPE, MUD, AND PAINT TO MATCH EXISTING. SEE DETAIL 5-A401, 5-A401.
9	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW PRIVACY DOUBLE GLAZED WINDOW UNIT.
12	CONFIRM WATER DAMAGE EXTENT IN EXISTING WALLS AND CEILING. DEMOLISH EXISTING WALLS AND CEILING EXTENT AFFECTED BY WATER DAMAGE.
13	SUCCESSFULLY SALVAGE ONE (1) HISTORIC WINDOW ONLY AND ALL COMPONENTS. REFURBISH SALVAGED HISTORIC WINDOW FOR FUTURE REUSE AND RETURN TO OWNER.

Special Instructions	
Number	Note Text
SP-1	Special Instructions for lintel of window: 1) Disassemble the stone jambs on either side of the window, 2) Disassemble the window from the outside and remove, 3) Where heavy corrosion is showing, remove 2 or 3 stones in the area to allow for inspection. Refer to procedure in the Specifications, Section 04 03 43.19, 4) Call Structural Engineer for review, 5) Make allowance to replace the steel lintel with a new stainless steel equivalent. Refer to Structural Engineer. Refer to allowances in the Specifications, Section 01 21 00.
SP-2	Special Instructions for lintel of window: 1) Disassemble the window and remove, 2) Where heavy corrosion is showing, remove 2 or 3 stones in the area to allow for inspection. Refer to procedure in the Specifications, Section 04 04 34.19, 3) Call Structural Engineer for review, 4) Make allowance to replace the steel lintel with a new stainless steel equivalent. Refer to Structural Engineer. Refer to allowances in Specification, Section 01 21 00.
SP-3	Special Instructions for window: 1) Disassemble the stone jambs on either side of window in order to remove existing and install new window.

Radium Hot Springs  
Doors and Windows  
Renovation

ADDRESS  
5420 BC-93, Radium Hot Springs

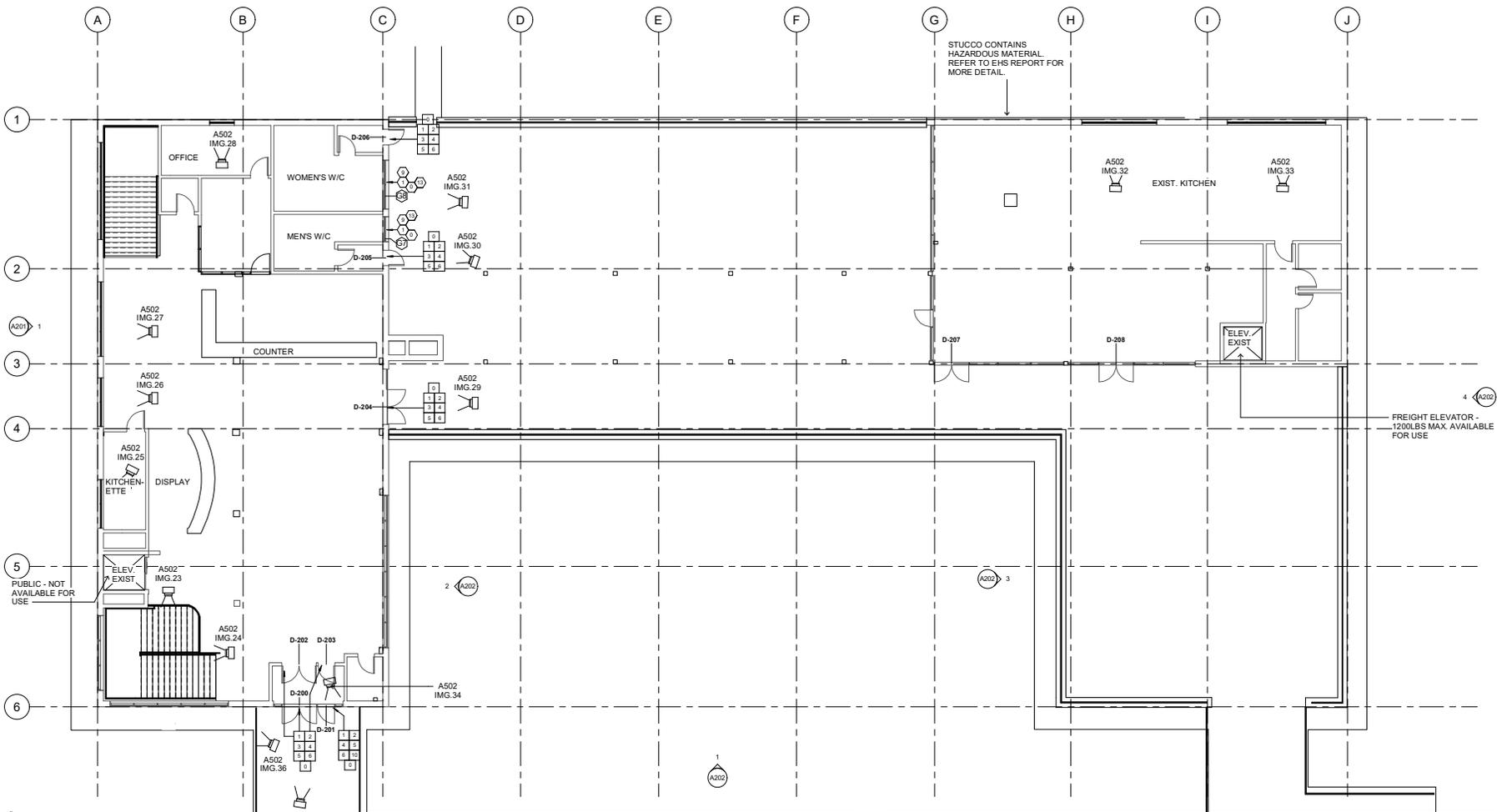
PROJECT #  
19063, Fil 705

DATE  
2021-04-07

SHEET  
Ground Floor Demo Plan

REVISIONS

No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT



Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING CAULKING. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW CAULKING. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
2	RETAIN EXISTING DOOR FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE REPAIR ON DAMAGED DOOR FRAME. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
3	REMOVE EXISTING DOOR CLOSER. GENTLY CLEAN AND MAKE GOOD AFFECTED SURFACES TO RECEIVE NEW SURFACE MOUNTED DOOR CLOSER. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
4	REMOVE EXISTING DOOR THRESHOLD. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
5	RETAIN EXISTING DOOR. REMOVE EXISTING WEATHERSTRIP AROUND THE DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW WEATHERSTRIP. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
6	RETAIN EXISTING DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE REPAIR ON DAMAGES IN THE DOOR. SUBMIT REPAIR PROCEDURES TO CONSULTANT FOR REVIEW. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
7	RETAIN EXISTING DOOR. REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO ORIGINAL HISTORIC APPEARANCE.
8	EXISTING THRESHOLD HAS BEEN REMOVED. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
9	REMOVE EXISTING DOOR AND FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR, FRAME, THRESHOLD, AND HARDWARE.
10	RETAIN EXISTING AUTOMATIC DOOR OPENER.

Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW DOUBLE GLAZED WINDOW UNIT. SEE TYP. DETAIL 1-A401, 2-A401, 3-A401.
3	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW DOUBLE GLAZED WINDOW UNIT. CUT BACK AND PREPARE DRYWALL THAT BUTTS AGAINST THE EXISTING WINDOW TO ALLOW FOR WINDOW REMOVAL AND NEW PARTITION CLOSURE. SEE DETAIL 1-A402
5	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW DOUBLE GLAZED WINDOW UNIT. REMOVE DAMAGED SURFACE MATERIAL AT THE CEILING. PREPARE SURFACE TO RECEIVE NEW DRYWALL. TAPE, MUD, AND PAINT TO MATCH EXISTING. SEE DETAIL 5-A401, 3-A401.
9	REMOVE EXISTING WINDOW FRAME AND GLAZING AND PREPARE TO RECEIVE NEW PRIVACY DOUBLE GLAZED WINDOW UNIT.
12	CONFIRM WATER DAMAGE EXTENT IN EXISTING WALLS AND CEILING. DEMOLISH EXISTING WALLS AND CEILING EXTENT AFFECTED BY WATER DAMAGE.
13	SUCCESSFULLY SALVAGE ONE (1) HISTORIC WINDOW ONLY AND ALL COMPONENTS. REFURBISH SALVAGED HISTORIC WINDOW FOR FUTURE REUSE AND RETURN TO OWNER.

1 Second Floor Demo Plan  
1 : 100

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CONSULTANTS  
CLIENT  
Parks Canada Agency

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REVISIONS

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Radium Hot Springs  
Doors and Windows  
Renovation

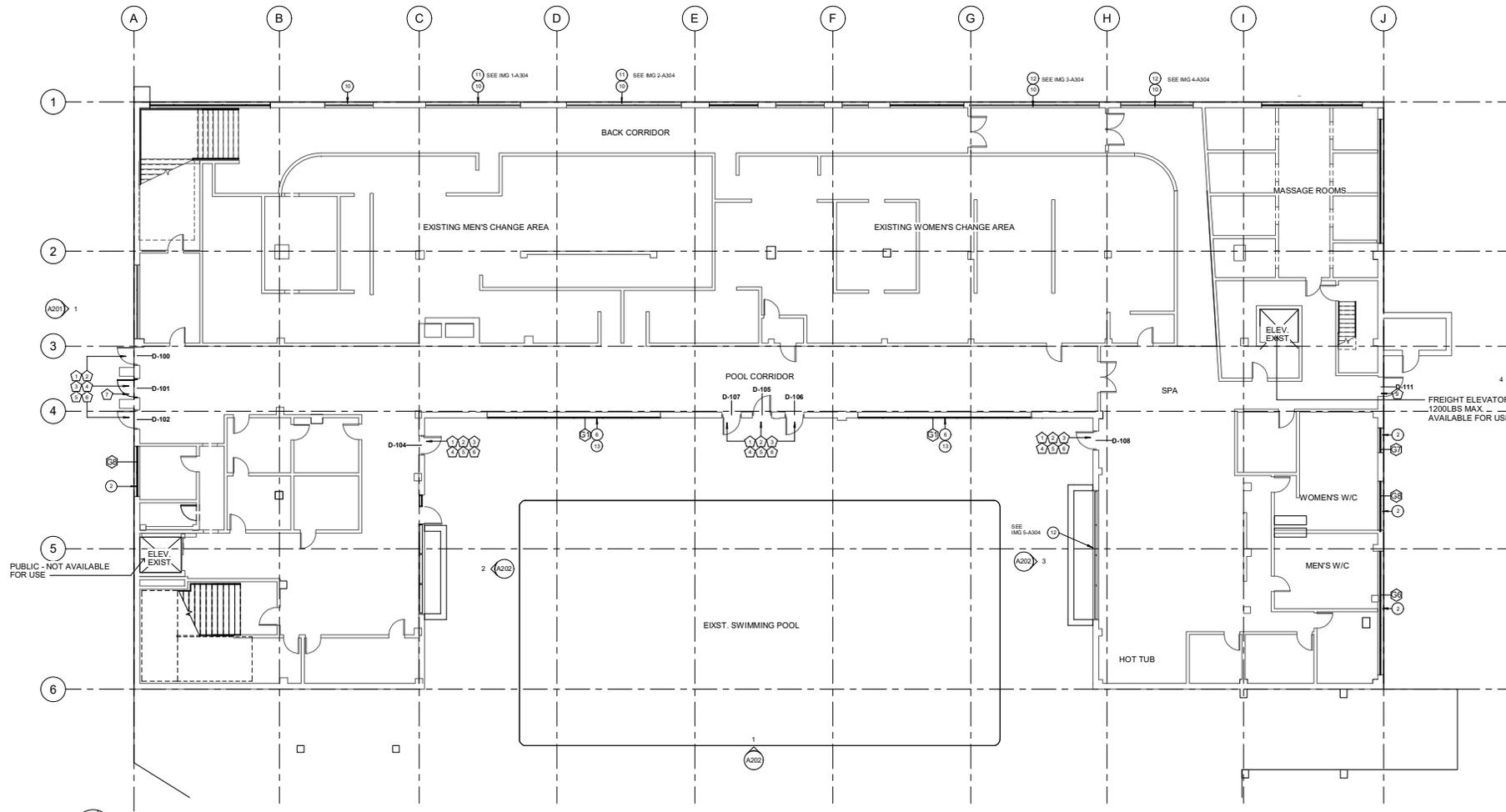
ADDRESS  
5420 BC-93, Radium Hot Springs

PROJECT #  
19063, Flt 705

DATE  
2021-04-07

SHEET  
Ground Floor Plan

A103



1 Ground Floor Plan  
1 : 100  
WINDOW TAG, REFER TO A301.

Door Construction Note	
Number	Note Text
1	INSTALL CONTINUOUS CAULKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCT OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
4	INSTALL NEW DOOR THRESHOLD. REPAIR AFFECTED AREAS PRIOR TO INSTALLATION. FRAME NEW THRESHOLD TO MATCH THE DOOR FRAME PROFILE.
5	INSTALL NEW WEATHERSTRIP AROUND THE DOOR.
6	REPAIR DAMAGED DOOR. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCTS OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
7	REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE. SUBMIT REFURBISH PROCEDURE FOR REVIEW. INSTALL APPROPRIATE DOOR HARDWARE.
9	INSTALL NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. ROUGH OPENING TO BE CONFIRMED ON SITE.
10	PROVIDE NEW DOORWAY TO ACCESSIBILITY STANDARDS OUTLINED IN NBC2015. INSTALL NEW CAULKING, THRESHOLD AND REPAIR EXISTING DOOR FRAME AND DOORS.
11	REPURPOSE EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO NBC2015 STANDARDS. (SECTION 3.8.3.6-6)

Window Construction Note	
Number	Note Text
2	INSTALL NEW ALUMINUM FRAME PRIVACY DOUBLE PANE GLAZING - TRANSLUCENT PANEL @ EXTERIOR PANE/CLEAR @ INTERIOR PANE. SEE TYP. DETAIL 1-A403, 2-A403, 3-A403
6	INSTALL NEW ALUMINUM FRAME CLEAR DOUBLE PANE GLAZING. INSTALL NEW DRYWALL AT THE CEILING. SEE DETAIL 7-A403
10	REMOVE AND REPLACE CAULKING IN EXISTING WINDOW
11	REPAIR DRYWALL AROUND EXISTING WINDOW
12	REMOVE AND REPLACE WEATHERSTRIPPING IN EXISTING WINDOW
13	RECONSTRUCT SURROUNDING WALLS AND CEILING AS REQUIRED WHERE DEMOLISHED DUE TO WATER DAMAGE. SEE 7-A403

2021-04-07 10:54 AM



**ARCHITECTURE**

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**REVISIONS**

No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

**Radium Hot Springs  
Doors and Windows  
Renovation**

**ADDRESS**

5420 BC-93, Radium Hot Springs

**PROJECT #**

19063, Fil 705

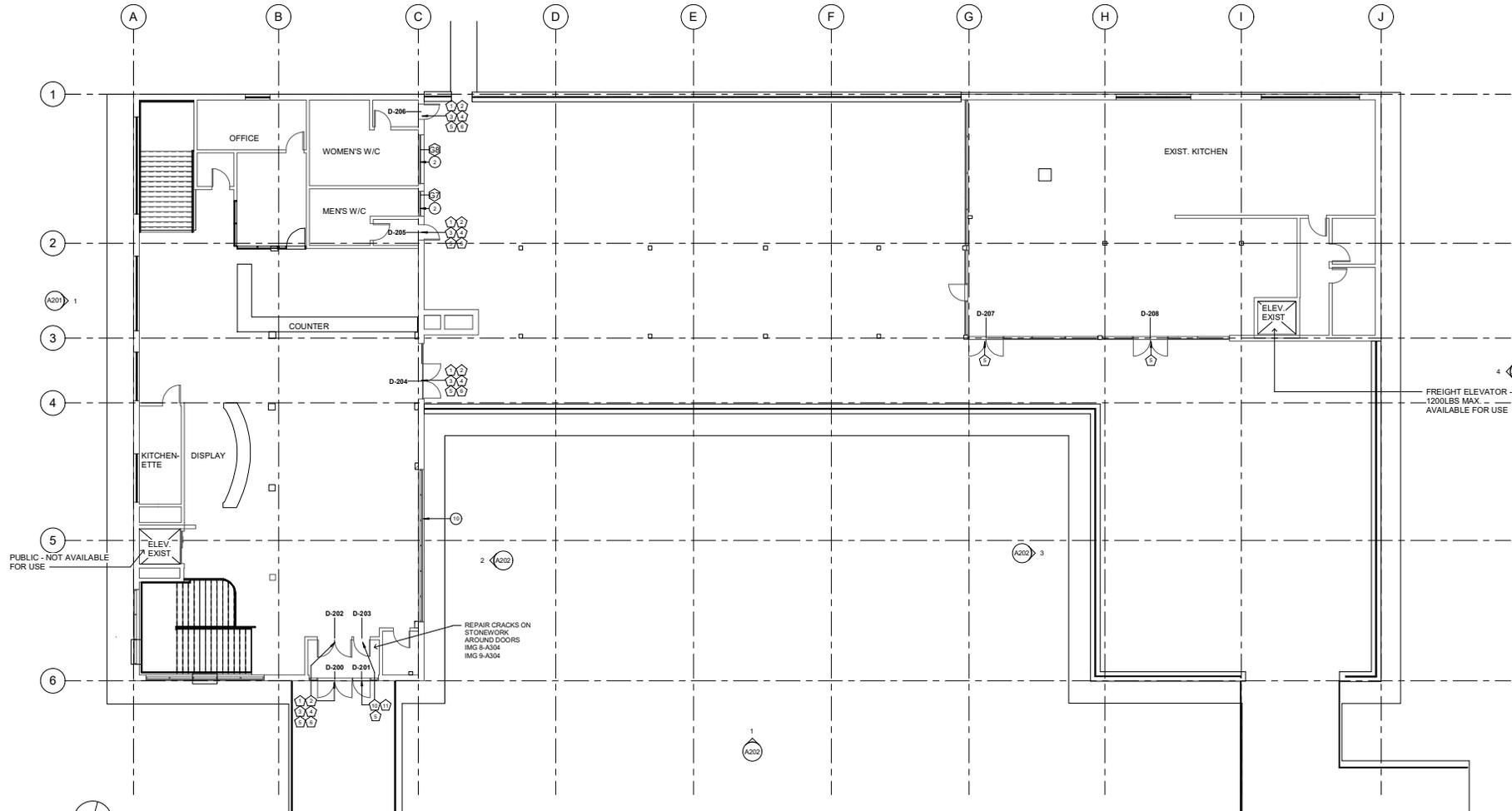
**DATE**

2021-04-07

**SHEET**

Second Floor Plan

**A104**



**1 Second Floor Plan**  
1 : 100

WINDOW TAG, REFER TO A301.

Door Construction Note	
Number	Note Text
1	INSTALL CONTINUOUS CALLKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCT OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
4	INSTALL NEW DOOR THRESHOLD. REPAIR AFFECTED AREAS PRIOR TO INSTALLATION. FRAME NEW THRESHOLD TO MATCH THE DOOR FRAME PROFILE.
5	INSTALL NEW WEATHERSTRIP AROUND THE DOOR.
6	REPAIR DAMAGED DOOR. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCTS OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
7	REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE. SUBMIT REFURBISH PROCEDURE FOR REVIEW. INSTALL APPROPRIATE DOOR HARDWARE. INSTALL NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. ROUGH OPENING TO BE CONFIRMED ON SITE.
10	PROVIDE NEW DOORWAY TO ACCESSIBILITY STANDARDS OUTLINED IN NBC2015. INSTALL NEW CALLKING, THRESHOLD AND REPAIR EXISTING DOOR FRAME AND DOORS.
11	REPURPOSE EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO NBC2015 STANDARDS. (SECTION 3.8.3.6-9)

Window Construction Note	
Number	Note Text
2	INSTALL NEW ALUMINUM FRAME PRIVACY DOUBLE PANE GLAZING - TRANSLUCENT PANEL @ EXTERIOR PANE/CLEAR @ INTERIOR PANE. SEE TYP. DETAIL 1-A403, 2-A403, 3-A403
6	INSTALL NEW ALUMINUM FRAME CLEAR DOUBLE PANE GLAZING. INSTALL NEW DRYWALL AT THE CEILING. SEE DETAIL 7-A403
10	REMOVE AND REPLACE CALLKING IN EXISTING WINDOW
11	REPAIR DRYWALL AROUND EXISTING WINDOW
12	REMOVE AND REPLACE WEATHERSTRIPPING IN EXISTING WINDOW
13	RECONSTRUCT SURROUNDING WALLS AND CEILING AS REQUIRED WHERE DEMOLISHED DUE TO WATER DAMAGE. SEE 7-A403

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Radium Hot Springs  
Doors and Windows  
Renovation

ADDRESS

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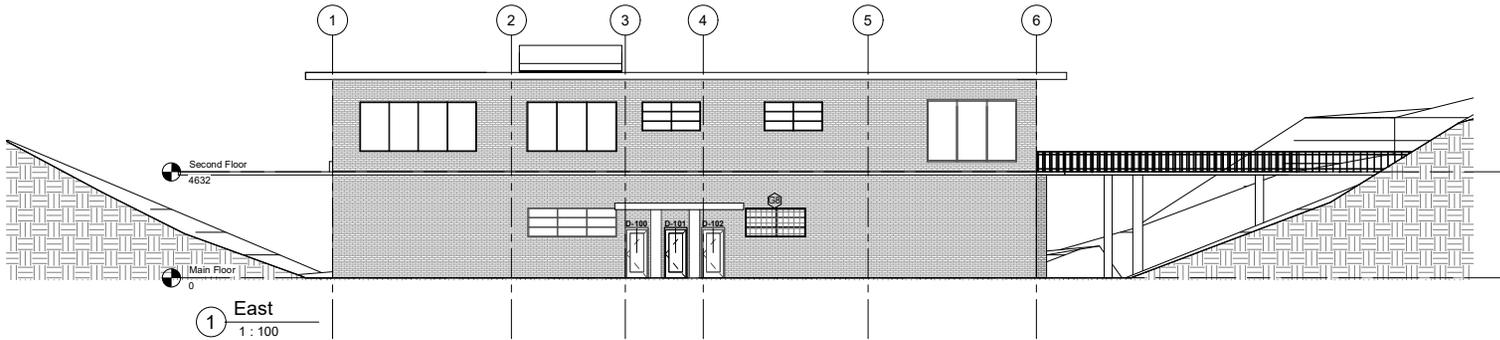
DATE

2021-04-07

SHEET

Elevation

A201





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**Radium Hot Springs  
 Doors and Windows Renovation**

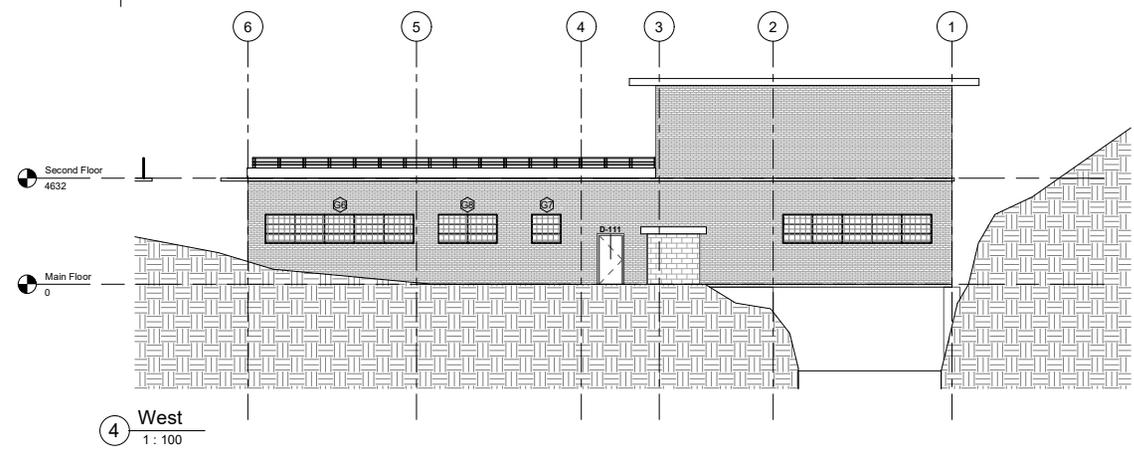
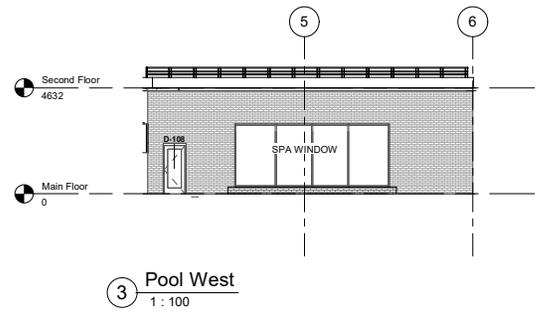
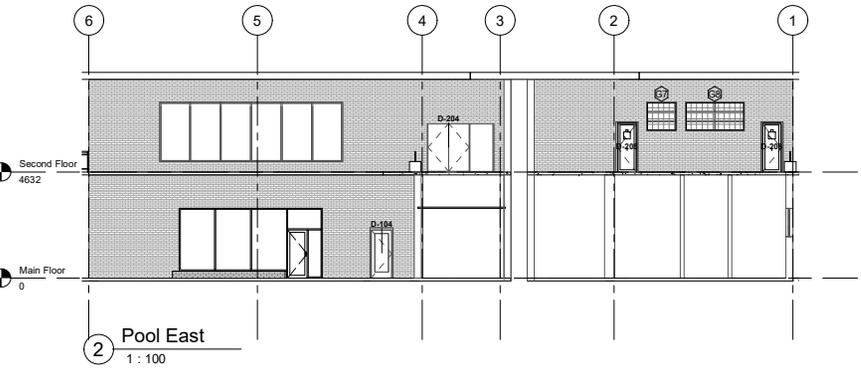
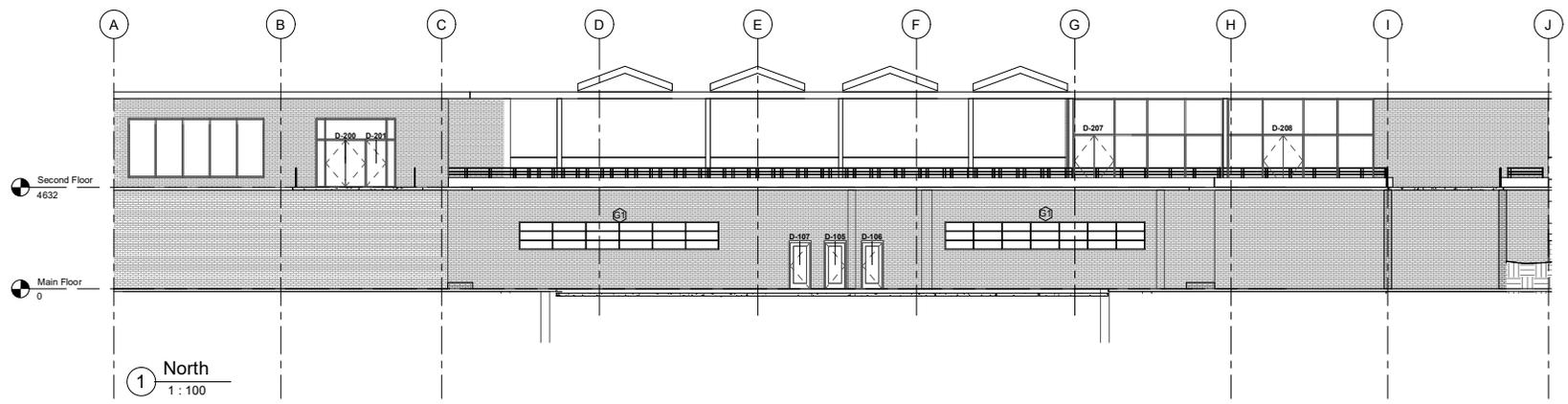
**ADDRESS**  
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**PROJECT #**  
 19063, Fil 705

**DATE**  
 2021-04-07

**SHEET**  
 Elevation

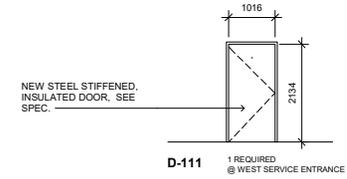
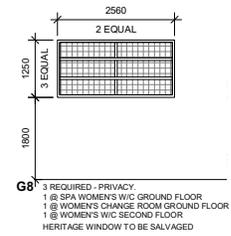
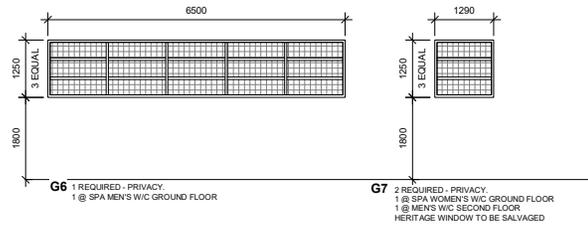
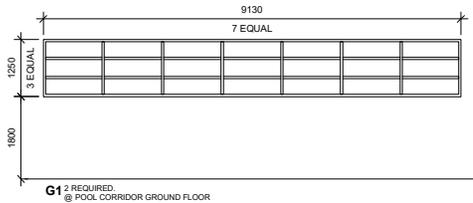
**A202**



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 Radium Hot Springs Doors and Windows Renovation - Elevation A202

CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE.

Door Schedule					
Mark	Rough Width	Rough Height	Comments	Applicable Demolition Keynotes	Applicable Construction Keynotes
D-100	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-101	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-102	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-104	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-105	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-106	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-107	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-108	900	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-109	813	2134			
D-110	813	2134			
D-111	1016	2134	NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. SEE SPEC. FINISH TO MATCH EXISTING. ROUGH OPENING TO BE CONFIRMED ON SITE.	9	9
D-200	1800	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-201	900	2100		0, 1, 2, 4, 5, 6, 10	5, 10, 11
D-202	1800	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-203	864	2100		0, 1, 2, 3, 4, 5, 6	5, 10, 11
D-204	1800	2100		0, 1, 2, 3, 4, 5, 6	1, 2, 3, 4, 5, 6
D-205	810	2100		0, 1, 2, 3, 4, 5, 6, 8	1, 2, 3, 4, 5, 6, 8
D-206	810	2100		0, 1, 2, 3, 4, 5, 6, 8	1, 2, 3, 4, 5, 6, 8
D-207	1800	2325			5
D-208	1800	2325			5



- DOUBLE GLAZED SEALED UNIT
- DOUBLE GLAZED SEALED UNIT WITH PRIVACY GLASS

MATCH NEW WINDOWS  
FRAMES WITH EXISTING  
REPLACED WINDOWS



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01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

Radium Hot Springs  
Doors and Windows  
Renovation

ADDRESS  
5420 BC-93, Radium Hot Springs

PROJECT #  
19063, Fil 705

DATE  
2021-04-07

SHEET  
Schedules

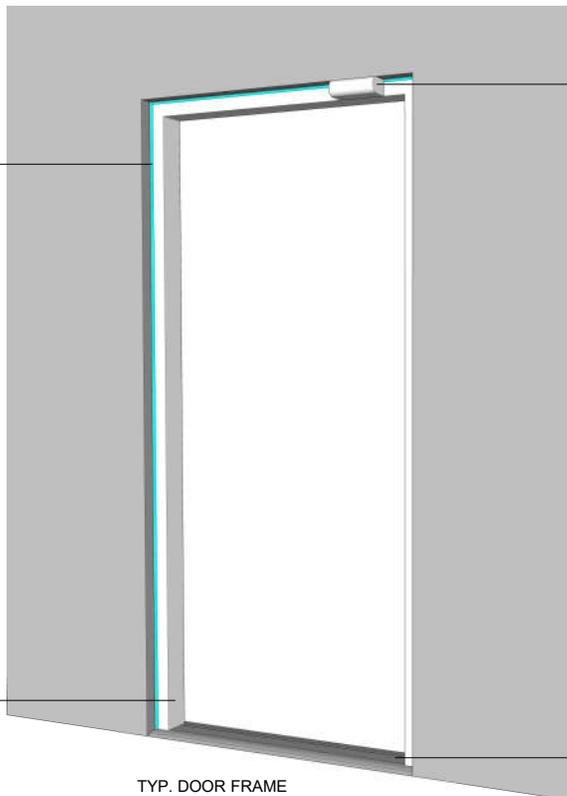
REVISIONS

No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

TYP. EXISTING DOOR FRAME CONDITION



TYP. DOOR FRAME



Door Demolition Note	
Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING CAULKING. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW CAULKING. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
2	RETAIN EXISTING DOOR FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE REPAIR ON DAMAGED DOOR FRAME. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
3	REMOVE EXISTING DOOR CLOSER. GENTLY CLEAN AND MAKE GOOD AFFECTED SURFACES TO RECEIVE NEW SURFACE MOUNTED DOOR CLOSER. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
4	REMOVE EXISTING DOOR THRESHOLD. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
5	RETAIN EXISTING DOOR. REMOVE EXISTING WEATHERSTRIP AROUND THE DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW WEATHERSTRIP. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
6	RETAIN EXISTING DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE REPAIR ON DAMAGES IN THE DOOR. SUBMIT REPAIR PROCEDURES TO CONSULTANT FOR REVIEW. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
7	RETAIN EXISTING DOOR. REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE.
8	EXISTING THRESHOLD HAS BEEN REMOVED. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
9	REMOVE EXISTING DOOR AND FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR, FRAME, THRESHOLD, AND HARDWARE.
10	RETAIN EXISTING AUTOMATIC DOOR OPENER.

Door Construction Note	
Number	Note Text
1	INSTALL CONTINUOUS CAULKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROFIX ALUMINUM FROM BRODI SPECIALTY PRODUCT OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
4	INSTALL NEW DOOR THRESHOLD. REPAIR AFFECTED AREAS PRIOR TO INSTALLATION. FRAME NEW THRESHOLD TO MATCH THE DOOR FRAME PROFILE.
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9	INSTALL NEW DOOR, FRAME, THRESHOLD, AND HARDWARE. ROUGH OPENING TO BE CONFIRMED ON SITE.
10	PROVIDE NEW DOORWAY TO ACCESSIBILITY STANDARDS OUTLINED IN NBC2015. INSTALL NEW CAULKING, THRESHOLD AND REPAIR EXISTING DOOR FRAME AND DOORS.
11	REPURPOSE EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO NBC2015 STANDARDS. (SECTION 3.6.3.6-8)

REVISIONS

No.	Date	Description
01	2021-01-04	99% IFC
02	2021-03-16	99% IFC 2
03	2021-04-07	IFT

ADDRESS

5420 BC-93, Radium Hot Springs

PROJECT #

19063, Fil 705

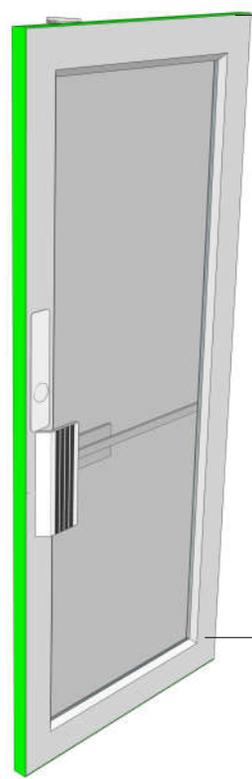
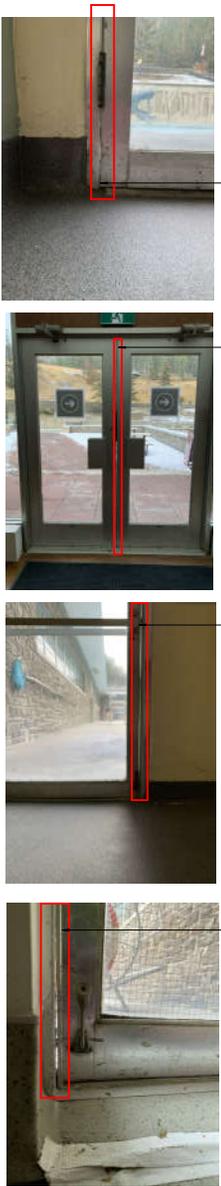
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2021-04-07

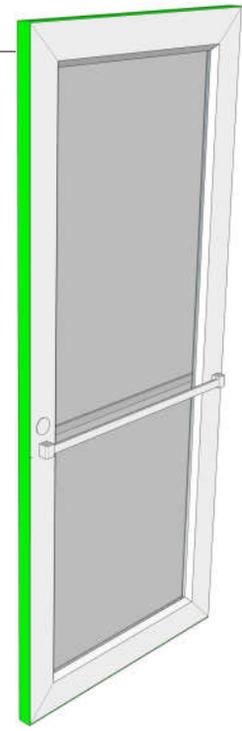
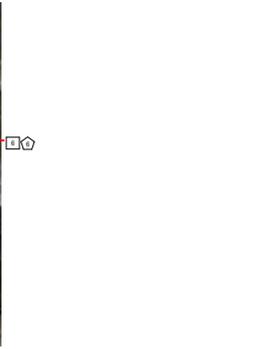
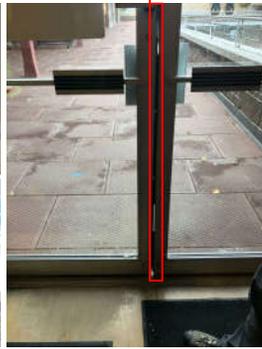
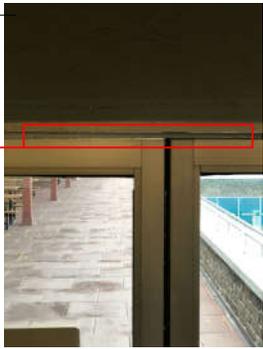
SHEET

Door Details

TYP. EXISTING DOOR CONDITION



DOOR TYPE 1



DOOR TYPE 2

Door Demolition Note <input type="checkbox"/>	
Number	Note Text
0	CONTAINS HAZARDOUS MATERIAL. REFER TO THE REPORT PREPARED BY EHS FOR MORE DETAIL. PROCEED WITH DEMOLITION WITH WORKSAFE BC HEALTH REQUIREMENTS.
1	REMOVE EXISTING CAULKING. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW CAULKING. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
2	RETAIN EXISTING DOOR FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE REPAIR ON DAMAGED DOOR FRAME. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
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4	REMOVE EXISTING DOOR THRESHOLD. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
5	RETAIN EXISTING DOOR. REMOVE EXISTING WEATHERSTRIP AROUND THE DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE NEW WEATHERSTRIP. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
6	RETAIN EXISTING DOOR. GENTLY CLEAN AND PREPARE AFFECTED SURFACES TO RECEIVE REPAIR ON DAMAGES IN THE DOOR. SUBMIT REPAIR PROCEDURES TO CONSULTANT FOR REVIEW. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
7	RETAIN EXISTING DOOR. REVERSE EXISTING DOOR. REFURBISH EXISTING DOOR AND FRAME TO 'ORIGINAL HISTORIC' APPEARANCE.
8	EXISTING THRESHOLD HAS BEEN REMOVED. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR THRESHOLD. RETAIN HERITAGE APPEARANCE WHILE CLEANING.
9	REMOVE EXISTING DOOR AND FRAME. GENTLY CLEAN AND PREPARE SURFACES TO RECEIVE NEW DOOR, FRAME, THRESHOLD, AND HARDWARE.
10	RETAIN EXISTING AUTOMATIC DOOR OPENER.

Door Construction Note <input type="checkbox"/>	
Number	Note Text
1	INSTALL CONTINUOUS CAULKING AROUND THE DOOR FRAME.
2	REPAIR DAMAGED DOOR FRAME. FILL HOLES WITH EPOXY, SAND, AND MATCH FINISH WITH EXISTING DOOR FRAME. USE BROFIK ALUMINUM FROM BRODI SPECIALTY PRODUCT OR APPROVED EQUIVALENT PRODUCT TO FIX HOLES IN ALUMINUM.
3	INSTALL NEW SURFACE MOUNTED DOOR CLOSER THAT FITS ONTO THE EXISTING DOOR FRAME.
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11	REPURPOSE EXISTING AUTOMATIC DOOR OPENER. CONTRACTOR TO DESIGN BUILD AN AUTOMATIC DOOR THAT CONFORMS TO NBC2015 STANDARDS. (SECTION 3.8.3.6-6)



IMAGE 1



IMAGE 2



IMAGE 3

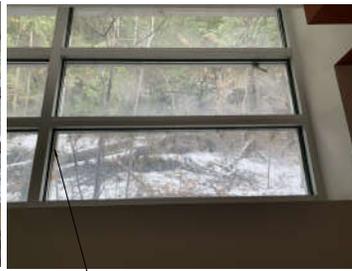


IMAGE 4



IMAGE 5



IMAGE 8



IMAGE 9

FILL CRACKS WITH CONCRETE COMPOUND

Window Construction Note	
Number	Note Text
E INSTALLING NEW WINDOWS	
GLAZING: SEE TYP. DETAIL 1-A403, 2-A403, 3-A403.	
2	INSTALL NEW ALUMINUM FRAME PRIVACY DOUBLE PANE GLAZING - TRANSLUCENT PANEL @ EXTERIOR PANE/CLEAR @ INTERIOR PANE. SEE TYP. DETAIL 1-A403, 2-A403, 3-A403
6	INSTALL NEW ALUMINUM FRAME CLEAR DOUBLE PANE GLAZING. INSTALL NEW DRYWALL AT THE CEILING. SEE DETAIL 7-A403
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11	REPAIR DRYWALL AROUND EXISTING WINDOW
12	REMOVE AND REPLACE WEATHERSTRIPPING IN EXISTING WINDOW
13	RECONSTRUCT SURROUNDING WALLS AND CEILING AS REQUIRED WHERE DEMOLISHED DUE TO WATER DAMAGE. SEE 7-A403



ARCHITECTURE

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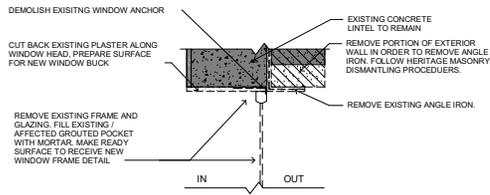
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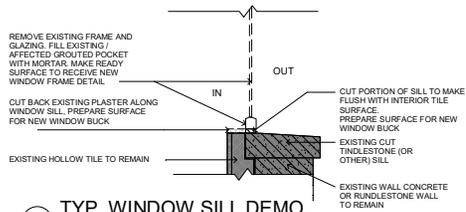
Existing Repair Details

A304



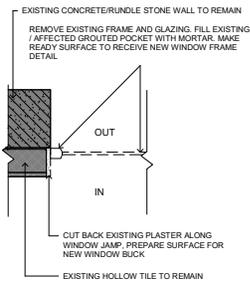
EXISTING TYP. HEADER CONDITION @ GROUND FLOOR BACK CORRIDOR

1 TYP. WINDOW HEAD DEMO  
1 : 10



EXISTING TYP. SILL CONDITION @ GROUND FLOOR BACK CORRIDOR

2 TYP. WINDOW SILL DEMO  
1 : 10



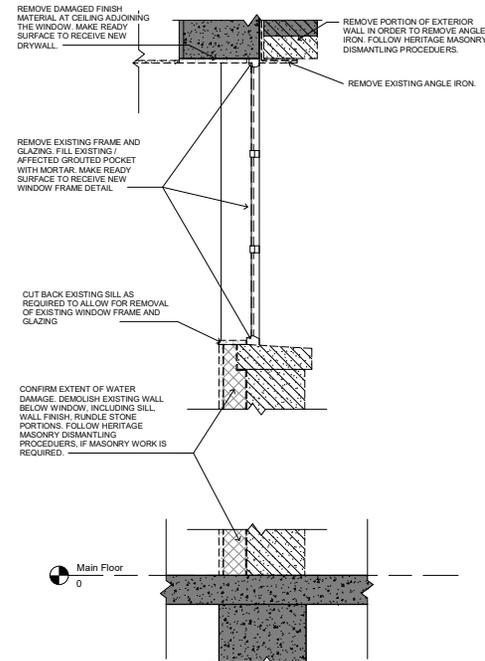
3 TYP. WINDOW JAMB DEMO  
1 : 10



TYP. HEAD CONDITION @ MAIN FLOOR POOL COORIDOR. REMOVE EXISTING DAMAGED DRYWALL



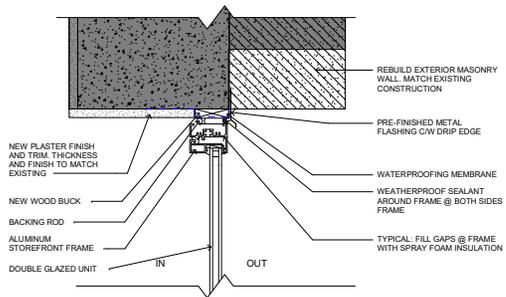
TYP. SILL CONDITION @ MAIN FLOOR POOL CORRIDOR



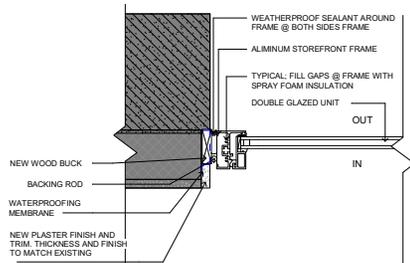
5 TYP. HEAD AND SILL DEMO @ MAIN FLOOR POOL CORRIDOR  
1 : 10

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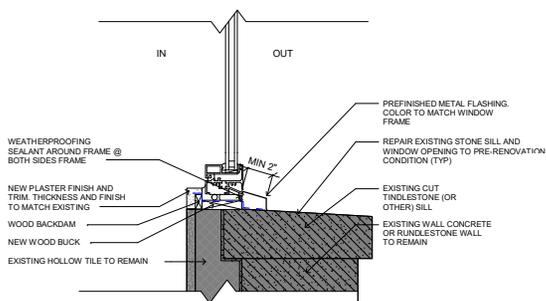




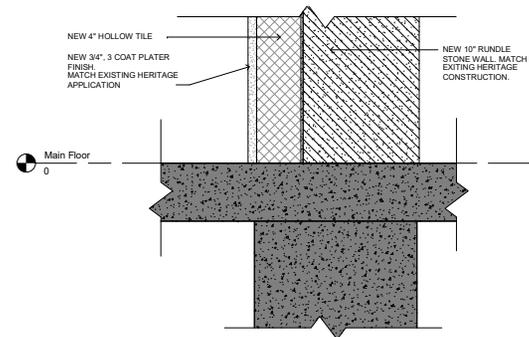
1 TYP. WINDOW HEAD - NEW  
1:5



2 TYP. WINDOW JAMB - NEW  
1:5



3 TYP. WINDOW SILL - NEW  
1:5



7 WINDOW @ MAIN FLOOR POOL CORRIDOR - NEW  
1:5



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Renovation

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IMG.1 STOREFRONT WINDOW GROUND LEVEL



IMG.2 ACCESSIBLE WASHROOM WINDOW GROUND FLOOR



IMG.3 DOOR TO OUTDOOR POOL, GROUND FLOOR CORRIDOR



IMG.4 LARGE WINDOW IN BACK CORRIDOR, GROUND FLOOR



IMG.5 CORRIDOR LEADING TO THE SPA, GROUND FLOOR



IMG.6 RECESSED WINDOW, BACK CORRIDOR GROUND FLOOR



IMG.7. POOL CORRIDOR WINDOWS, GROUND FLOOR



IMG.8. DOOR TO COOL POOL, GROUND FLOOR



IMG.9. OUTSIDE VIEW OF IMG. 1



IMG.10. MEN'S W/C IN SPA, GROUND FLOOR



IMG.11. WOMEN'S W/C IN SPA, GROUND FLOOR



IMG.12. MASSAGE ROOMS, GROUND FLOOR



IMG.13. MASSAGE ROOM, GROUND FLOOR



IMG.14. CORNER MASSAGE ROOM, GROUND FLOOR



IMG.15. OUTSIDE VIEW OF MASSAGE ROOM WINDOW OVER CREEK



IMG.16. OUTSIDE VIEW OF IMG.10



IMG.17. DOOR TO THE COOL POOL, GROUND FLOOR



IMG.18. OUTSIDE VIEW OF IMG.2



IMG.19. OUTSIDE VIEW OF IMG.3



IMG.20. OUTSIDE VIEW OF WOMEN'S ACCESSIBLE W/C.



IMG.21. OUTSIDE VIEW OF IMG.4



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IMG.22. BACK CORRIDOR OUTSIDE VIEW



IMG.23. LOBBY CORNER WINDOW



IMG.24. LOBBY CORNER WINDOW



IMG.25. SNACK ROOM WINDOW, SECOND FLOOR



IMG.26. LOBBY WINDOW, SECOND FLOOR



IMG.27. LOBBY SOUTH EAST WINDOW, SECOND FLOOR



IMG.28. OFFICE WINDOW, SECOND FLOOR



IMG.29. LOBBY ENTRANCE, SECOND FLOOR



IMG.30. OUTDOOR WASHROOM ENTRANCE, SECOND FLOOR



IMG.31. OUTDOOR WASHROOM WINDOW, SECOND FLOOR



IMG.32. KITCHEN/CAFE WINDOW, SECOND FLOOR



IMG.33. KITCHEN/CAFE WINDOW, SECOND FLOOR



IMG.34. EXISTING AUTOMATIC DOOR OPERATOR AT MAIN ENTRANCE, SECOND FLOOR



IMG.35. MAIN ENTRANCE, SECOND FLOOR



IMG.36. OUTSIDE VIEW OF IMG.23



IMG.37. CREEK, WEST FACADE



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