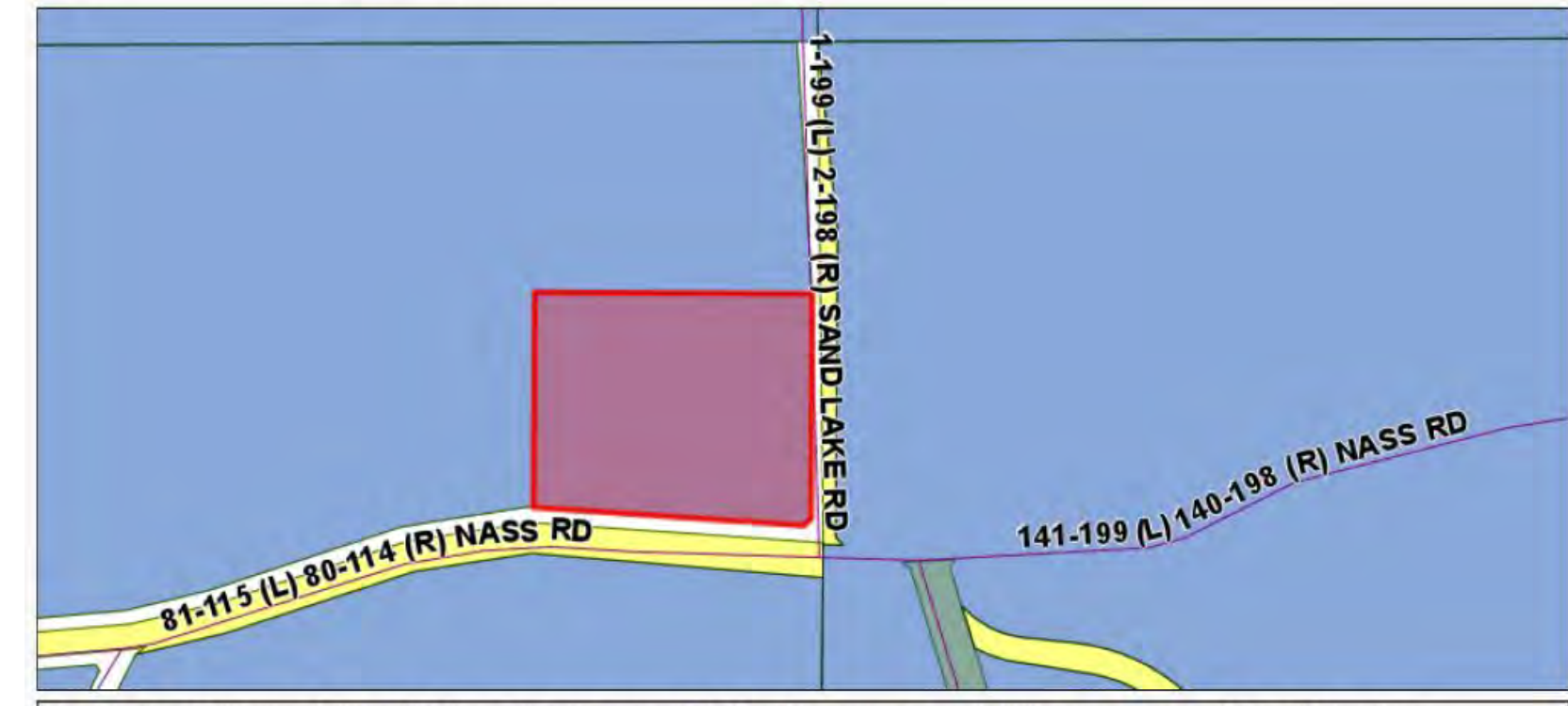


# NEW RESIDENCE

## NEW AIYANSH, BC



Regional District of **Kitimat-Stikine**  
Suite 300 - 4345 Isabelle Avenue  
Terrace, B.C. V8G 4E1  
(250) 615-6100 (phone)  
1-800-663-3209 (toll free)  
**Address** : 117A NASS RD NEW AIYANSH BC  
**Legal description** : Lot 1, Plan PRP10005, District Lot 4011, Cassiar Land District, Manufactured Home Reg. # 99891  
**PID** : 005672660  
**Folio** : 792 02791.525



The Regional District of Kitimat-Stikine is not responsible for the accuracy, reliability or currency of the information represented on this page. Some information has been supplied by external sources.



Revision/ Révision	Description/ Description	Date/ Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 90% REVIEW	2021-05-01
0	ISSUED FOR 80% REVIEW	2021-05-03

Client/Client

### Public Services and Procurement Canada (PSPC)

VANCOUVER, BC  
800 BARRARD ST.

Project title/Titre du projet

### New Residence, New Aiyansh, BC

Consultant Signature Box Only

Designed by/Concept par  
**BC**

Drawn by/Dessiné par  
**SJ**

PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC, Regional Manager, Architectural and Engineering Services  
Gestionnaire Régionale, Services d'architecture et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin

### COVER SHEET

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
<b>R.112456.001</b>	<b>A01</b>	<b>3</b>

#### LOCATION PLAN - NTS



#### LEGEND

- DETAIL NUMBER SHEET NUMBER
- ASSEMBLY TYPE  
R-ROOF, F-FLOOR  
W-WALL, P-PARTITION
- GRID MARKER
- BUILDING SECTION
- WALL SECTION
- DETAIL
- ELEVATION
- INTERIOR ELEVATION
- ROOM NAME AND NUMBER
- DOOR NUMBER
- WINDOW NUMBER
- RCP ELEVATION MARKER (MATERIAL | HEIGHT AFF)
- SURFACE DATUM ELEVATION
- REFERENCE INFORMATION BUBBLE

#### ABBREVIATIONS

AB	AIR BARRIER	MIN	MINIMUM OR MINUTES
ACT	ACOUSTIC CEILING TILE	MTD	MOUNTED
ALT	ALTERNATE	(N)	NEW
ALUM	ALUMINUM	NCC	NON-COMBUSTIBLE CONSTRUCTION
AND.	ANODIZED	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISH FLOOR	N.T.S.	NOT TO SCALE
APM	AIR PORT MANAGER	O.C.	ON CENTER
ATB	AIR TERMINAL BUILDING	OH	OVERHANG
BLDG.	BUILDING	OP	OPERABLE
B.O.	BY OTHERS	P.I.P.	POURED IN PLACE
BSMT.	BASEMENT	P.T.	PRESSURE TREATED
BUL.	BULKHEAD	RCP	REFLECTED CEILING PLAN
CARP.	CARPET	RD.	ROOF DRAIN
CARP. T.	CARPET TILE	RE & RE	REMOVE & RELOCATE/ REINSTATE
C.C.	CENTER TO CENTER	RM.	ROOM
C.O.	CLEAN OUT	SAM	SELF ADHESIVE MEMBRANE
C.I.	CONTROL JOINT	SAN	SANITARY
C.W.	COMPLETE WITH	SEP	SEPARATION
CONC.	CONCRETE	SIM	SIMILAR
(D)	DEMOLITION	SOF	SOFFIT
D.R.	DEPARTMENTAL REPRESENTATIVE	S.O.G.	SLAB ON GRADE
(E)	EXISTING	SO	SQUARE
ELECT.	ELECTRICAL	ST	STEEL
ELEV.	ELEVATION OR ELEVATOR	STRUCT.	STRUCTURAL
FIN.	FINISH	SV	SHEET VINYL
FNDT.	FOUNDATION	T.B.	THERMALLY BROKEN
FRR	FIRE RESISTANCE RATING	TBD	TO BE DETERMINED
FTG	FOOTING	T.G.	TRIPLE GLAZED
GWB	GYPNUM WALL BOARD	T.O.	TOP OF
GA	GALVANIZED	TYP	TYPICAL
G.I.	GALVANIZED	U.G.	UNDERGROUND
GLAZ	GLAZING	U.N.O.	UNLESS NOTED OTHERWISE
H.D.	HIGH DENSITY	US	UNDERSIDE
H.M.	HOLLOW METAL	VB	VAPOR BARRIER
HWDR	HARDWARE	VERT.	VERTICAL
HORIZ	HORIZONTAL	VCT	VINYL COMPOSITE TILE
INSUL	INSULATION	W	WITH
LAM	LAMINATED	WD	WOOD
MATL	MATERIAL	W/O	WITH OUT
MECH	MECHANICAL	W.COV.	WALL COVERING
MEMB	MEMBRANE		
MB	MOISTURE BARRIER		

#### CODE REVIEW

2015 National Building Code (NBC) - Part 9		NBC 2015 Reference
1	Project Description: <input type="checkbox"/> New New 3 storey wood frame residential structure with secondary suite at basement level	
2	Major Occupancy(s): C - Residential Occupancy	9.10.2.1
3	Building Area (m <sup>2</sup> ): 106.298 sq m	
4	Gross Area (m <sup>2</sup> ): 248.74 sq m	
5	Number of Storeys: Above Grade - 2 Below Grade - 1 -	
6	Height of Building (m): (Lowest Floor to Roof Peak) 9.977m	
7	Number of Streets: 1	-
8	Spatial Separation: Limiting distances are not a factor as building is distant from adjacent buildings.	-
9	Construction Type: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible	9.10.6
10	Cladding Type: Combustible or Noncombustible allowed	9.10.14.5-A
11	Required Fire Resistance Ratings (FRR) Separation between suites: both sides of wall assemblies, and the underside of floor-ceiling framing, requires continuous smoke barrier = 12.7 gypsum board. Service Room: both sides of wall assemblies, and the underside of floor-ceiling framing, requires continuous smoke barrier = 12.7 gypsum board. Garages: No FRR required. An air barrier system conforming to 9.25.3 is required.	9.10.9.14 9.10.10.4 9.10.9.16
12	Egress from Bedrooms: Egress windows opening into a window well shall have a clearance of not less than 760mm	9.9.10

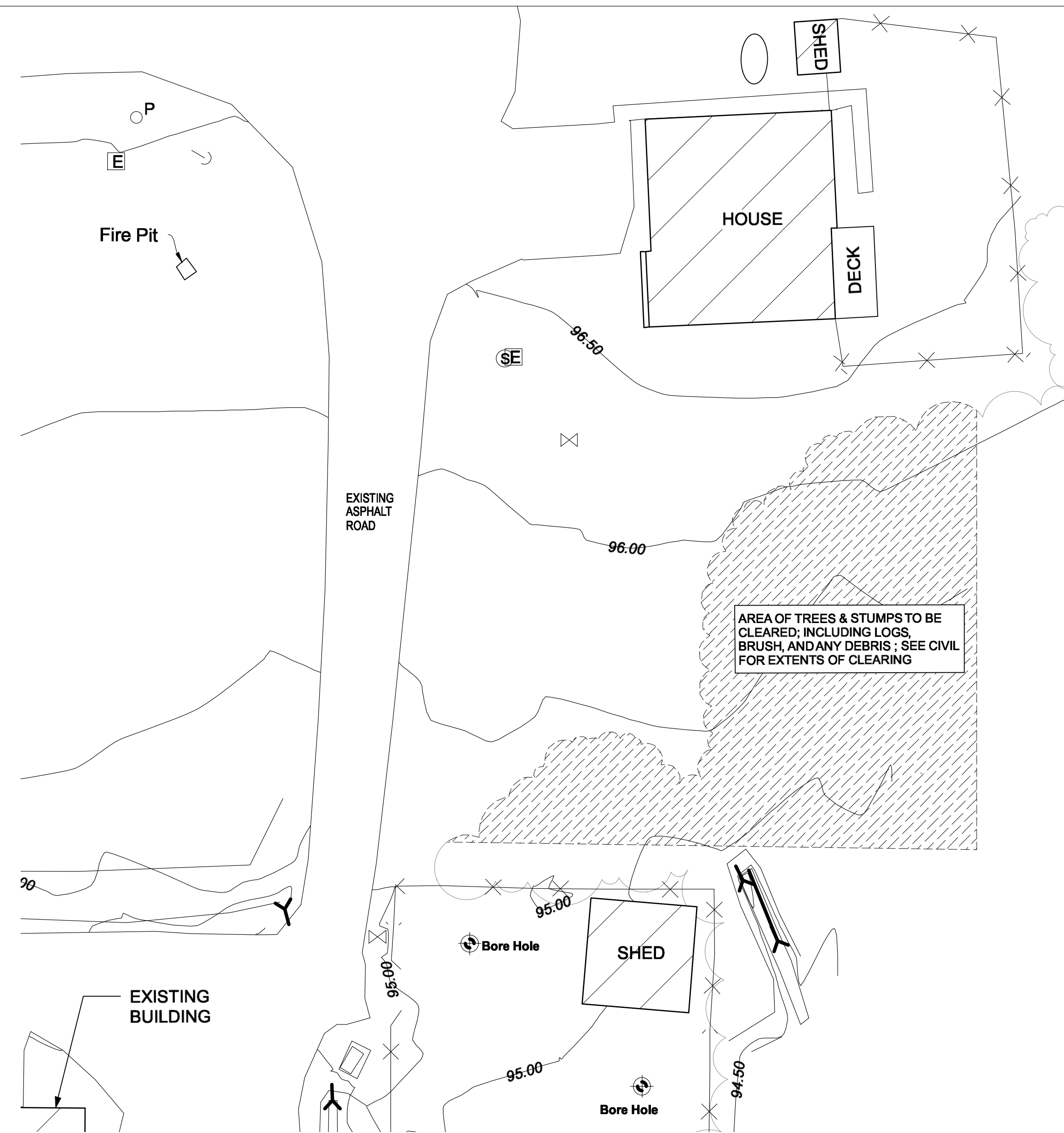
#### DRAWING LIST

- ARCHITECTURAL**
- A01 COVER SHEET
  - A02 SITE PLANS
  - A03 FLOOR PLANS
  - A04 ROOF PLAN & ENLARGED BASEMENT PATIO PLAN
  - A05 REFLECTED CEILING PLANS
  - A06 BUILDING ELEVATIONS
  - A07 BUILDING SECTIONS
  - A08 DETAILS
  - A09 DETAILS
  - A10 DETAILS
  - A11 DETAILS
  - A12 SCHEDULES
  - A13 INTERIOR ELEVATIONS
  - A14 DETAILS
- STRUCTURAL**
- S-1.01 GENERAL NOTES
  - S-1.02 TYPICAL DETAILS
  - S-1.03 TYPICAL DETAILS
  - S-2.01 FOUNDATION PLAN AND MAIN FLOOR FRAMING PLAN
  - S-2.02 UPPER FLOOR AND ROOF FRAMING PLANS
  - S-3.01 BUILDING SECTION
  - S-4.01 FOUNDATION SECTIONS
  - S-4.02 WOOD FRAMING SECTIONS
- MECHANICAL**
- M0.1 LEGEND, DRAWING LIST & SCHEDULES
  - M1.1 MAIN AND BASEMENT FLOOR PLANS PLUMBING
  - M1.2 UPPER AND ROOF PLAN PLUMBING
  - M2.1 MAIN AND BASEMENT FLOOR PLANS HVAC
  - M2.2 UPPER AND ROOF PLANS HVAC
  - M3.0 DETAILS
- ELECTRICAL**
- E00 ELECTRICAL LEGEND, SITE PLAN, AND DRAWING LIST
  - E01 MAIN FLOOR AND BASEMENT PLAN - ELECTRICAL
  - E02 UPPER FLOOR AND ROOF PLAN - ELECTRICAL
  - E03 ELECTRICAL DETAILS
  - E04 ELECTRICAL SCHEDULES
  - E05 ELEVATIONS
- CIVIL**
- C01 SITE PLAN
  - C02 SERVINGS PLAN
  - C03 DETAILS
- SURVEY (BY PWGSC)**
- SU.1 SURVEY

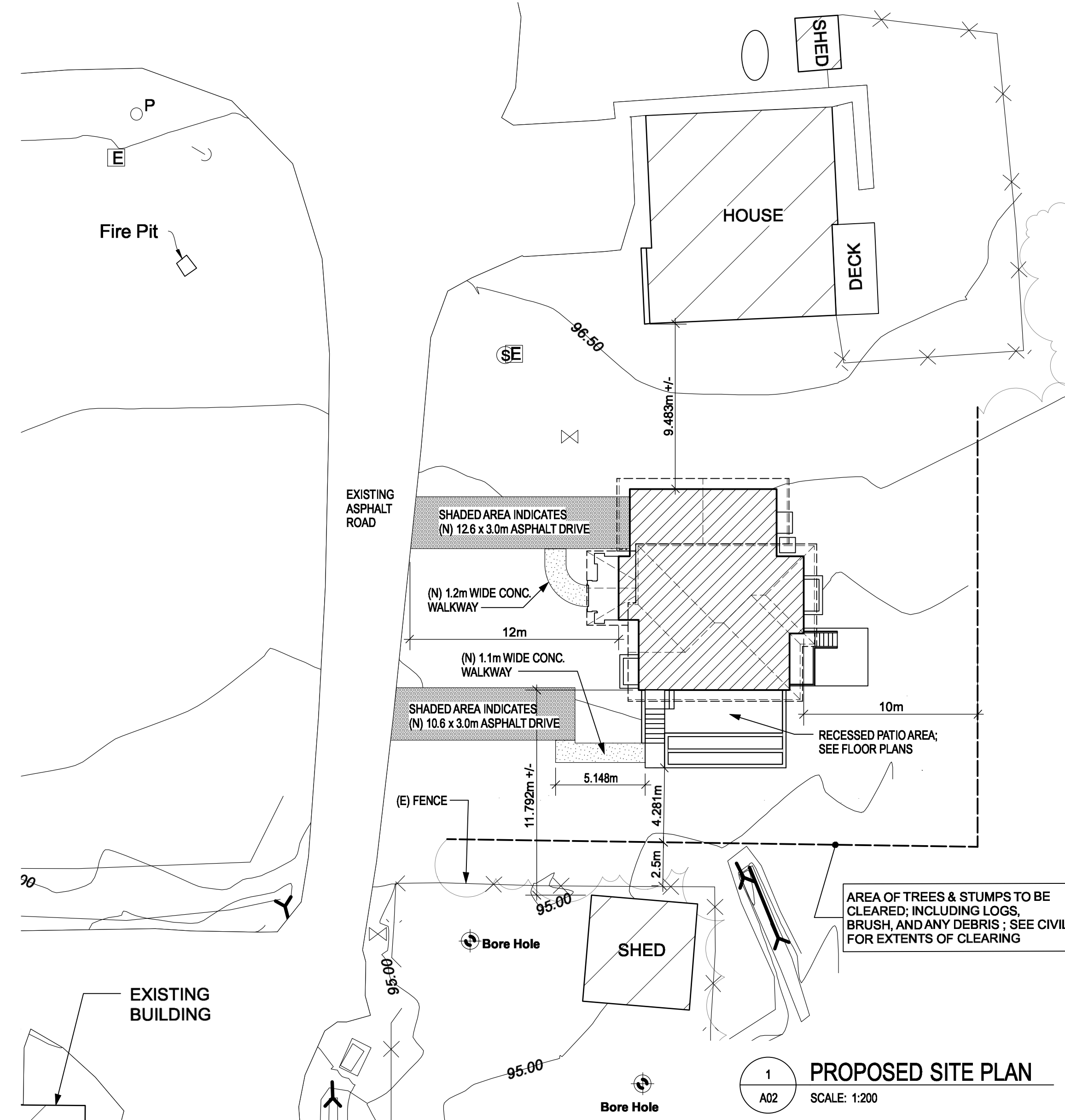




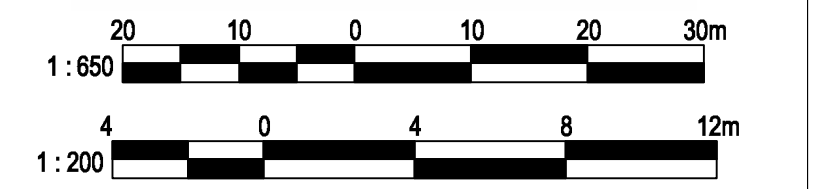
3 OVERALL SITE PLAN  
SCALE: 1:650



2 EXISTING SITE PLAN  
SCALE: 1:200



1 PROPOSED SITE PLAN  
SCALE: 1:200



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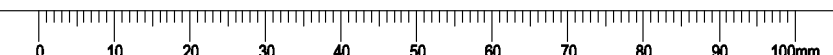
Client/Client  
**Public Services and Procurement Canada (PSPC)**  
**VANCOUVER, BC**  
**800 BARRARD ST.**

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

Consultant Signature Box Only  
Designed by/Concept par: **BC**  
Drawn by/Dessiné par: **SJ**  
PWGSC Project Manager/Administrateur de Projets TPSGC: **PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services/Gestionnaire Régionale, Services d'architecture et de génie, TPSGC: **PREETIPAL PAUL**

Drawing title/Titre du dessin: **SITE PLANS**

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
<b>R.112456.001</b>	<b>A02</b>	<b>3</b>





**ARCH. GENERAL NOTES:**

- DO NOT SCALE DRAWING.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED TO THE DEPARTMENTAL REPRESENTATIVE BEFORE PROCEEDING.
- VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION OF DEPARTMENTAL REPRESENTATIVE.
- ALL DIMENSIONS ARE TO GRIDLINES, FACE OF CONCRETE, FACE OF STUDS OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE METRIC (mm) UNLESS NOTED OTHERWISE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH AND COORDINATED WITH THE SPECIFICATIONS AND THE DOCUMENTS OF THE OTHER DISCIPLINES THAT FORM THE FULL CONTRACT DOCUMENT PACKAGE. WHERE CONFLICT EXISTS BETWEEN DOCUMENTS, THESE ARE TO BE REPORTED TO THE DEPARTMENTAL REPRESENTATIVE BEFORE PROCEEDING.
- ENSURE COMPATIBILITY OF METAL FASTENERS, SHEET METALS AND OTHER METAL ITEMS WITH EACH OTHER AND WITH PRESSURE TREATED WOOD. PROVIDE ISOLATION WHERE REQUIRED. ALWAYS ISOLATE P.T. WOOD FROM METALS.



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1	ISSUED FOR 98% REVIEW	2021-06-01
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**Public Services and Procurement Canada (PSPC)**  
**VANCOUVER, BC**  
**800 BURRARD ST.**

**New Residence, New Aiyansh, BC**

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 PWGSC Project Manager/Administrateur de Projets: **PHILIP FUNG**  
 PWGSC Regional Manager/Architectural and Engineering Services/ Gérant Régional, Services d'architectural et de génie, TPSGC: **PREETIPAL PAUL**

**FLOOR PLANS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
R.112456.001	A03	3

**EXTERIOR WALLS**

- W1 FOUNDATION WALL W/ 89mm FURRING (BASEMENT BATH)**  
 INTERIOR PAINT FINISH  
 12.7mm GWB  
 38mm RIGID INSULATION  
 38 x 89mm PT. STUD @ 400 O.C. MAX (ON EDGE)  
 6 MILS POLY  
 200mm CONCRETE WALL (SEE STRUCT.)  
 DAMPPROOFING  
 75mm RIGID INSULATION (CONCRETE FACING ABOVE GRADE)  
 DRAIN MATT
- W2 FOUNDATION WALL W/ 38mm FURRING (BASEMENT SUITE)**  
 INTERIOR PAINT FINISH  
 12.7mm GWB  
 38mm RIGID INSULATION  
 38 x 89mm PT. STUD @ 400 O.C. MAX (ON FLAT)  
 6 MILS POLY  
 200mm CONCRETE WALL (SEE STRUCT.)  
 DAMPPROOFING  
 75mm RIGID INSULATION (CONCRETE FACING ABOVE GRADE)  
 DRAIN MATT
- W3 NOT USED**
- W4 EXTERIOR WALL**  
 INTERIOR PAINT FINISH  
 12.7mm GWB  
 0.15mm POLY  
 38mm x 140mm WOOD STUDS AT 400mm O.C. MAX. (SEE STRUCT.)  
 140mm BATT INSULATION (R24)  
 12.7mm PLY SHEATHING (SEE STRUCT.; FOR FASTENING)  
 2 LAYERS 30 MINUTE BUILDING PAPER  
 19mm x 38mm VERT. P.T. PLYWOOD STRAPPING @ 406 O.C. (CAPILLARY BREAK)  
 EXTERIOR FINISH (FIBRE CEMENT BOARD OR PANEL; SEE ELEVATIONS)  
 EXTERIOR PAINT FINISH
- W5 EXTERIOR WALL AT GARAGE**  
 INTERIOR PAINT FINISH  
 12.7mm GWB  
 38mm x 140mm WOOD STUDS AT 400mm O.C. MAX. (SEE STRUCT.)  
 12.7mm PLY SHEATHING (SEE STRUCT.)  
 2 LAYERS 30 MINUTE BUILDING PAPER  
 19mm x 38mm VERT. P.T. PLYWOOD STRAPPING @ 406 O.C. (CAPILLARY BREAK)  
 EXTERIOR FINISH (FIBRE CEMENT BOARD OR PANEL; SEE ELEVATIONS)  
 EXTERIOR PAINT FINISH
- W6 CONC. WALL ABOVE GRADE WITH STONE (PORCH)**  
 200mm CONCRETE WALL (SEE STRUCT.)  
 MORTAR & STONE FACING PER ELEVATIONS
- W7 CONC. RETAINING WALL (PATIO)**  
 200mm CONCRETE WALL (SEE STRUCT.)

**PARTITION WALLS**

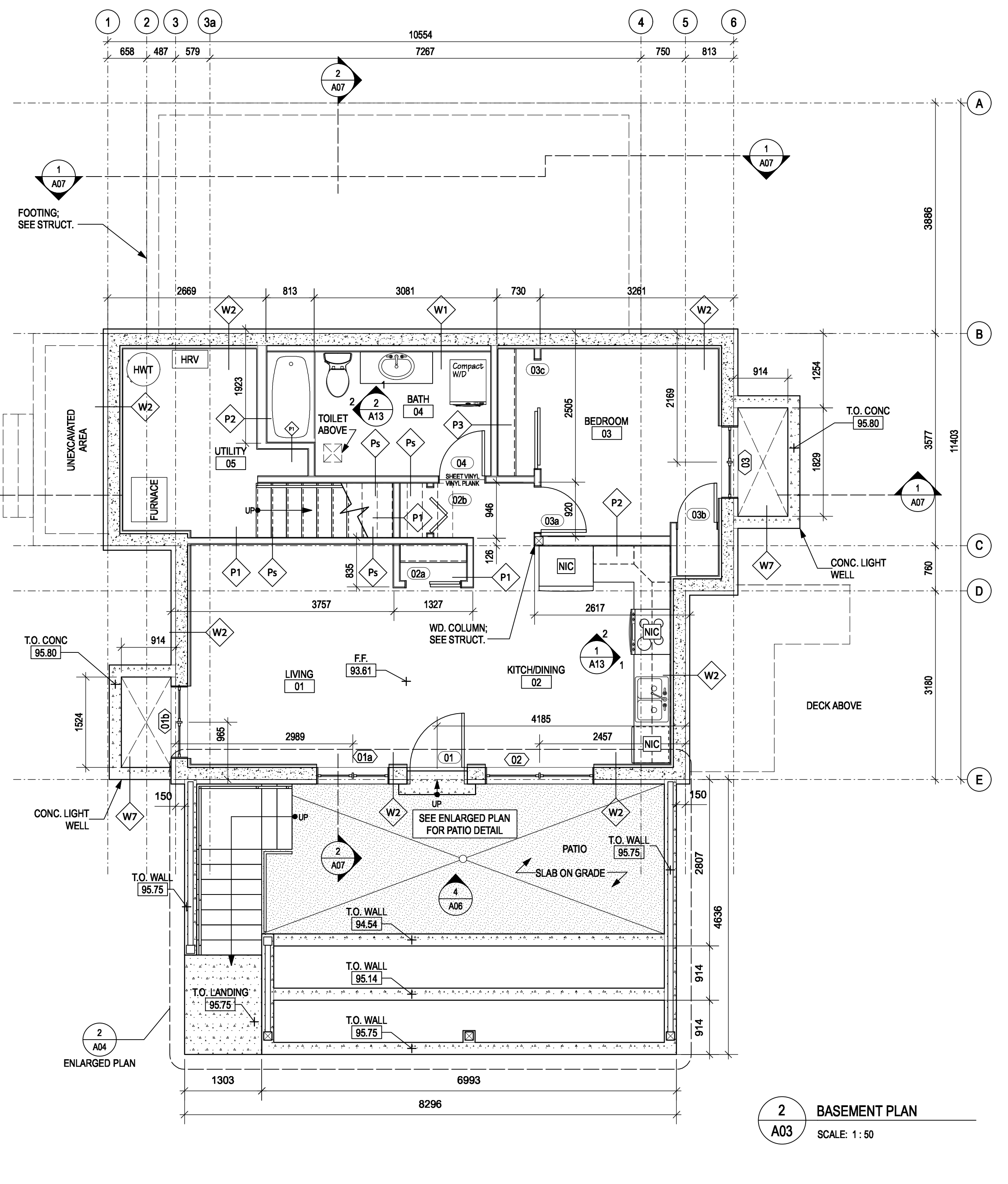
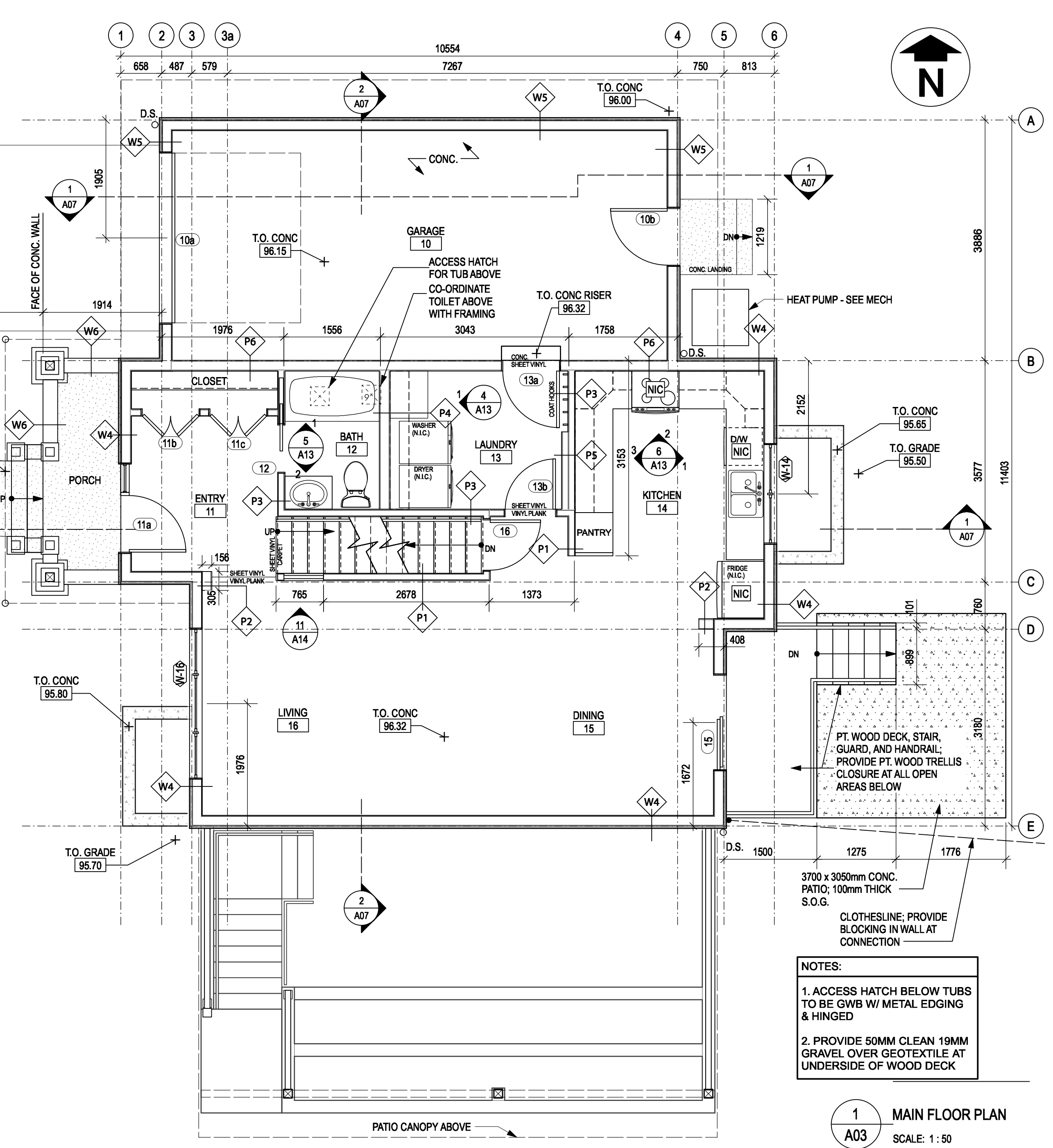
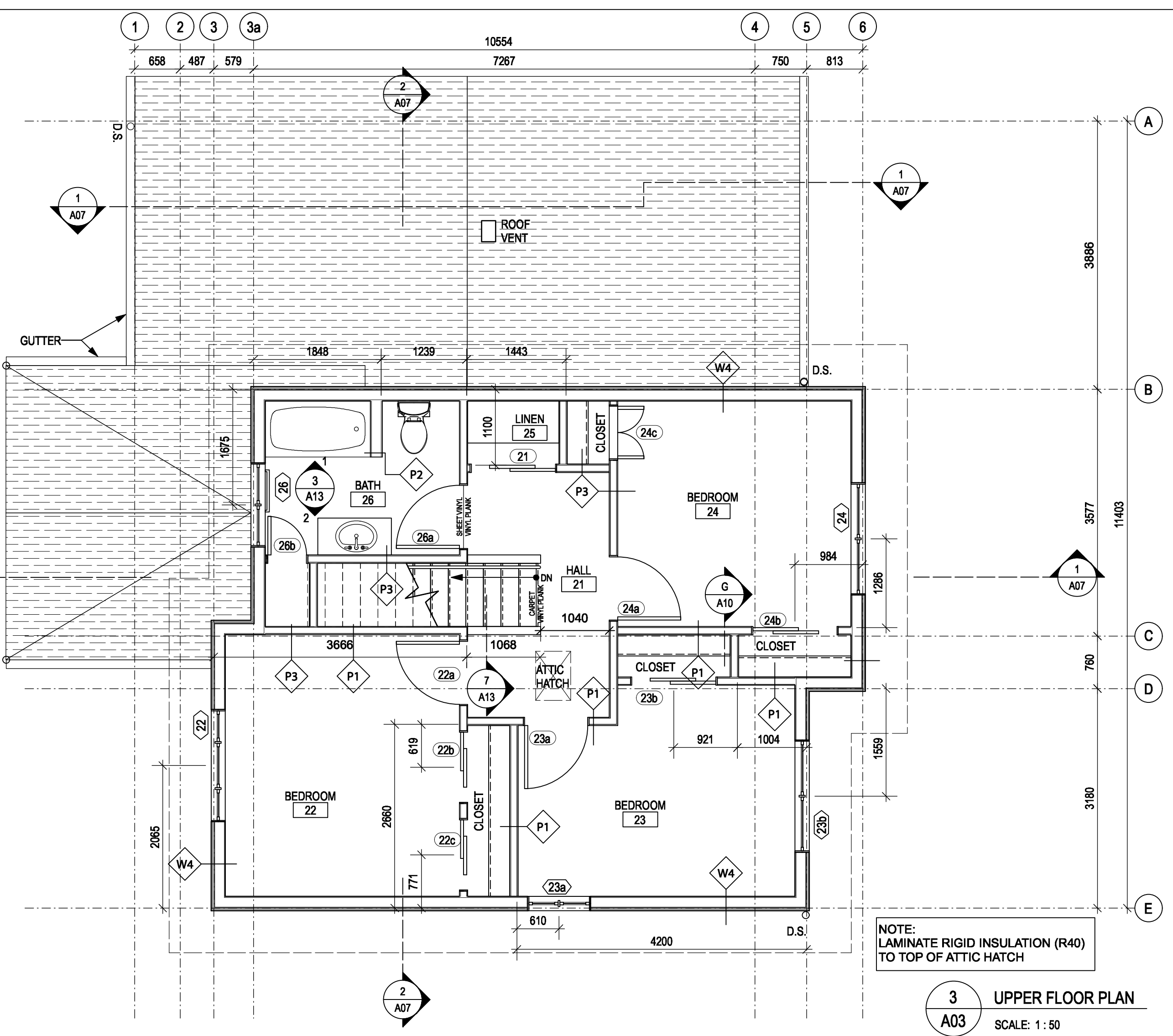
- P1 INTERIOR PARTITION WALL (2x4)**  
 PAINT FINISH  
 12.7mm GWB  
 38 x 89mm WD. STUDS AT 406 O.C. MAX.  
 12.7mm GWB  
 PAINT FINISH
- P2 INTERIOR PARTITION WALL (2x6)**  
 PAINT FINISH  
 12.7mm GWB  
 38 x 140mm WOOD STUDS AT 406 O.C. MAX.  
 12.7mm GWB  
 PAINT FINISH
- P3 INTERIOR PARTITION WALL (SOUND INSULATED 2x4)**  
 (NBC 2015 Table 9.10.3.1.-A W/c STC 36)  
 PAINT FINISH  
 12.7mm GWB  
 89mm SOUND BATT INSULATION  
 38 x 89mm WD. STUDS AT 406 O.C. MAX.  
 12.7mm GWB  
 PAINT FINISH
- P4 INTERIOR PARTITION WALL (SOUND INSULATED 2x6)**  
 (NBC 2015 Table 9.10.3.1.-A W/c STC 36)  
 PAINT FINISH  
 12.7mm GWB  
 140mm SOUND BATT INSULATION  
 38 x 140mm WD. STUDS AT 406 O.C. MAX.  
 12.7mm GWB  
 PAINT FINISH
- P5 SERVICES WALL**  
 PAINT FINISH  
 12.7mm GWB  
 89mm SOUND BATT INSULATION  
 38 x 89mm WD. STUDS AT 406 O.C. MAX.  
 38 x 89mm WD. STUDS AT 406 O.C. MAX.  
 12.7mm GWB  
 PAINT FINISH
- P6 GARAGE TO UNIT**  
 INTERIOR PAINT FINISH  
 12.7mm GWB  
 0.15mm POLY NOTE: POLY TO PROVIDE FULL AIR SEAL BETWEEN GARAGE AND LIVING SPACES. SEAL TO DOOR FRAMES AND AT ALL PENETRATIONS.  
 38mm x 140mm WOOD STUDS AT 400mm O.C. MAX. (SEE STRUCT.)  
 140mm BATT INSULATION (R20)  
 PLY SHEATHING (SEE STRUCT.; FOR FASTENING)  
 15.9mm TYPE X GWB  
 INTERIOR PAINT FINISH  
 GARAGE SIDE
- P7 BASEMENT STAIR WALL**  
 INTERIOR PAINT FINISH & GWB BOTH SIDES  
 89mm SOUND BATT INSULATION AROUND BATHROOM  
 SEE STRUCTURAL

**FLOOR ASSEMBLIES**

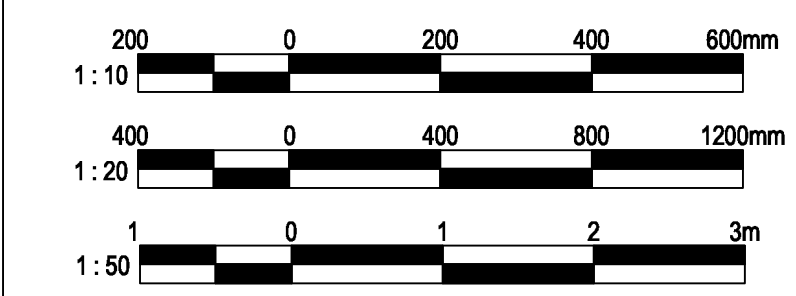
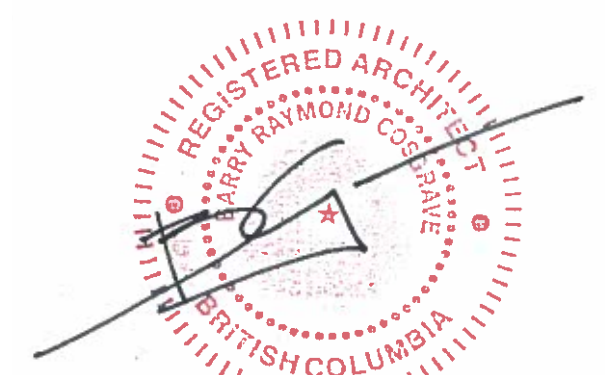
- F1 BASEMENT FLOOR**  
 CONCRETE SEALER  
 100mm CONC. SLAB  
 15 MILS POLYETHYLENE  
 50 x 1000mm RIGID INSULATION AROUND PERIMETER
- F2 TYPICAL 1ST FLOOR (SMOKE)**  
 (NBC 2015 Table 9.10.3.1.-B F/c 30m FRR STC 48)  
 FLOOR FINISH (SEE SCHED.)  
 19mm T&G PLYWOOD FLR. SHEATHING (SEE STRUCT.)  
 FLOOR JOISTS (SEE STRUCT.)  
 BATT INSULATION TO FILL CAVITY  
 12.7mm RESILIENT CHANNEL @ 400mm O.C.  
 15.9mm TYPE X GWB  
 PAINT FINISH
- F3 TYPICAL 2ND FLOOR**  
 FLOOR FINISH (SEE SCHED.)  
 19mm T&G PLYWOOD FLR. SHEATHING (SEE STRUCT.)  
 FLOOR JOISTS (SEE STRUCT.)  
 15.9mm GWB  
 PAINT FINISH

**ROOF ASSEMBLIES**

- R1 TYPICAL ROOF**  
 FIBREGLASS ASPHALT SHINGLES  
 UNDERLAYMENT - SEE SPEC.  
 915mm EAVE PROTECTION - SEE SPEC.  
 PLY SHEATHING (SEE STRUCT.)  
 ENGINEERED WOOD TRUSSES AT 610mm O.C. MAX. (SEE STRUCT.)  
 VENTILATED ATTIC SPACE  
 BATT INSULATION (R40)  
 0.15mm POLYETHYLENE (V.B., A.B.)  
 15.9mm GWB  
 PAINT FINISH
- R2 TYPICAL GARAGE ROOF**  
 FIBREGLASS ASPHALT SHINGLES  
 UNDERLAYMENT, SEE SPEC.  
 915mm EAVE PROTECTION, SEE SPEC.  
 PLY SHEATHING (SEE STRUCT.)  
 ENGINEERED WOOD TRUSSES AT 610mm O.C. MAX. (SEE STRUCT.)  
 6 MILS POLY NOTE: POLY TO PROVIDE FULL AIR SEAL BETWEEN GARAGE AND LIVING SPACES. SEAL TO DOOR FRAMES AND AT ALL PENETRATIONS.  
 15.9mm TYPE X GWB  
 INTERIOR PAINT FINISH
- R3 TYPICAL BASEMENT SUITE CANOPY ROOF**  
 ASPHALT ROLL ROOFING, SEE SPEC.  
 UNDERLAYMENT, SEE SPEC.  
 915mm EAVE PROTECTION, SEE SPEC.  
 15.7mm PLY SHEATHING, SEE STRUCT.  
 38 x 288mm ROOF RAFTERS, SEE STRUCT.  
 12.7mm EXTERIOR GRADE GWB, 610mm SET BACK FROM PERIMETER  
 PAINT FINISH FOR GWB & EXPOSED WOOD







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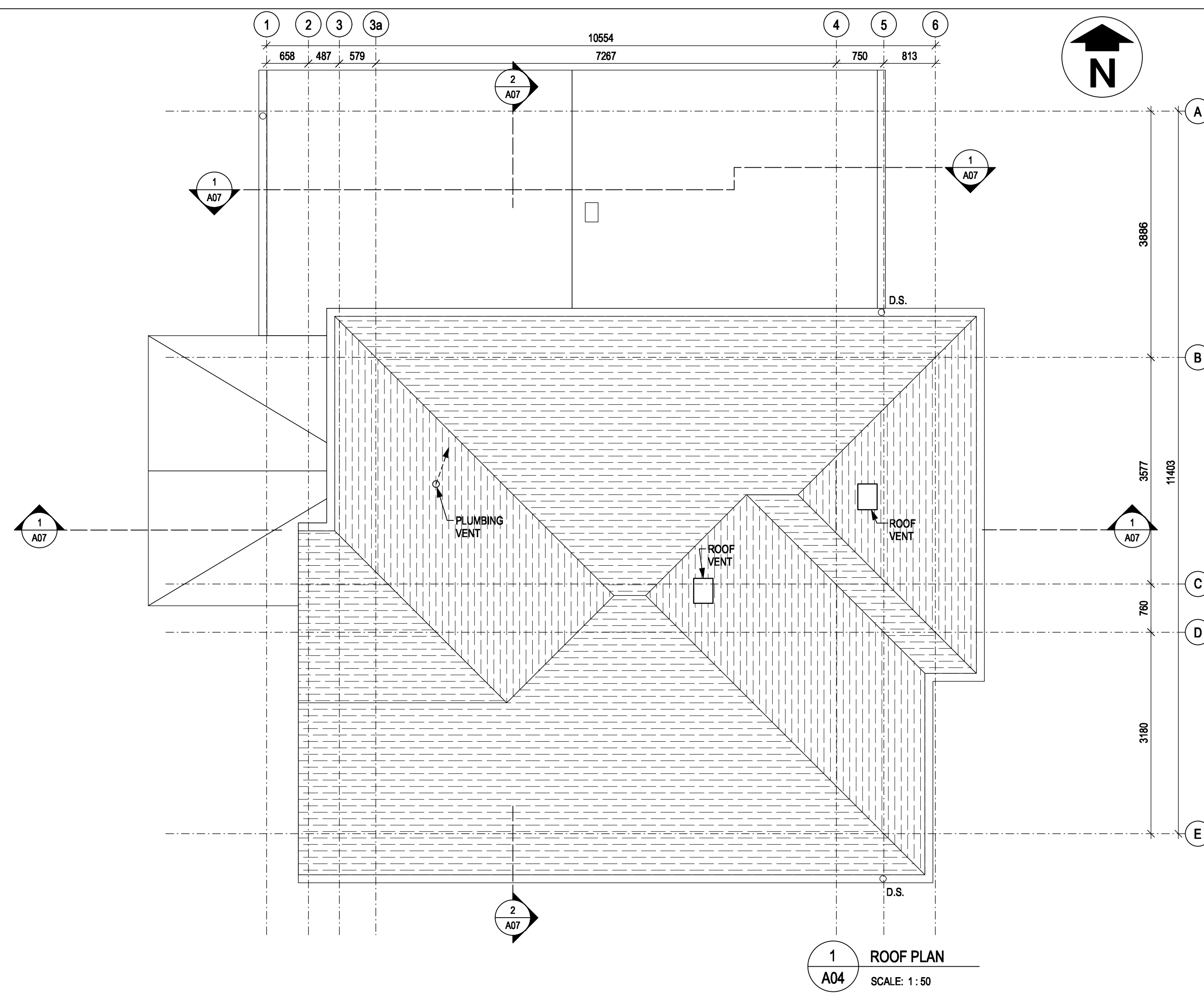
Project title/Titre du projet: **New Residence, New Aiyansh, BC**

Consultant Signature Box Only

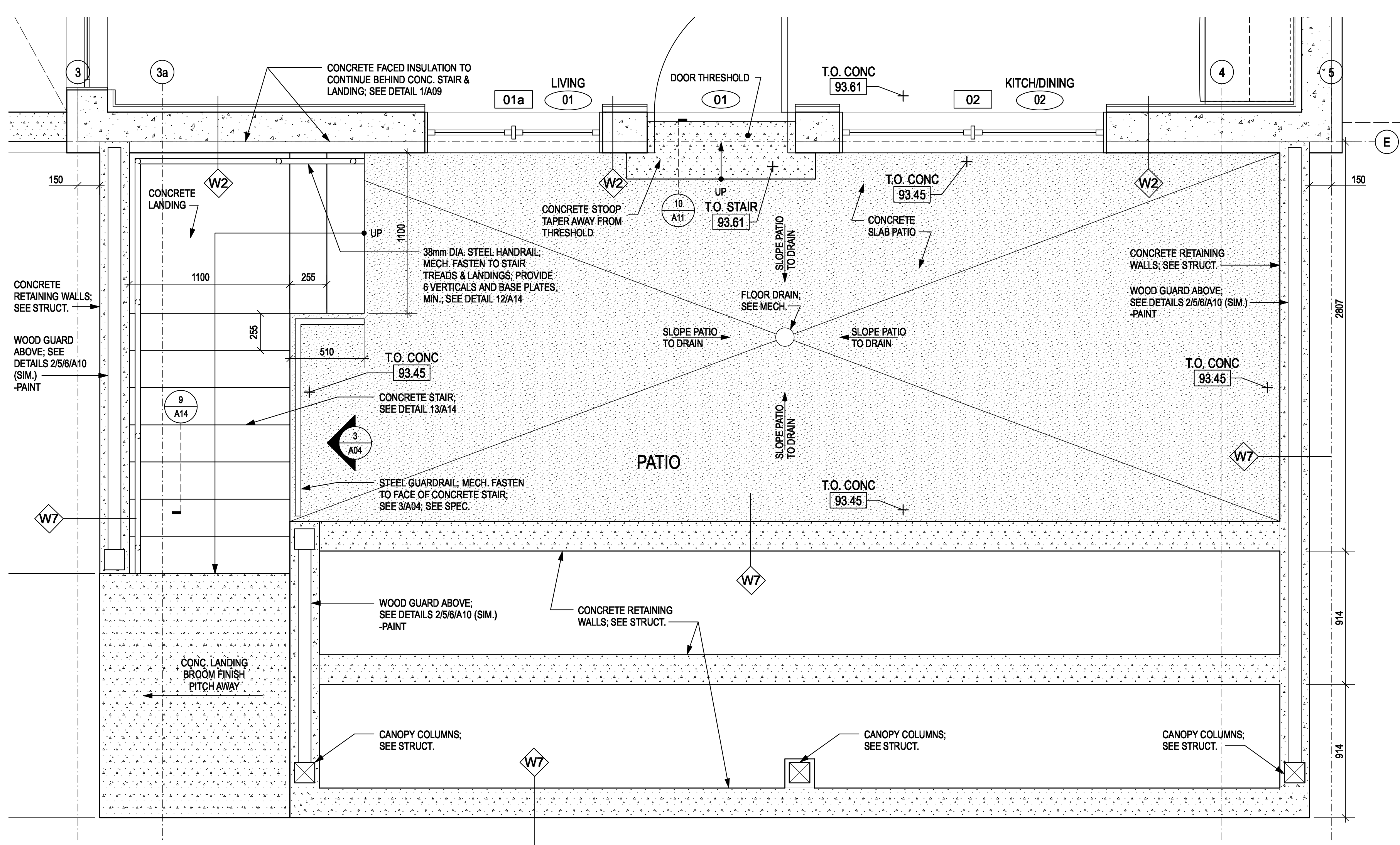
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 PWGSC Project Manager/Administrateur de Projets TPSGC: **PHILIP FUNG**  
 PWGSC Regional Manager/Architectural and Engineering Services/ Gérant régional, Services d'architectural et de génie, TPSGC: **PREETIPAL PAUL**

**ROOF PLAN & ENLARGED BASEMENT PATIO PLAN**

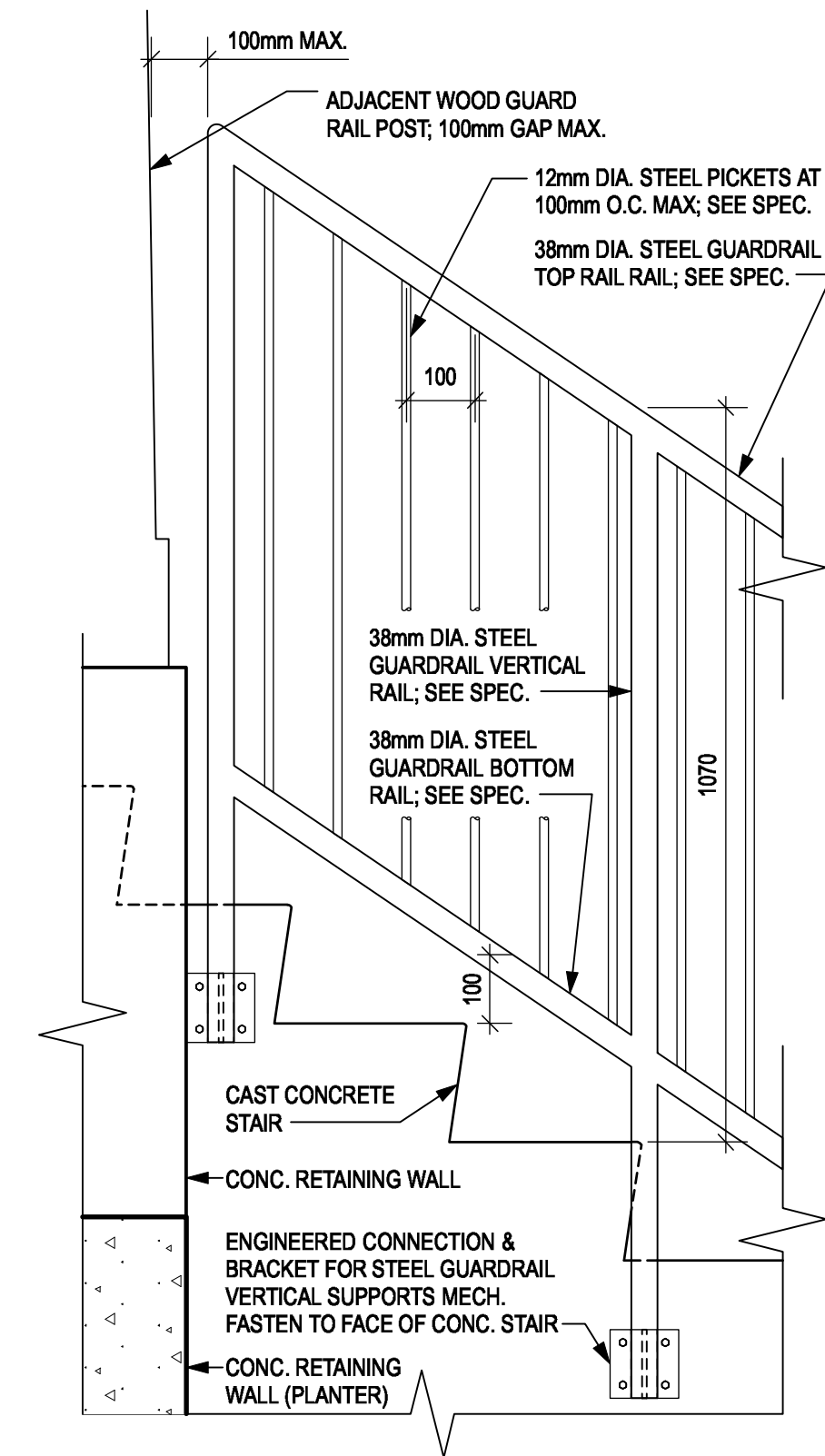
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<b>R.112456.001</b>	<b>A04</b>	<b>3</b>



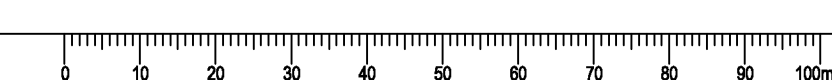
**1 ROOF PLAN**  
SCALE: 1:50



**2 ENLARGED BASEMENT PATIO PLAN**  
SCALE: 1:20

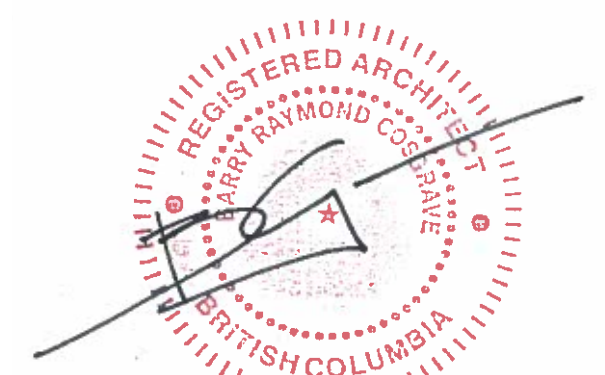


**3 STEEL GUARDRAIL ELEVATION/DETAIL**  
SCALE: 1:20



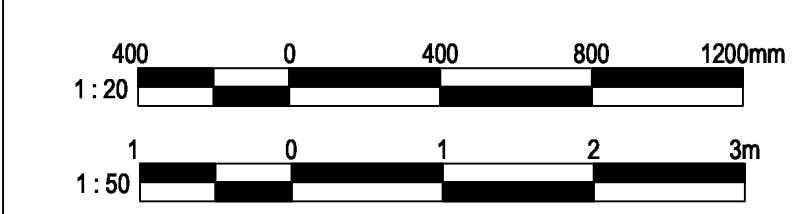
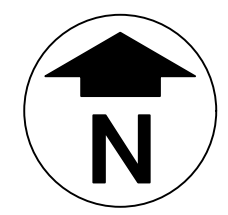


LEGEND	
	Ceiling Light
	Ceiling Light
	Ceiling Light
	Wall Light
	Smoke Alarm
	Carbon Monoxide / Smoke Alarm
	Carbon Monoxide Alarm
	Ceiling Fan
	Ceiling Elevation



3 UPPER FLOOR REFLECTED CEILING PLAN

SCALE: 1:50



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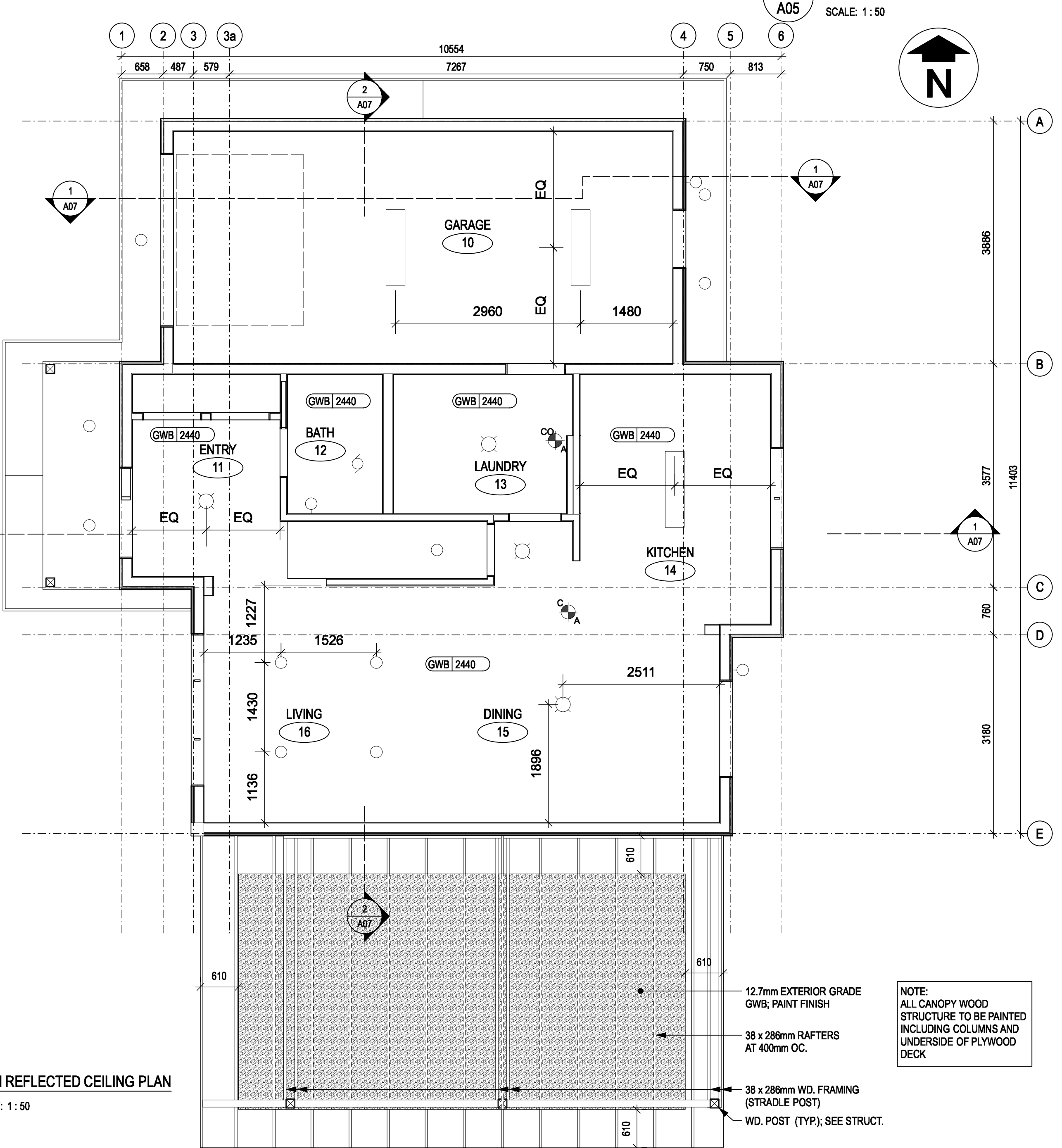
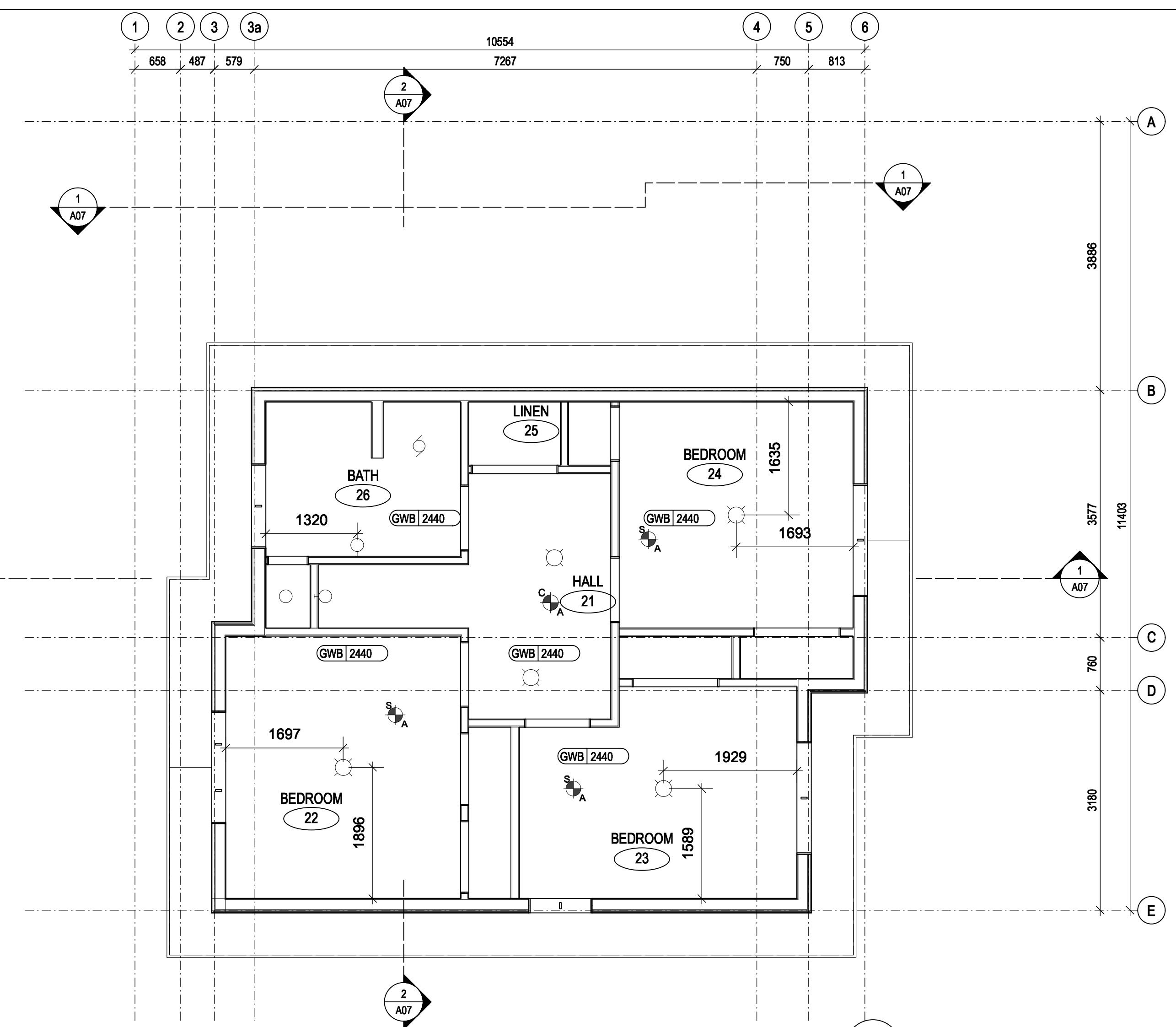
PWGSC Project Manager/Administrateur du Projet TPSGC  
**PHILIP FUNG**

PWGSC Regional Manager/Architectural and Engineering Services/  
Gestionnaire Régionale, Services d'architectural et de génie, TPSGC  
**PREETIPAL PAUL**

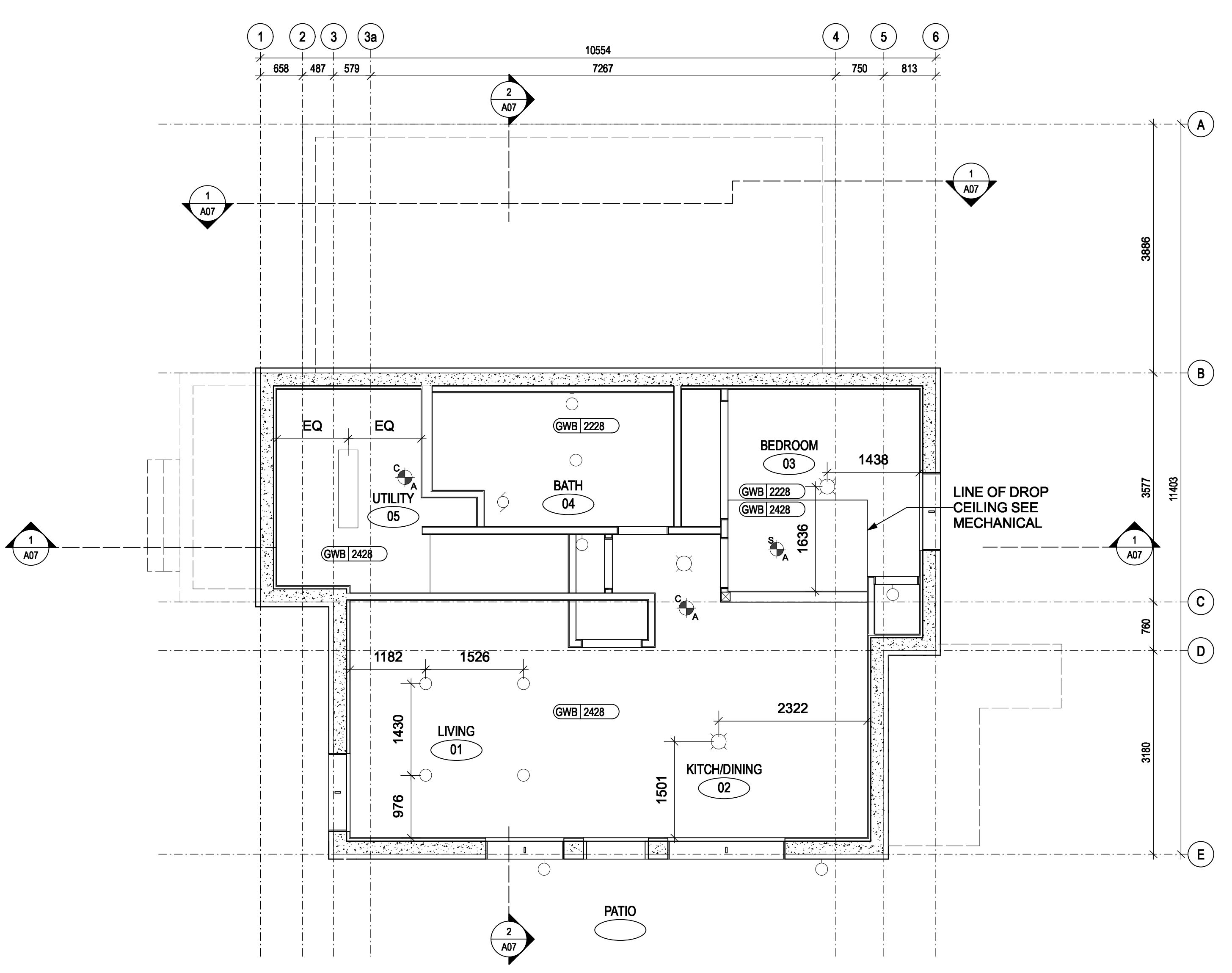
Drawing title/Titre du dessin

**REFLECTED CEILING PLANS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
<b>R.112456.001</b>	<b>A05</b>	<b>3</b>

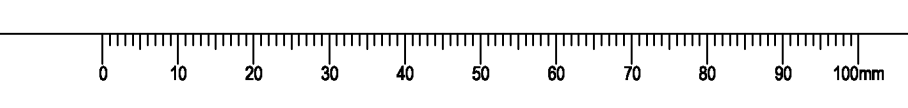


NOTE:  
ALL CANOPY WOOD STRUCTURE TO BE PAINTED INCLUDING COLUMNS AND UNDERSIDE OF PLYWOOD DECK

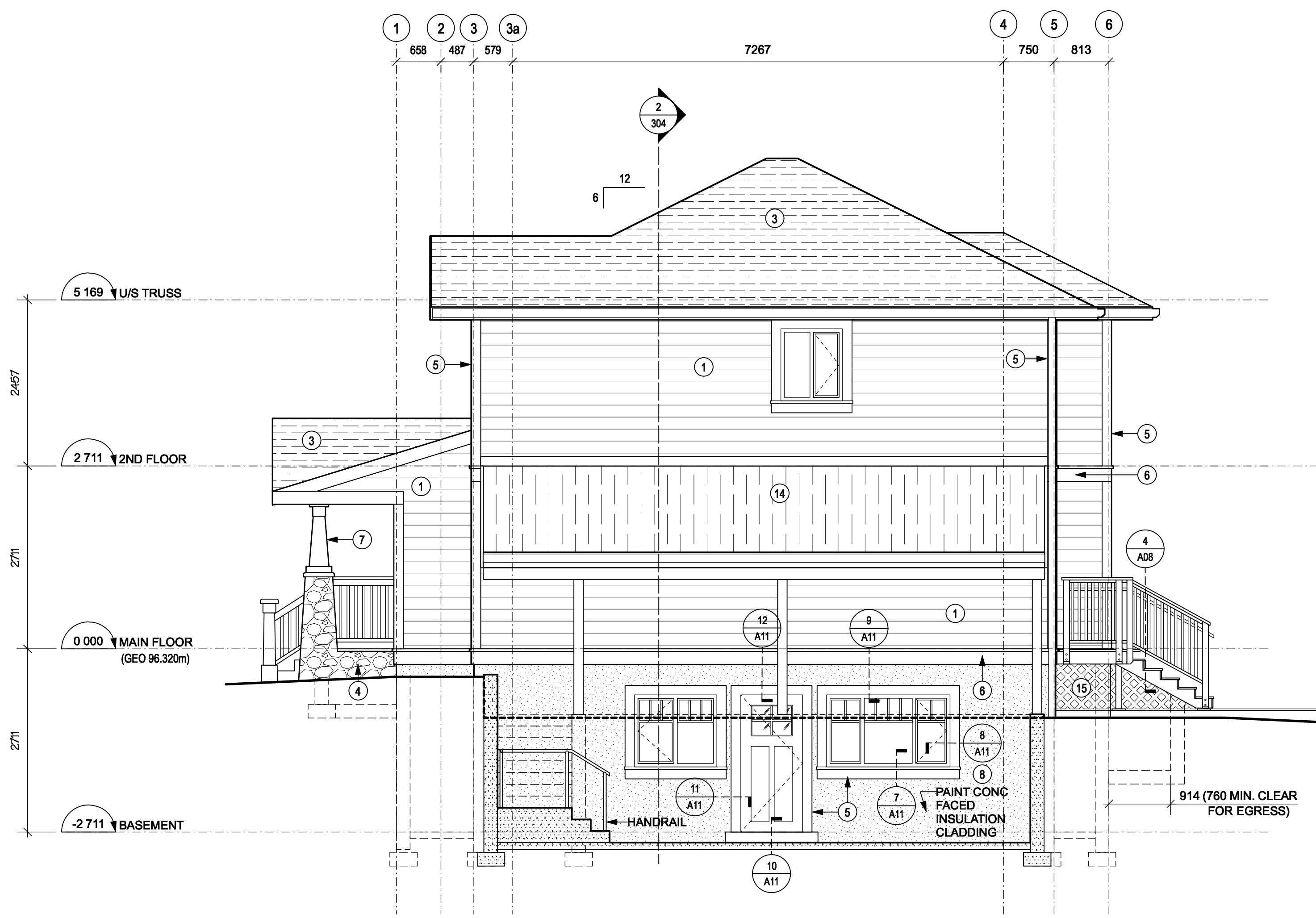
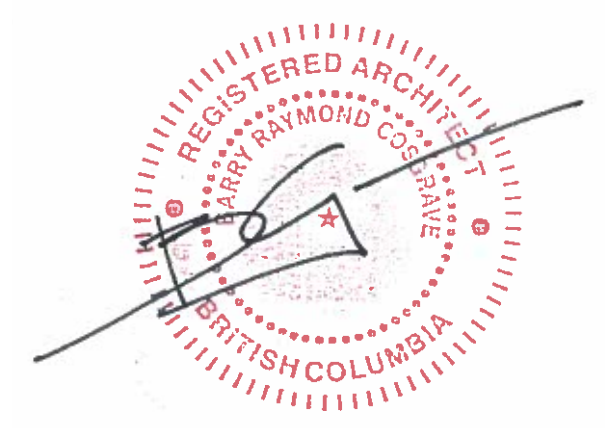


2 BASEMENT REFLECTED CEILING PLAN  
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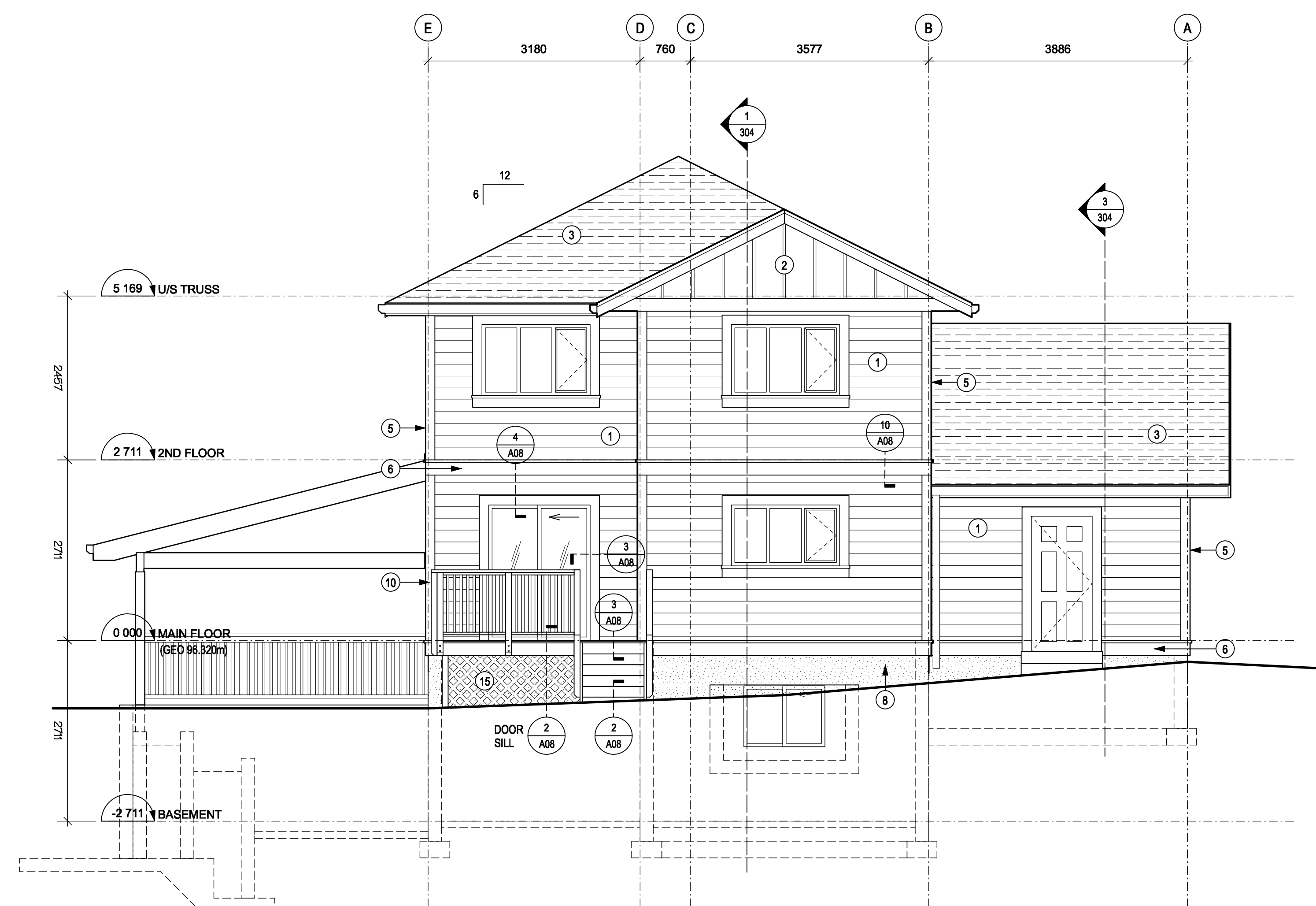
1 MAIN REFLECTED CEILING PLAN  
SCALE: 1:50



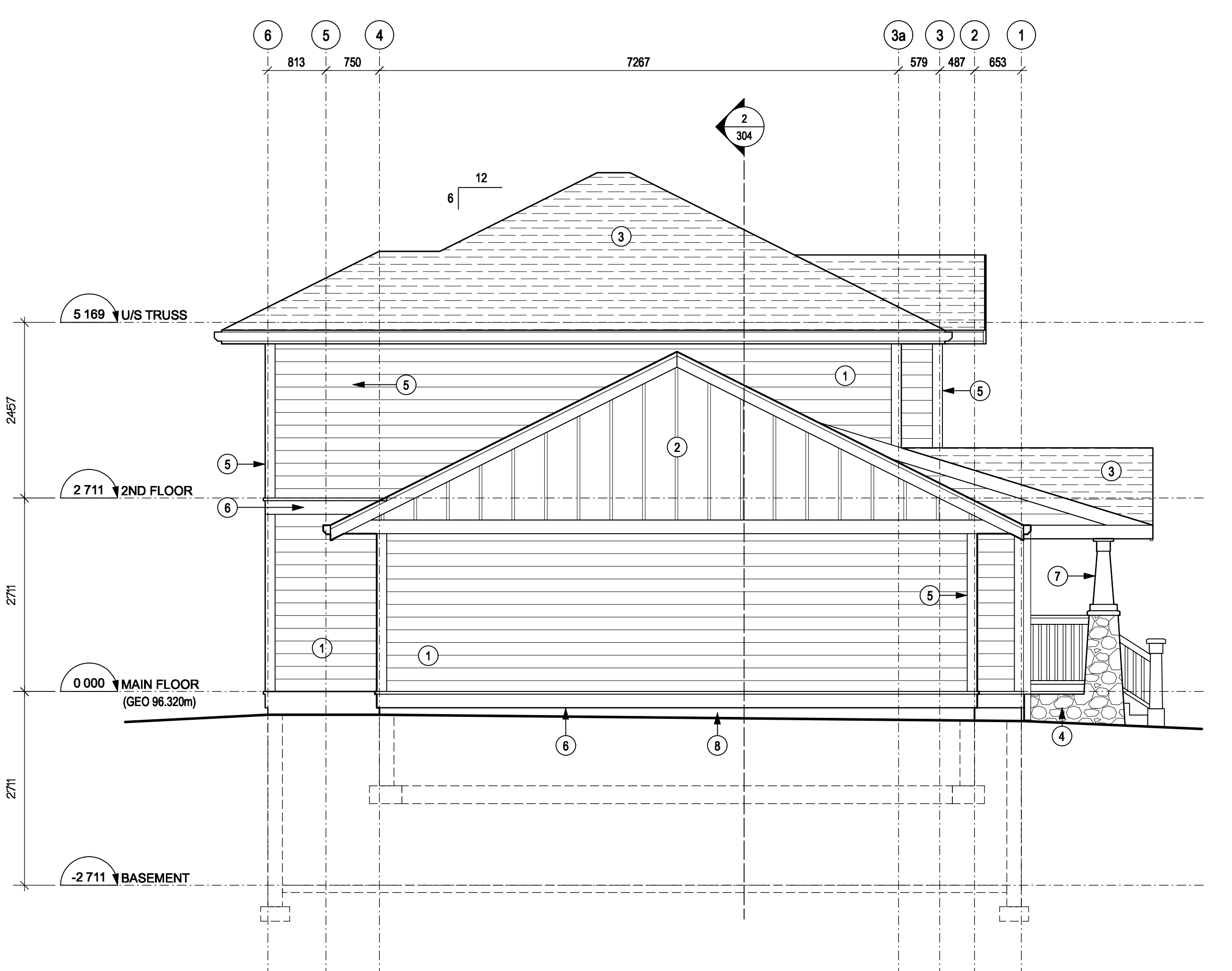




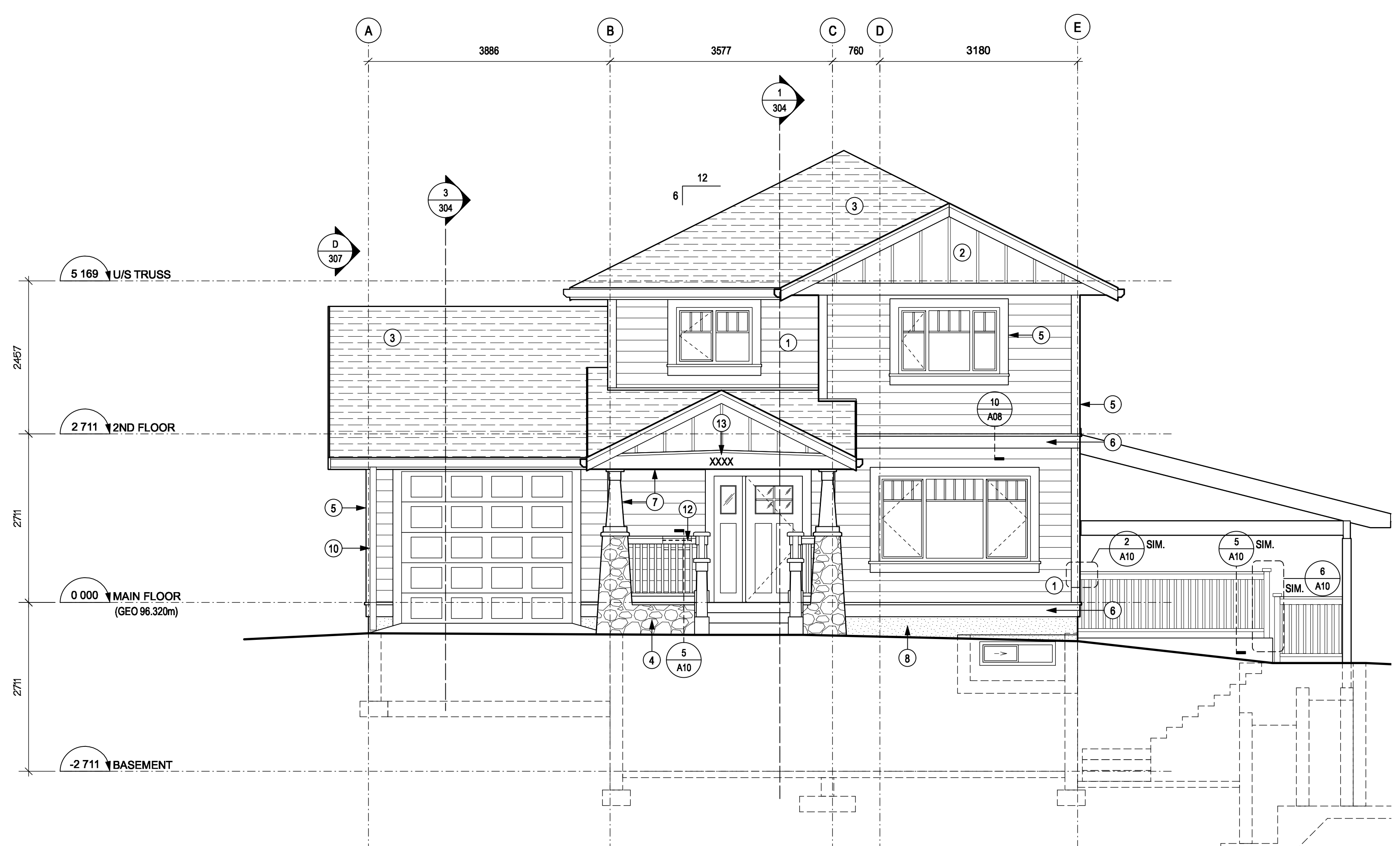
4 SOUTH ELEVATION  
A06 SCALE: 1:50



3 EAST ELEVATION  
A06 SCALE: 1:50

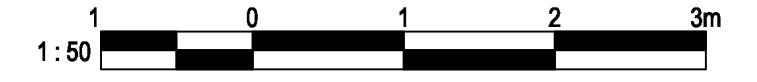


2 NORTH ELEVATION  
A06 SCALE: 1:50



1 WEST ELEVATION  
A06 SCALE: 1:50

- MATERIALS LEGEND :**
- 1 FIBER CEMENT HORIZONTAL SIDING
  - 2 FIBER CEMENT BOARD & BATON SIDING
  - 3 ASPHALT SHINGLES
  - 4 MANUFACTURED STONE
  - 5 38 X 140 WOOD TRIM
  - 6 WOOD TRIM W/ METAL CAP FLASHING
  - 7 WOOD POST AND BEAM
  - 8 CONCRETE FACED RIGID INSULATION - PAINT EXPOSED SURFACES
  - 9 NOT USED
  - 10 RAIN WATER LEADER
  - 11 NOT USED
  - 12 MAILBOX
  - 13 HOUSE NUMBER
  - 14 ASPHALT ROLL ROOFING
  - 15 WOOD TRELLIS CLOSURE



3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03
Revision/	Description/Description	Date/Date

Client/client

**Public Services and Procurement Canada (PSPC)**  
VANCOUVER, BC  
800 BURRARD ST.

Project title/Titre du projet

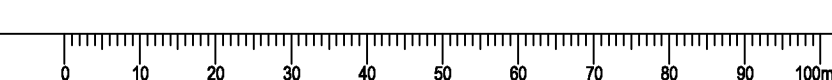
**New Residence, New Aiyansh, BC**

Consultant Signature Box Only

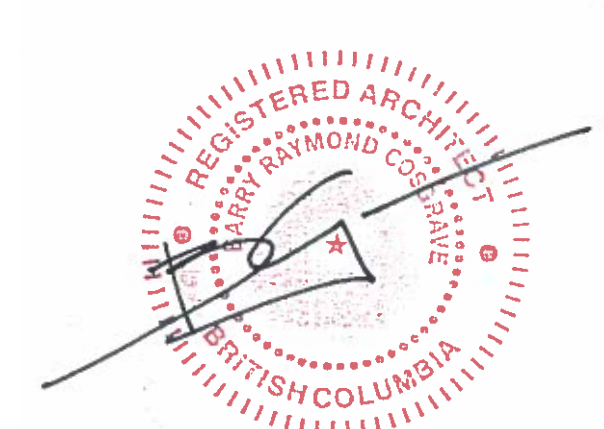
Designed by/Conçu par  
**BC**  
Drawn by/Dessiné par  
**SJ**  
PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services/  
Gestionnaire Régionale, Services d'architectural et de génie, TPSGC  
**PREETIPAL PAUL**  
Drawing title/Titre du dessin

**BUILDING ELEVATIONS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
<b>R.112456.001</b>	<b>A06</b>	<b>3</b>







Revision/	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 98% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03

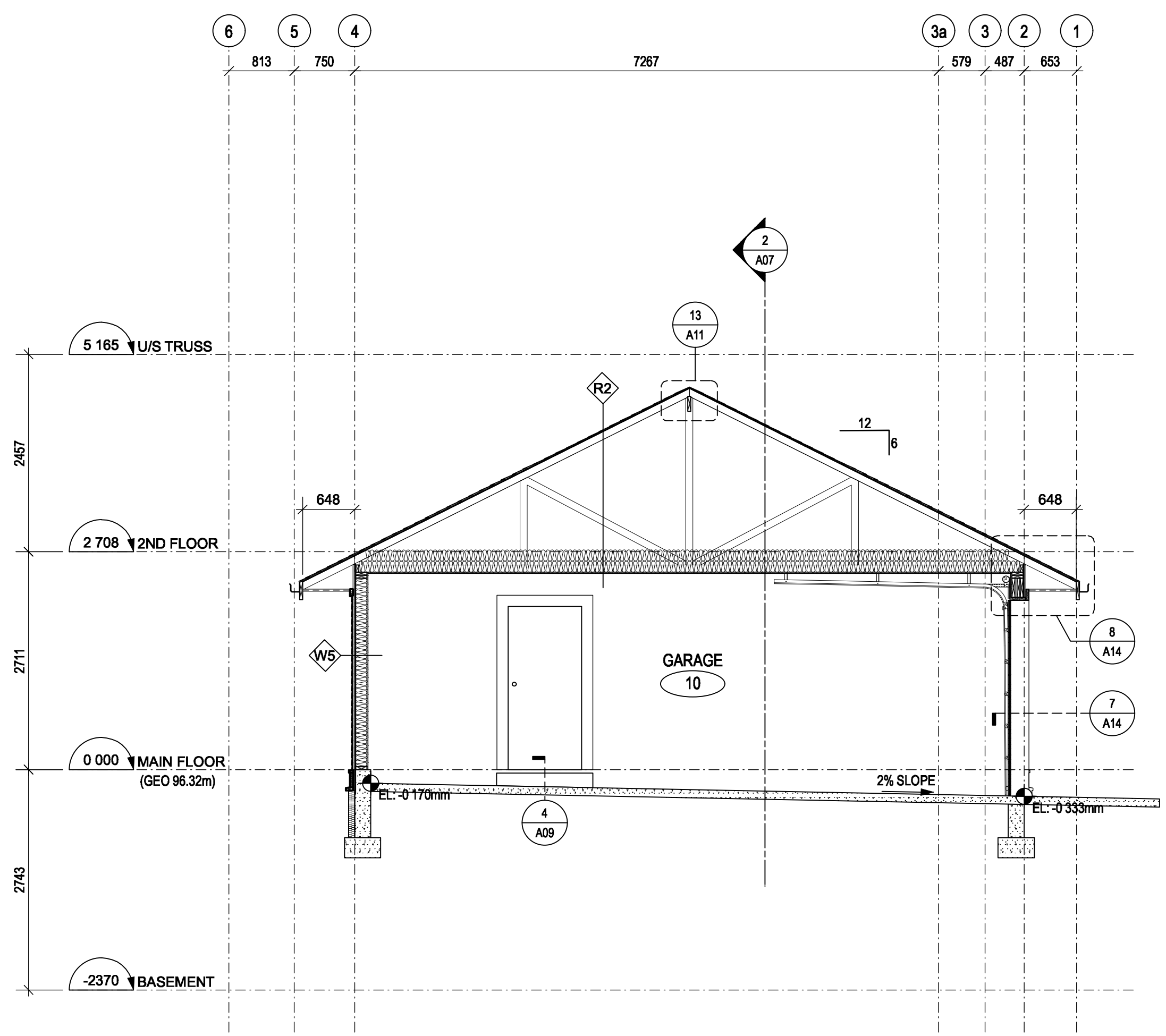
Client/Client  
**Public Services and Procurement Canada (PSPC)**  
VANCOUVER, BC  
800 BURRARD ST.

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

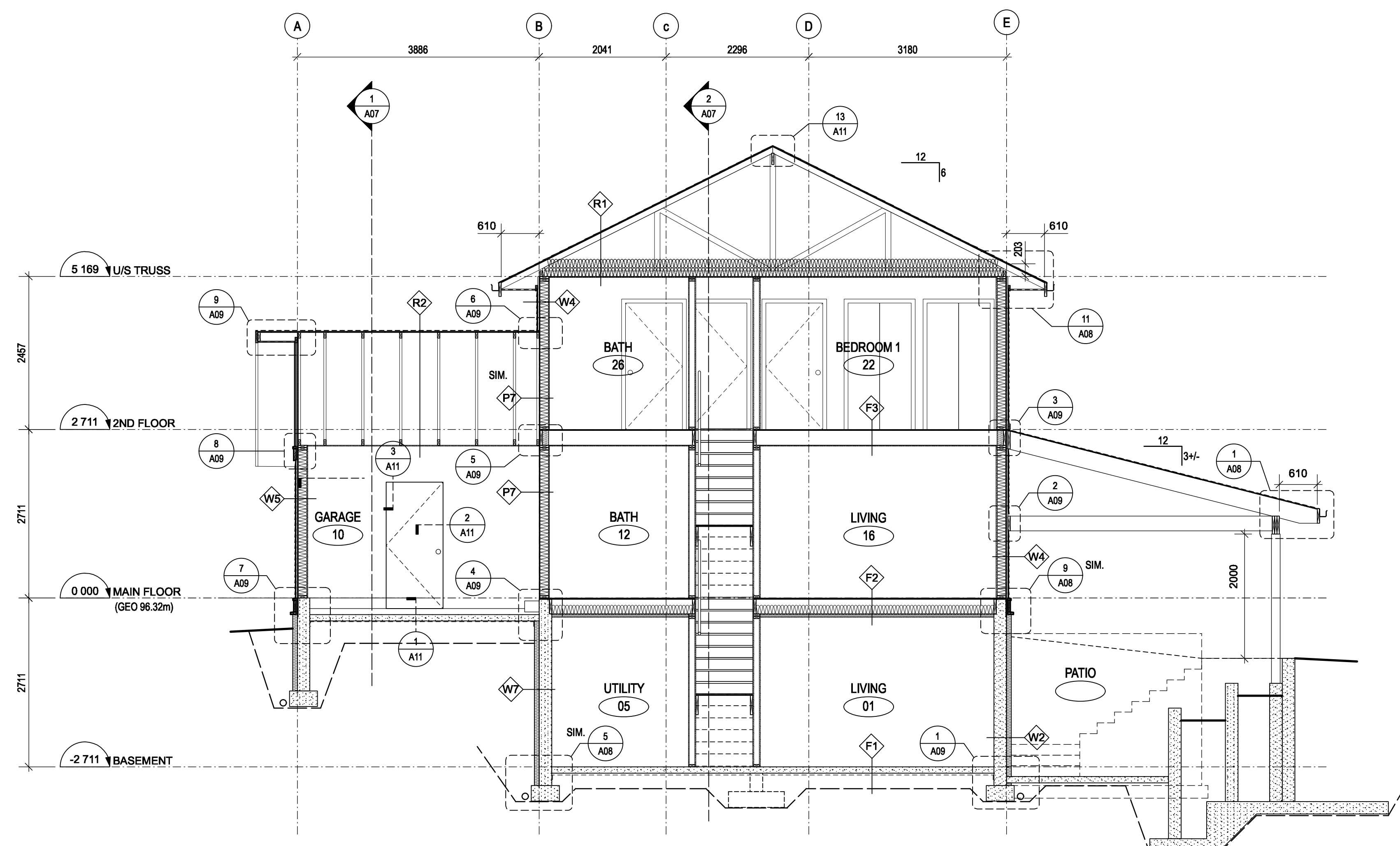
Consultant Signature Box Only  
Designed by/Concept par: **BC**  
Drawn by/Dessiné par: **SJ**  
PWGSC Project Manager/Administrateur de Projets TPSGC: **PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services/ Gérant régional, Services d'architecture et de génie, TPSGC: **PREETIPAL PAUL**

Drawing title/Titre du dessin  
**BUILDING SECTIONS**

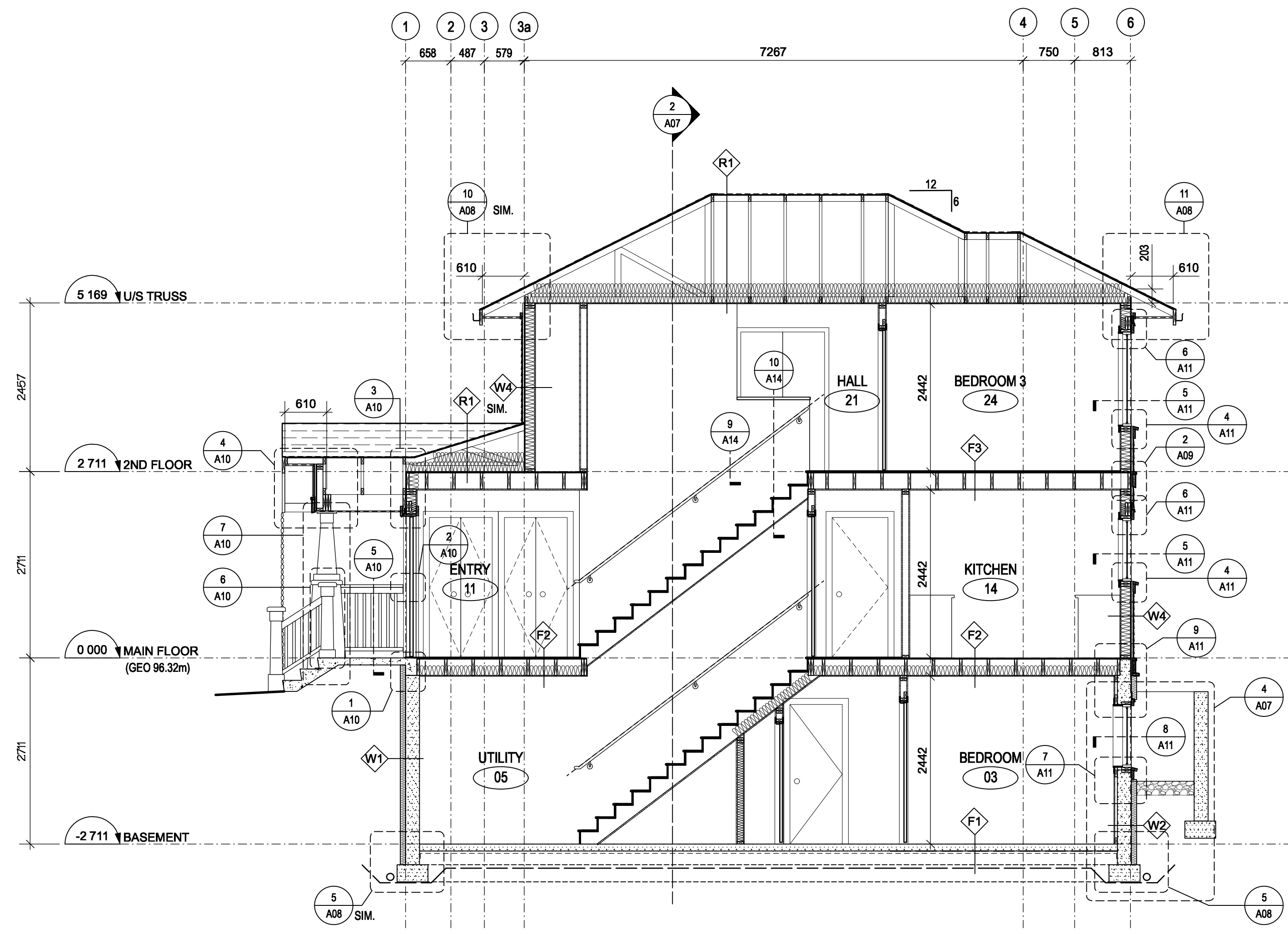
Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
R.112456.001	A07	3



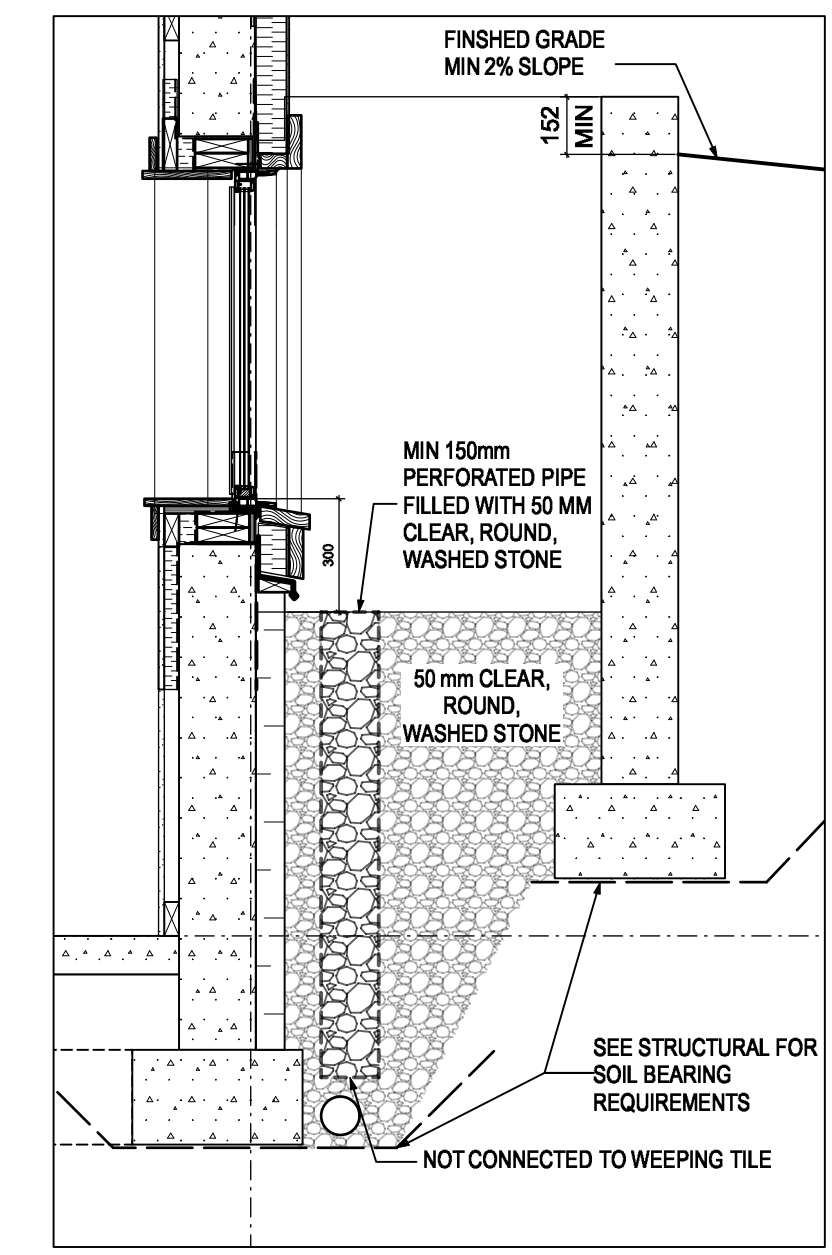
**3 BUILDING SECTION - GARAGE**  
A07 SCALE: 1:50



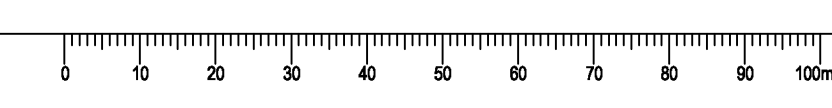
**2 BUILDING SECTION**  
A07 SCALE: 1:50



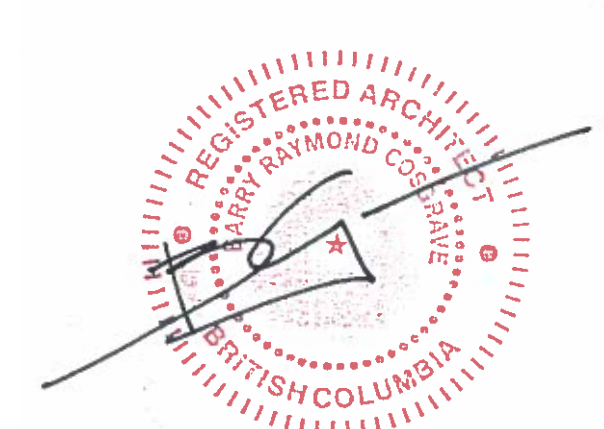
**1 BUILDING SECTION**  
A07 SCALE: 1:50



**4 WINDOW WELL DETAIL**  
A07 SCALE: 1:10







Revision/	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 98% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03

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800 BARRARD ST.

Project title/Titre du projet

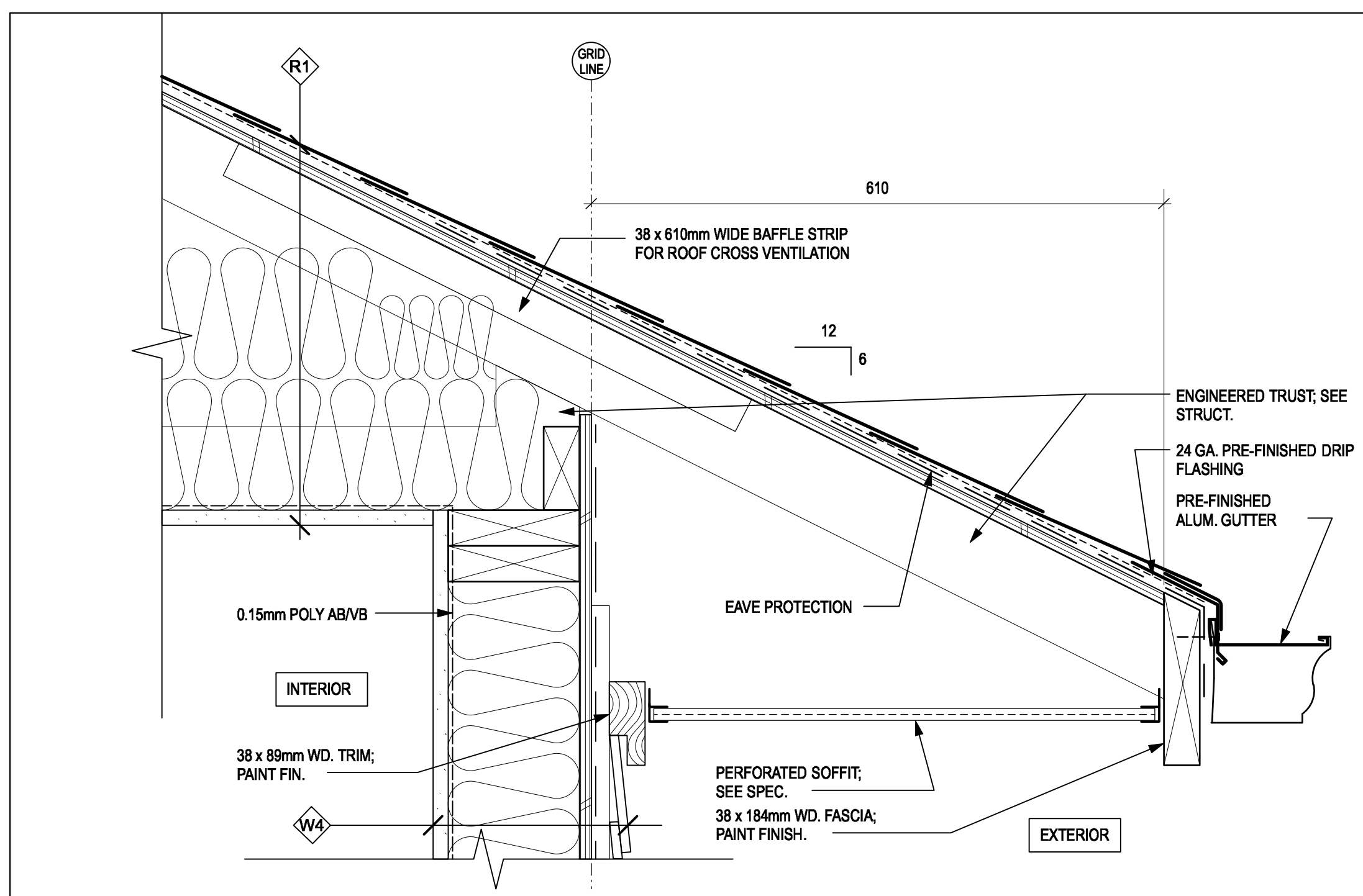
**New Residence, New Aiyansh, BC**

Consultant Signature Box Only

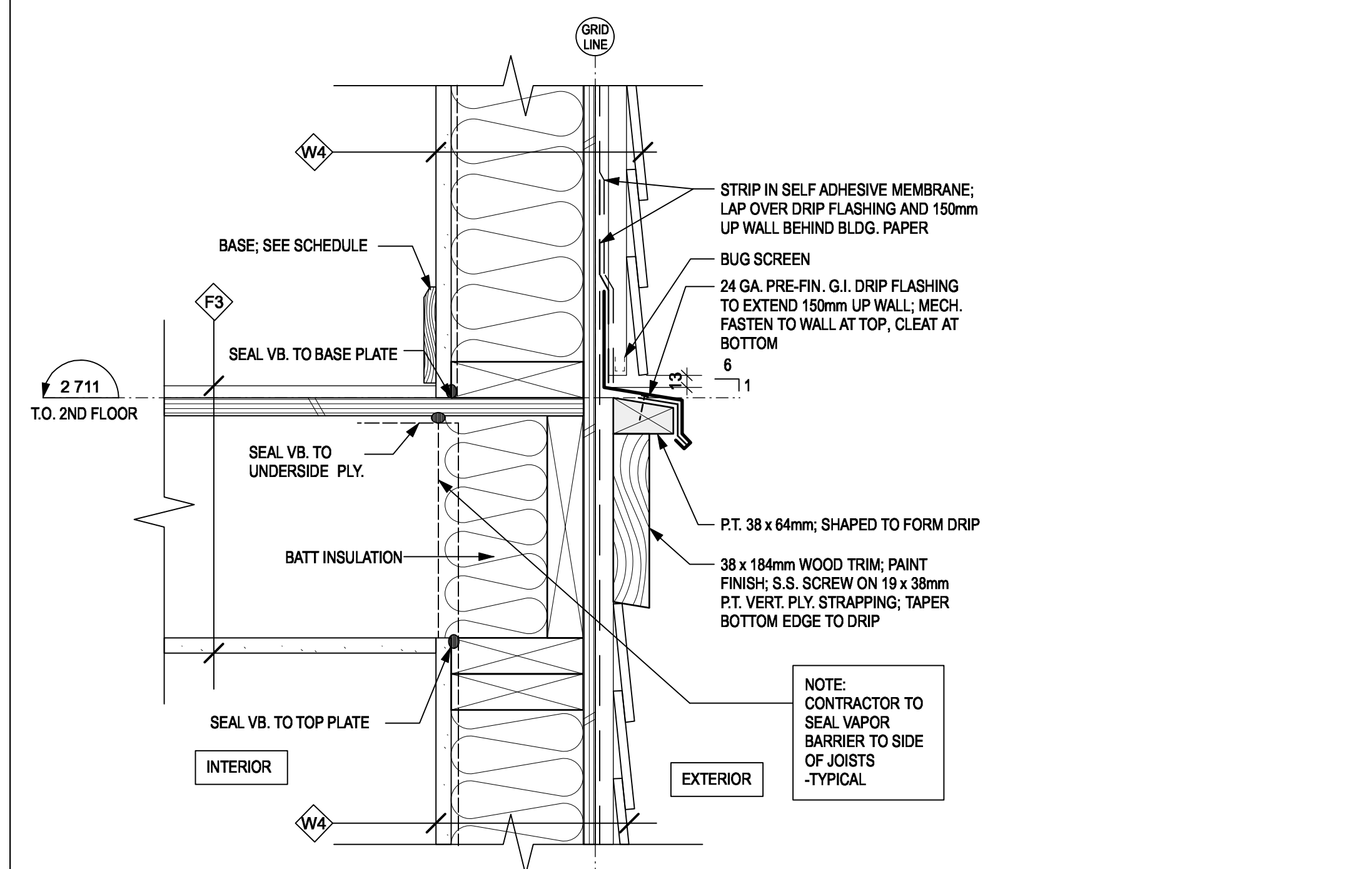
Designed by/Concept par  
**BC**  
Drawn by/Dessiné par  
**SJ**  
PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services/  
Gestionnaire Régional, Services d'architecture et de génie, TPSGC  
**PREETIPAL PAUL**  
Drawing title/Titre du dessin

**DETAILS**

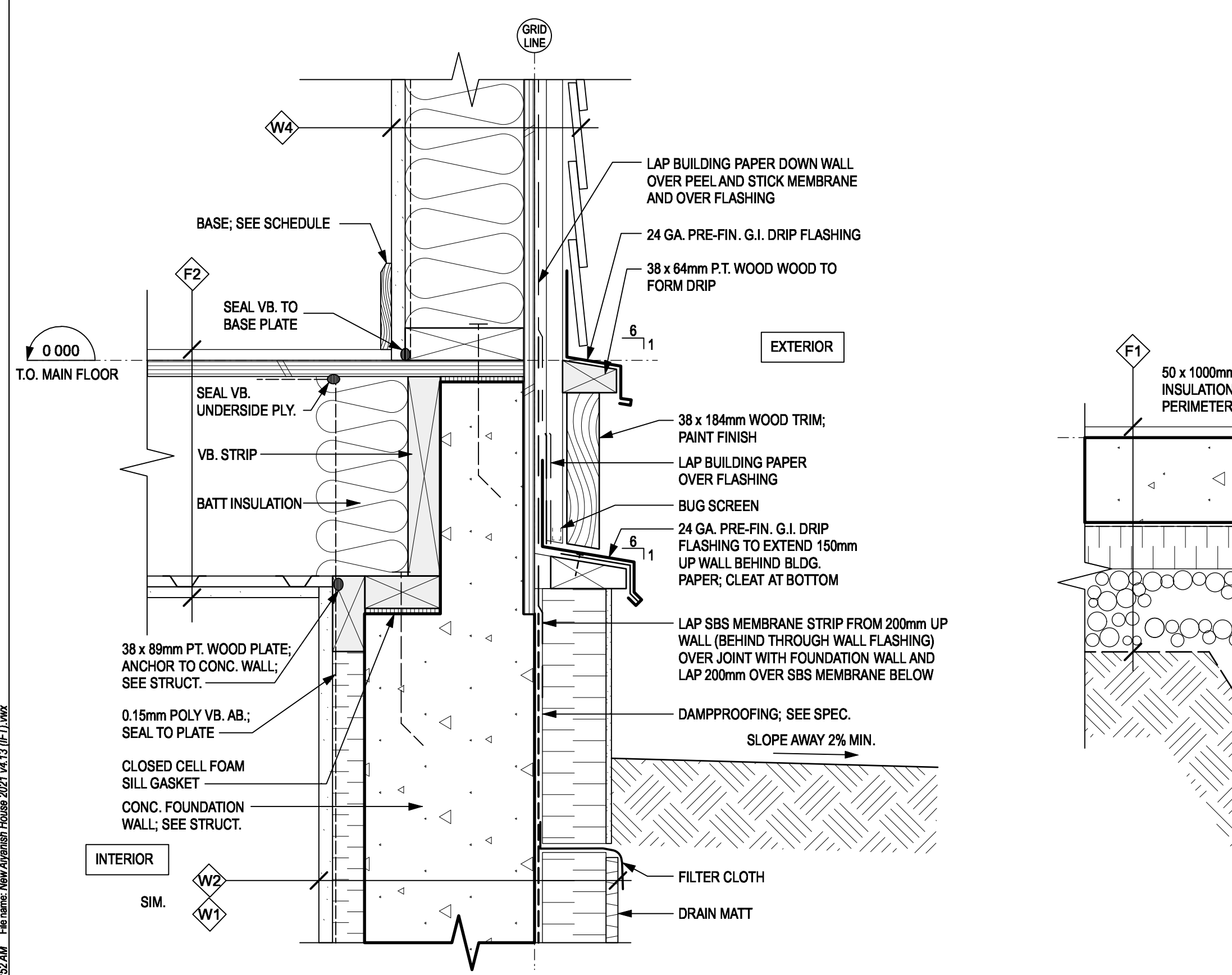
Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
<b>R.112456.001</b>	<b>A08</b>	<b>3</b>



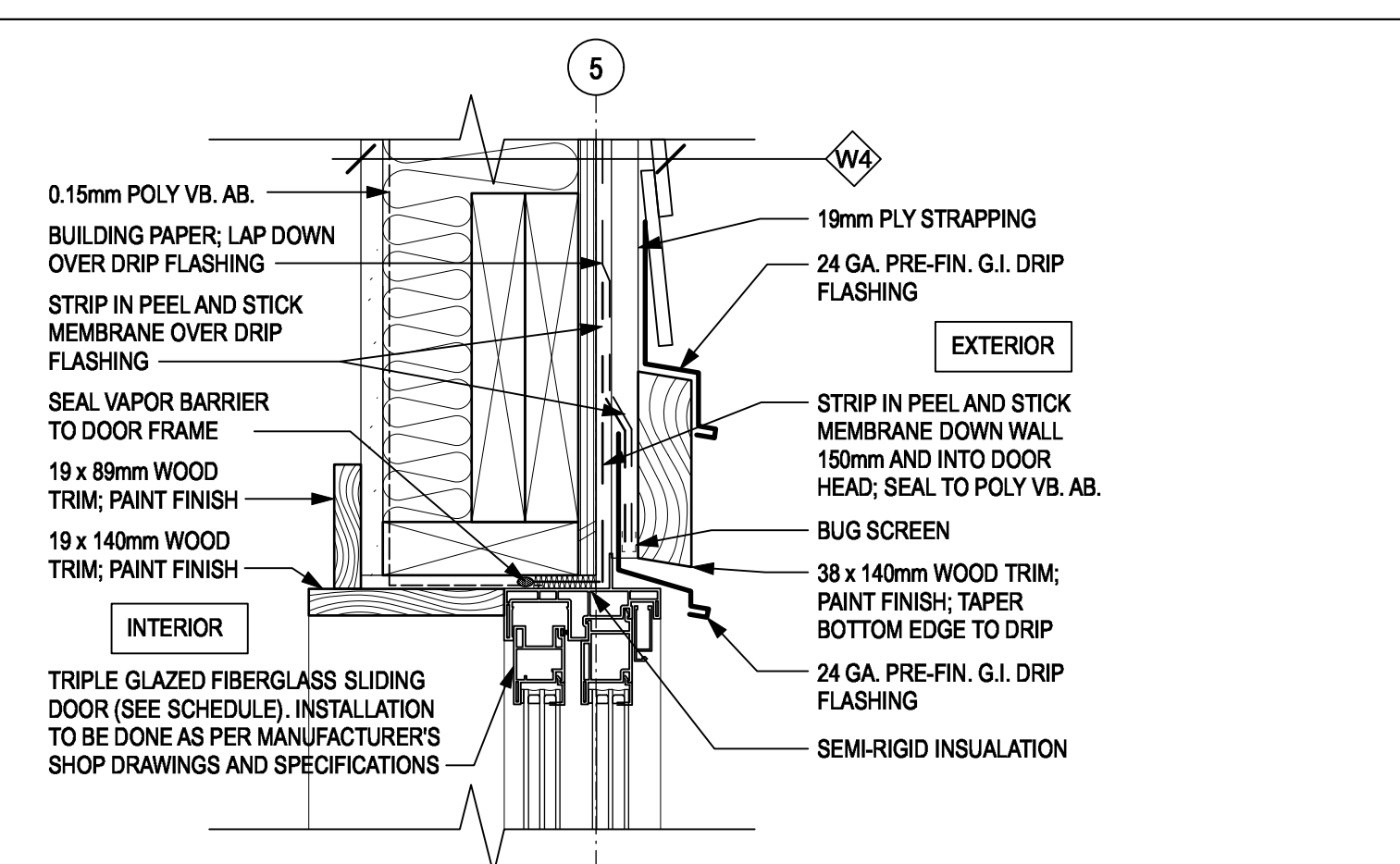
**11 SECTION - TYPICAL ROOF EAVE**  
A08 SCALE: 1:5



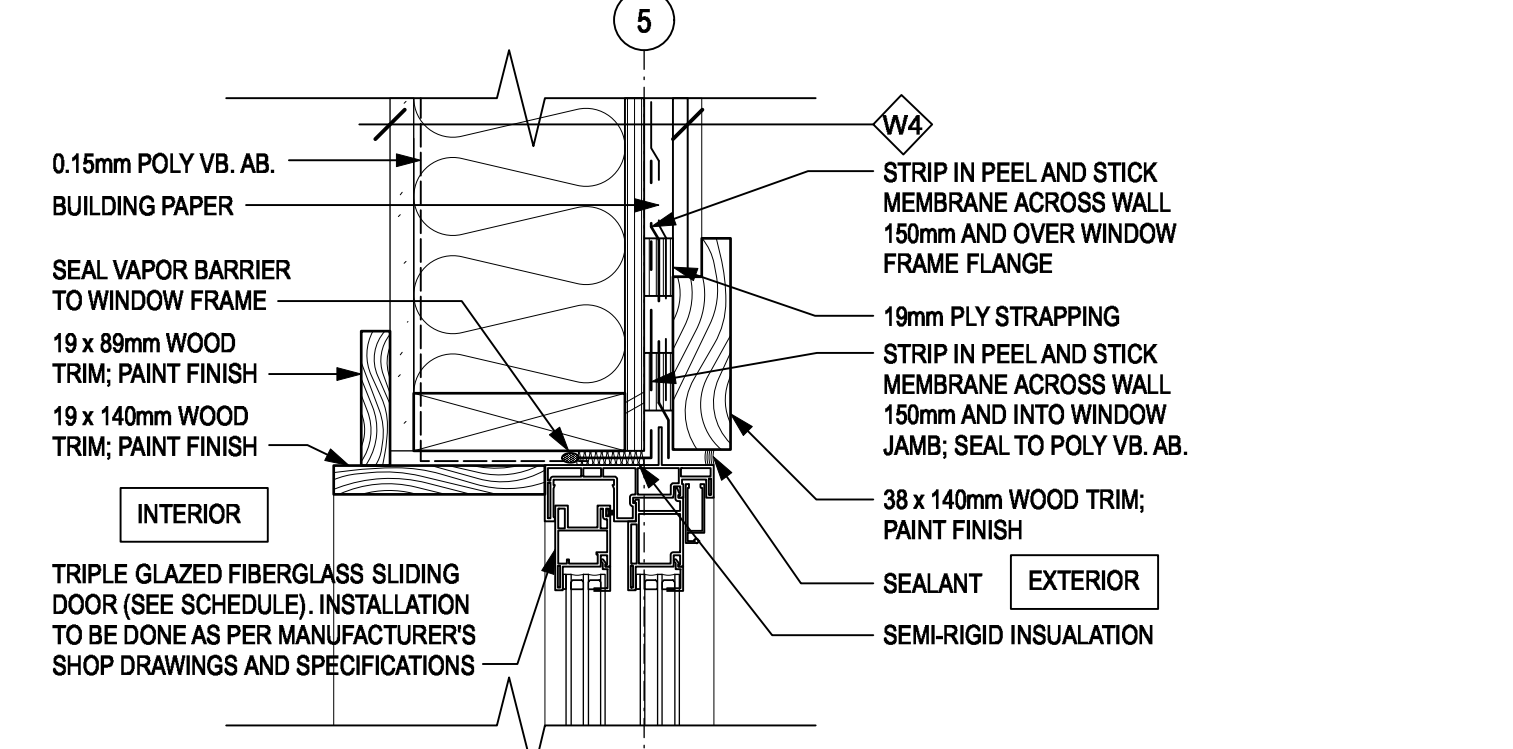
**10 SECTION - TYPICAL THROUGH WALL FLASHING**  
A08 SCALE: 1:5



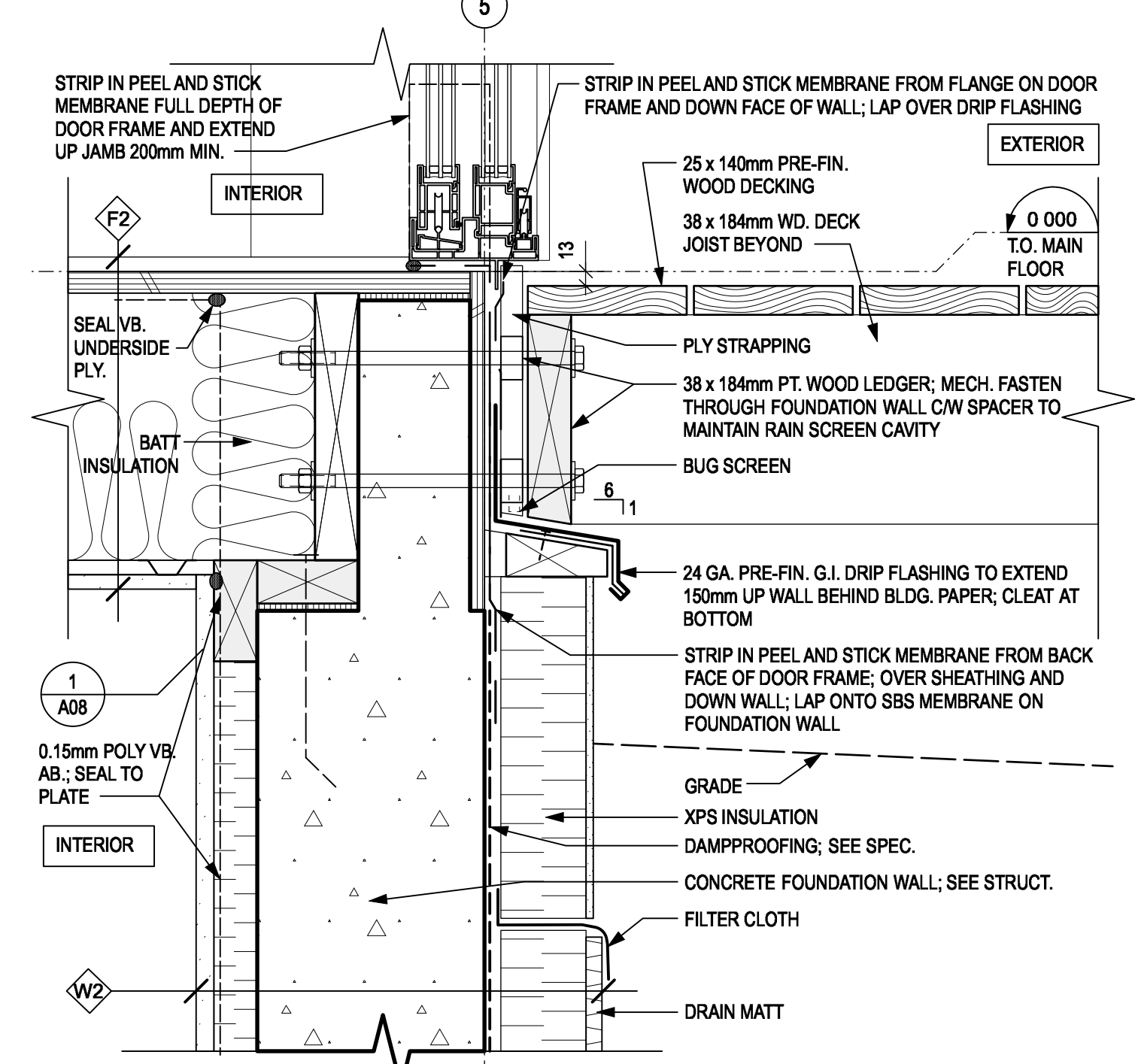
**9 SECTION - TYPICAL BASE TRIM**  
A08 SCALE: 1:5



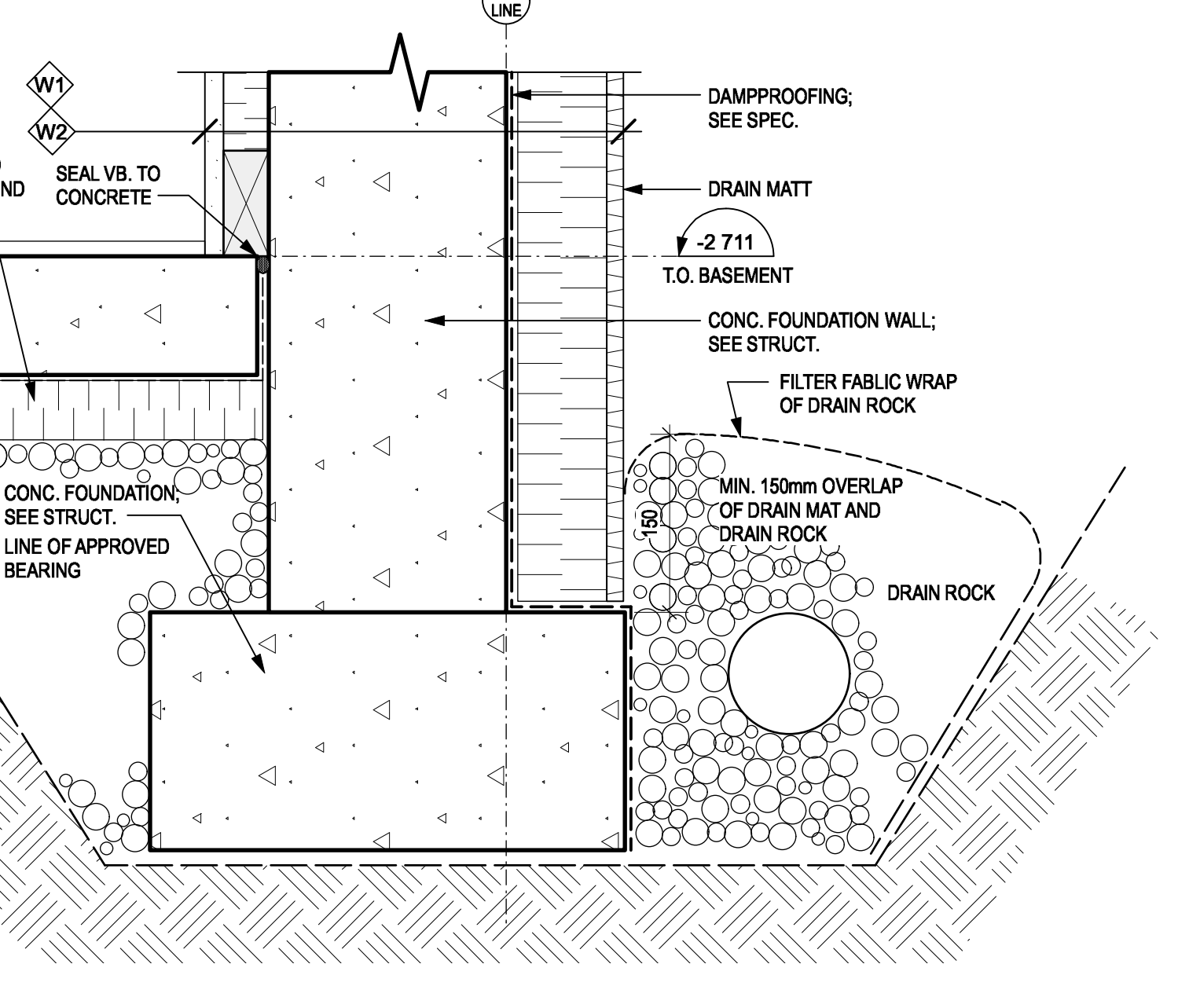
**8 SECTION - SLIDING DOOR HEAD**  
A08 SCALE: 1:5



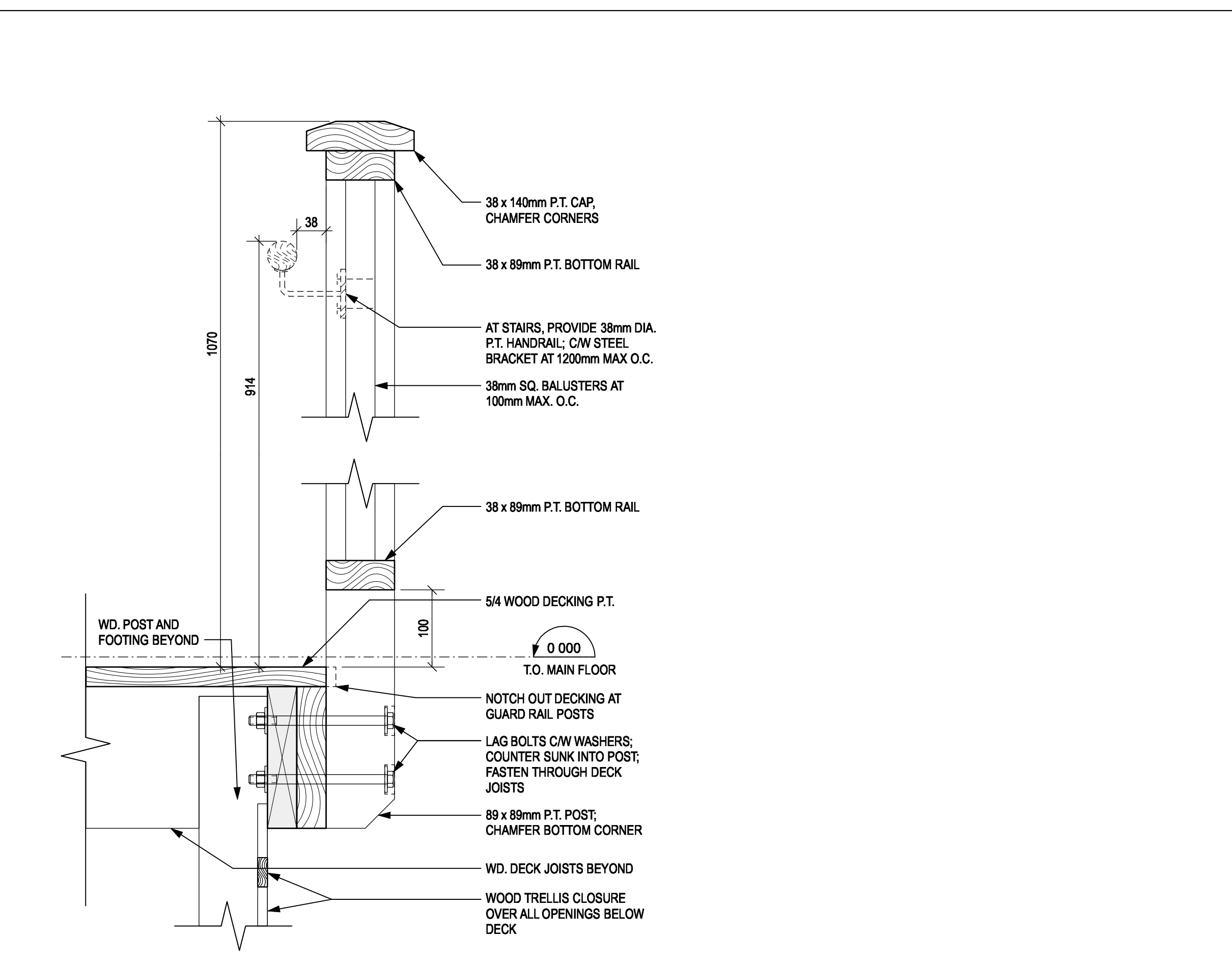
**7 SECTION - SLIDING DOOR JAMB**  
A08 SCALE: 1:5



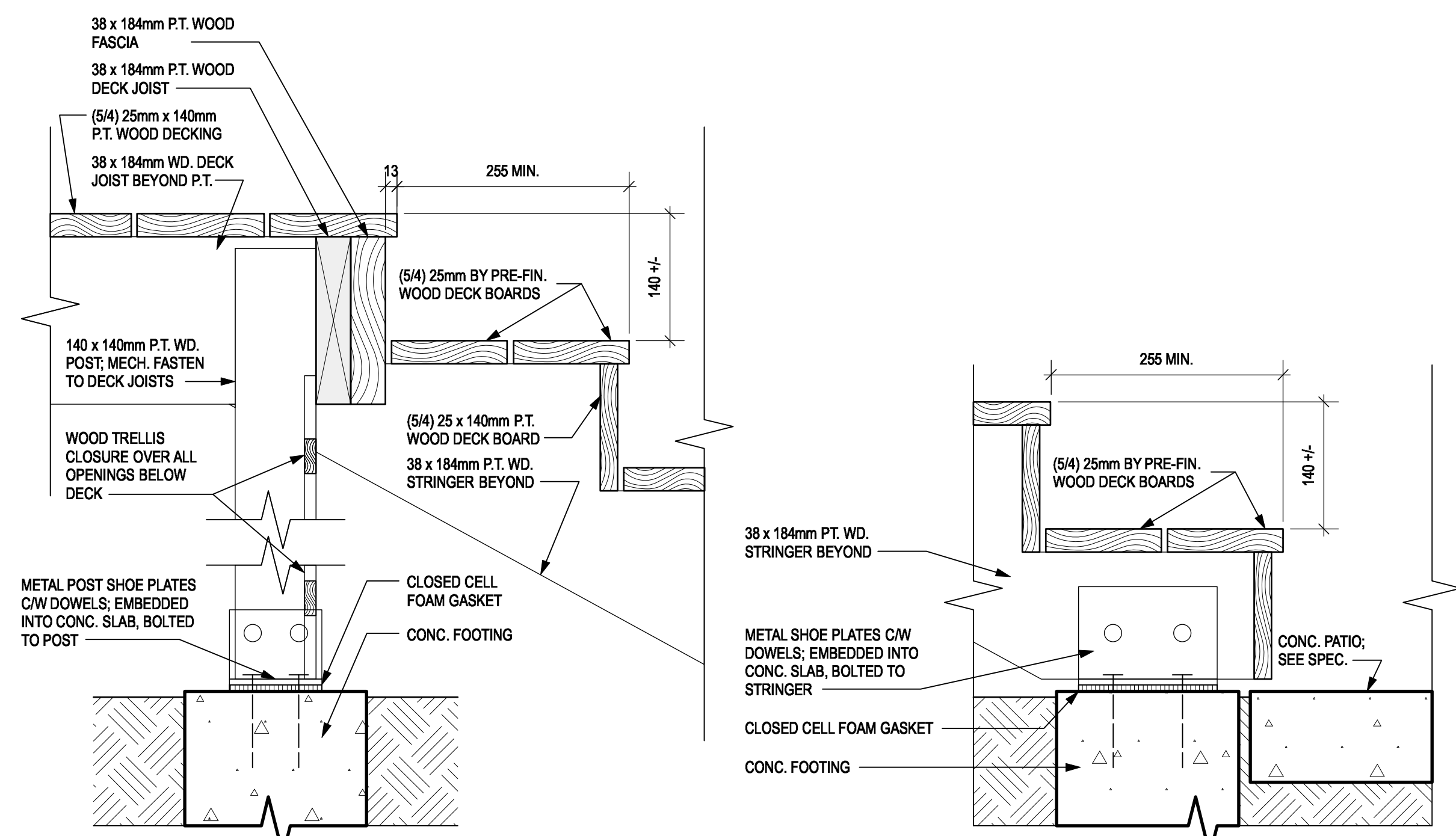
**6 SECTION - WOOD DECK AT SLIDING DOOR SILL**  
A08 SCALE: 1:5



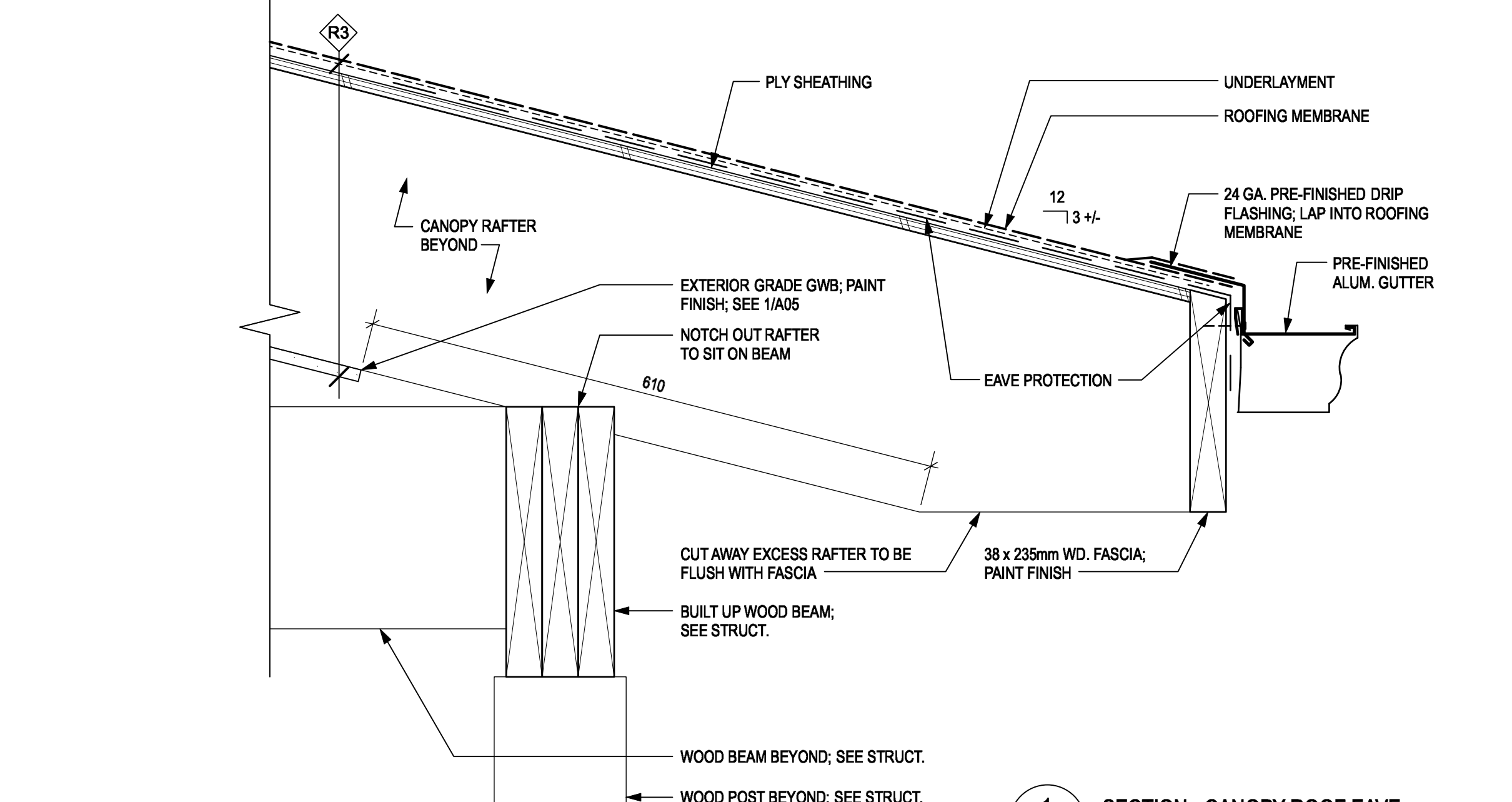
**5 SECTION - TYPICAL FOUNDATION WALL @ FOOTING**  
A08 SCALE: 1:5



**4 SECTION - WOOD DECK GUARDRAIL (TYP.)**  
A08 SCALE: 1:5

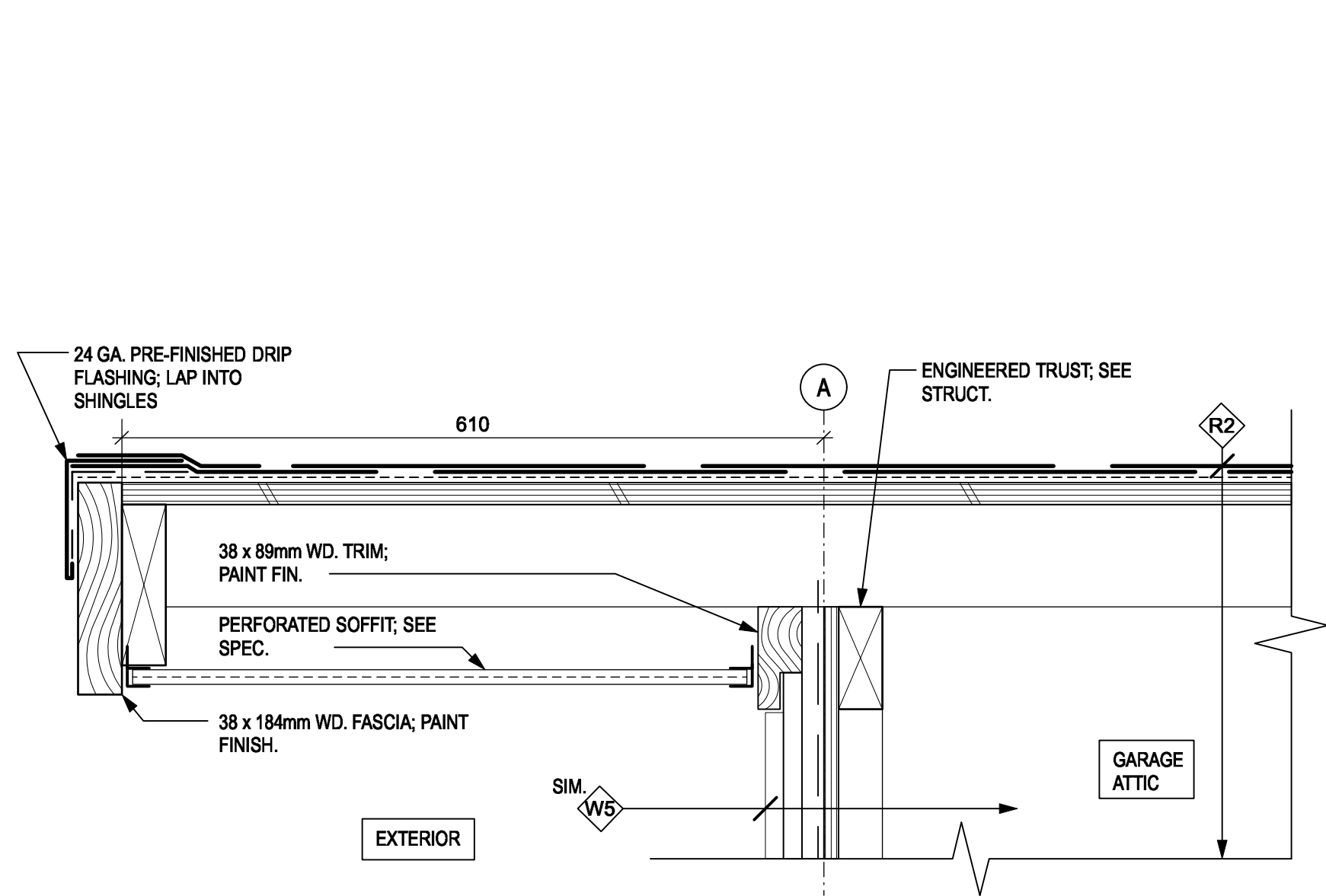


**3 SECTION - WOOD STAIRS**  
A08 SCALE: 1:5

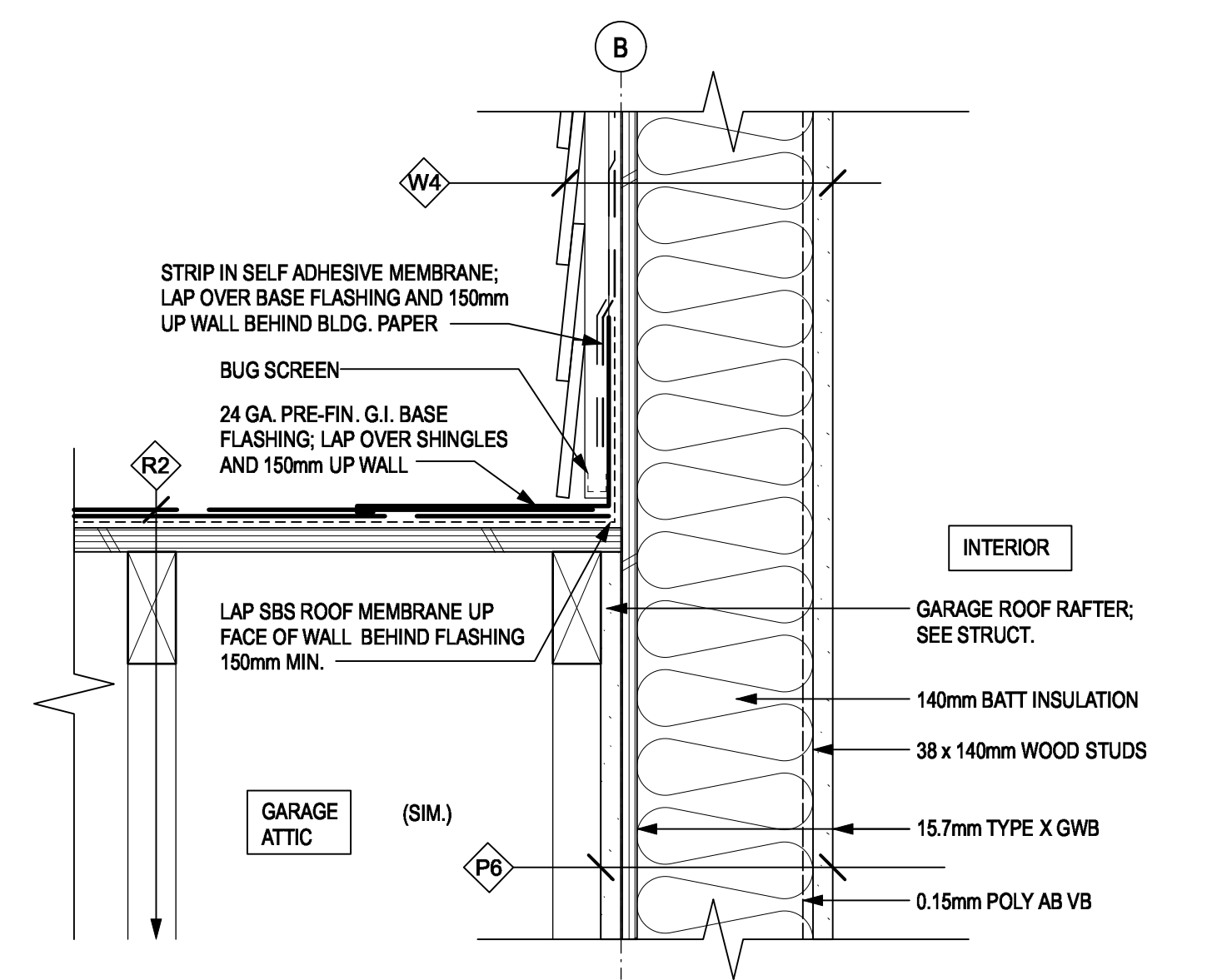


**1 SECTION - CANOPY ROOF EAVE**  
A08 SCALE: 1:5

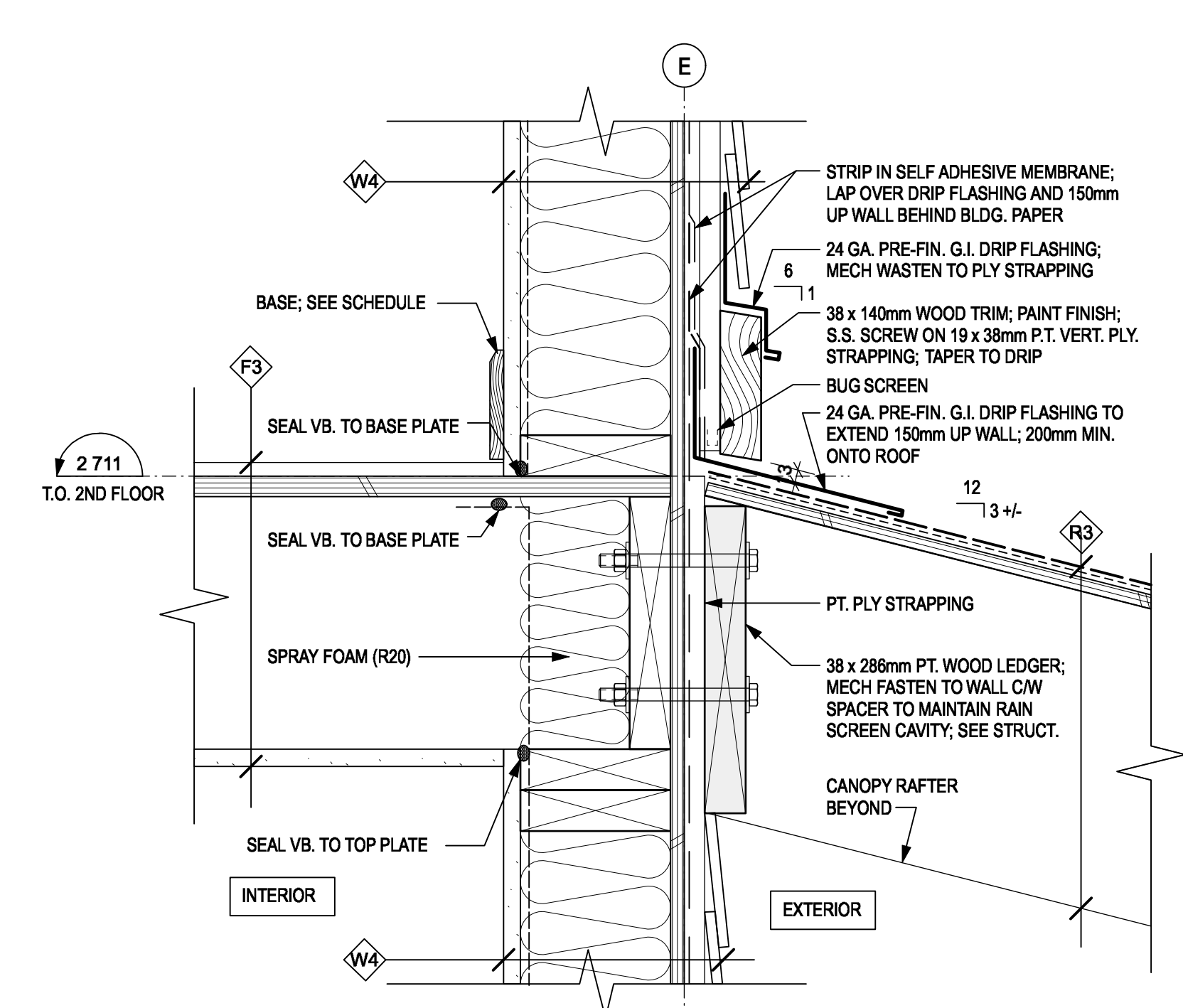




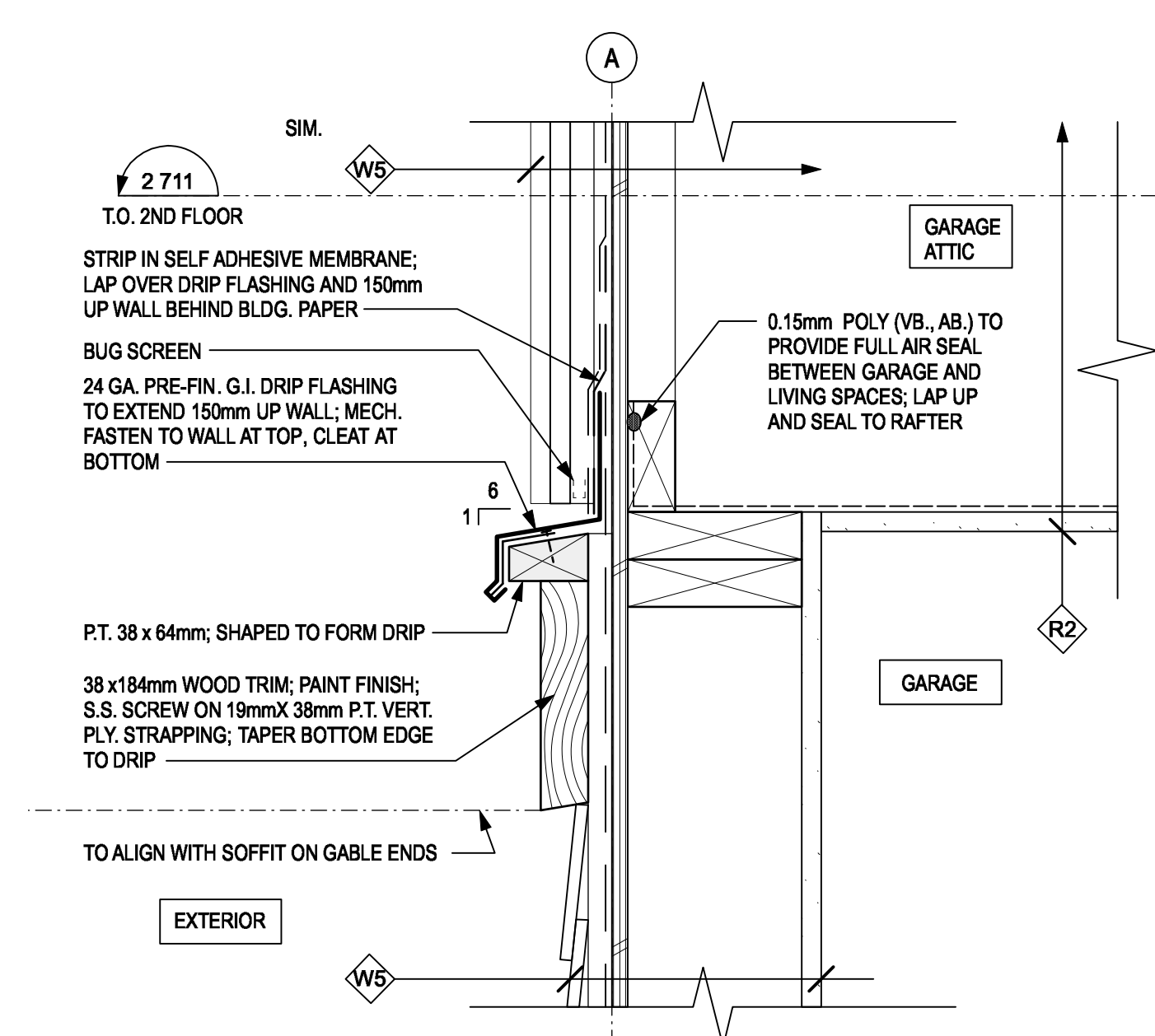
9 SECTION - TYPICAL EAVE AT GABLE END  
A09 SCALE: 1:5



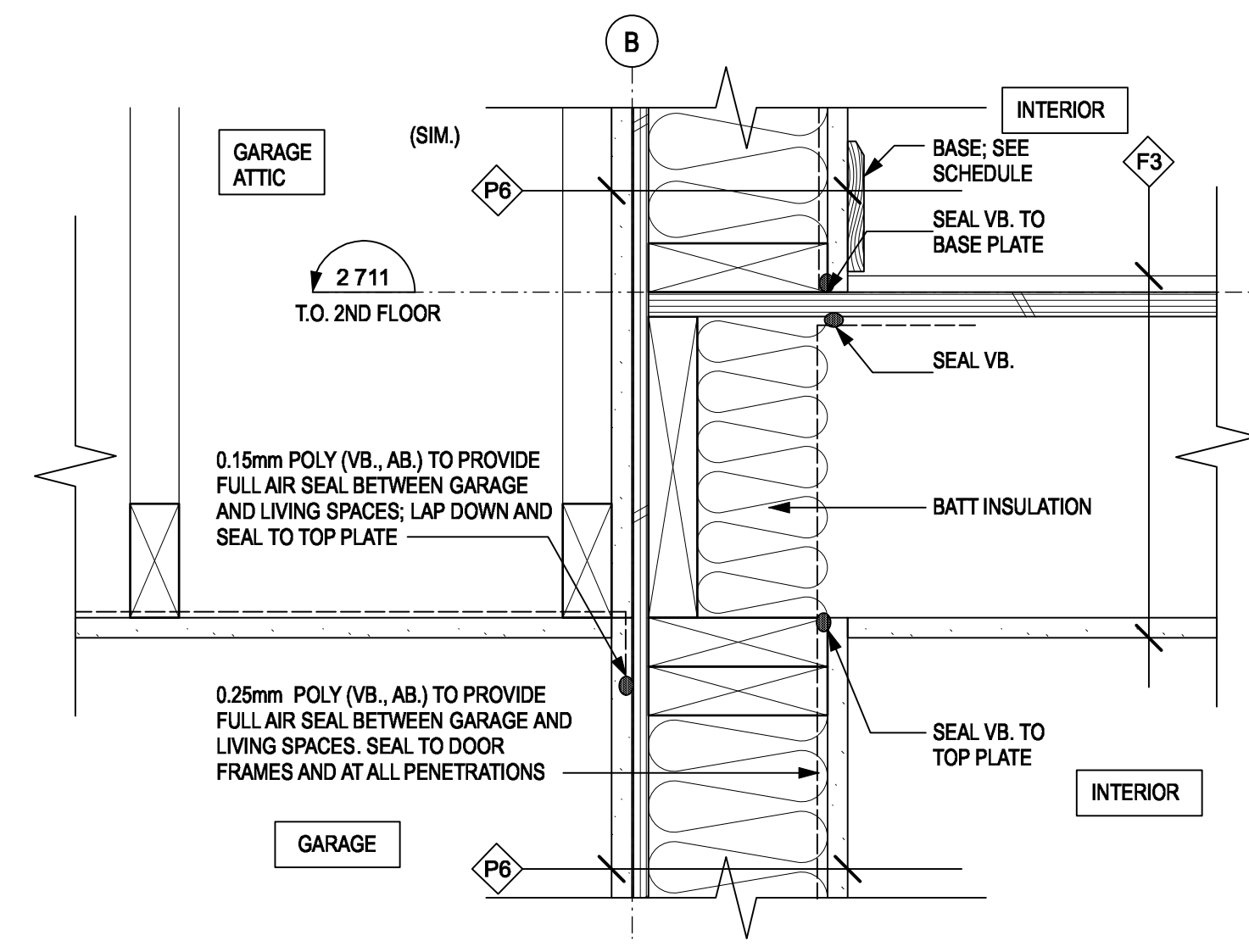
6 SECTION - TYPICAL ROOF AT EXTERIOR WALL  
A09 SCALE: 1:5



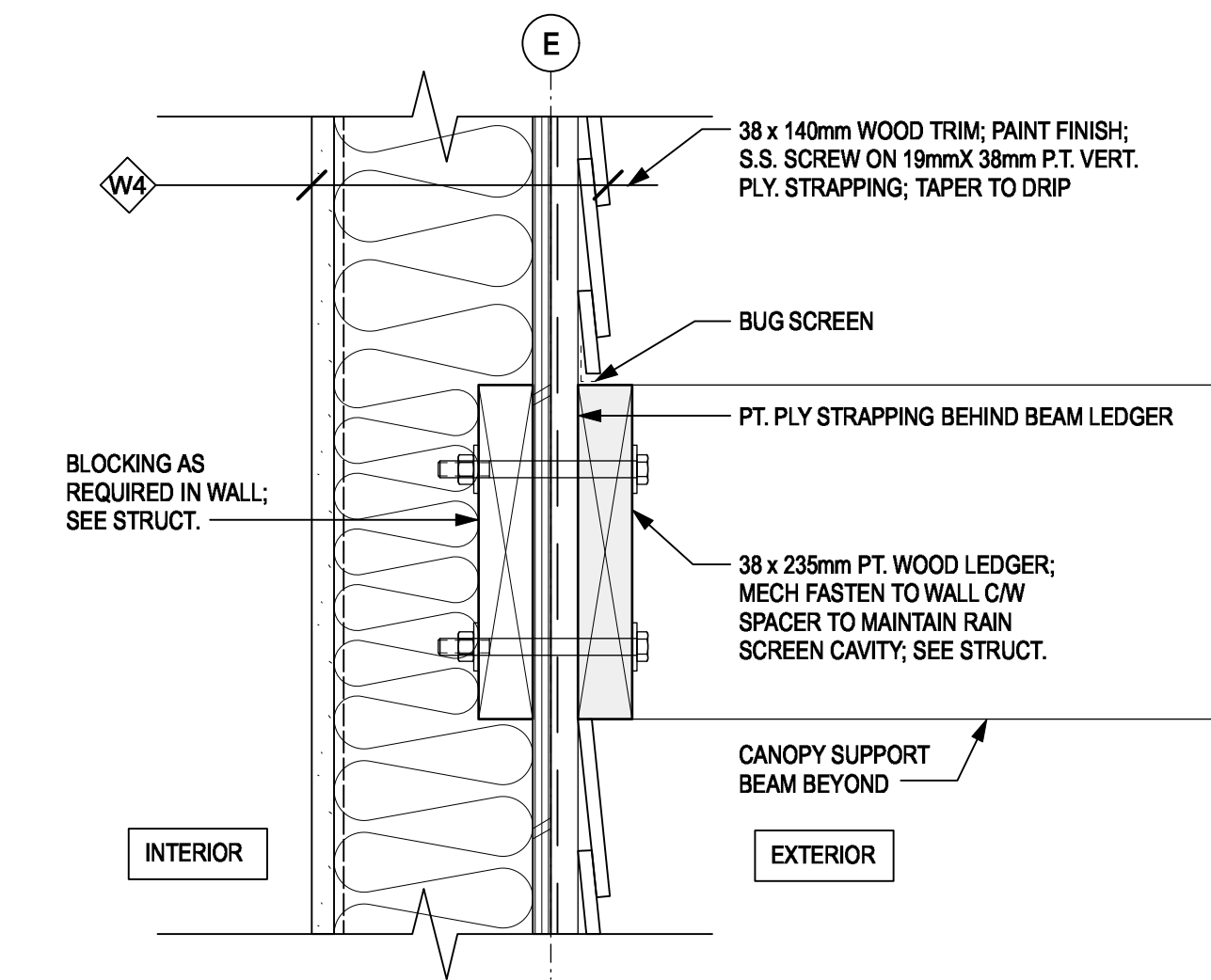
3 SECTION - CANOPY ROOF CONNECTION AT WALL  
A09 SCALE: 1:5



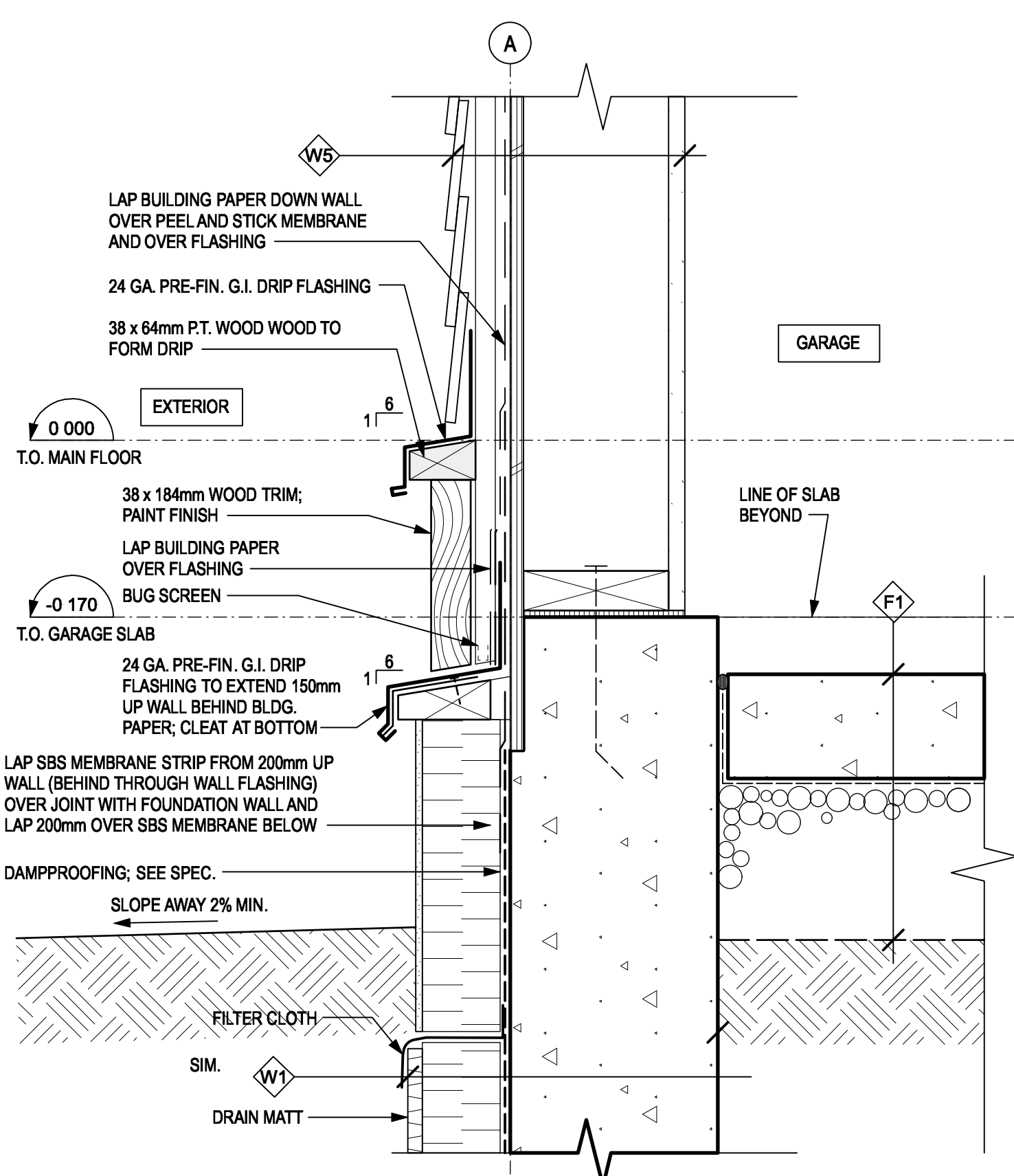
8 SECTION - THROUGH WALL FLASHING ON GABLE ROOF  
A09 SCALE: 1:5



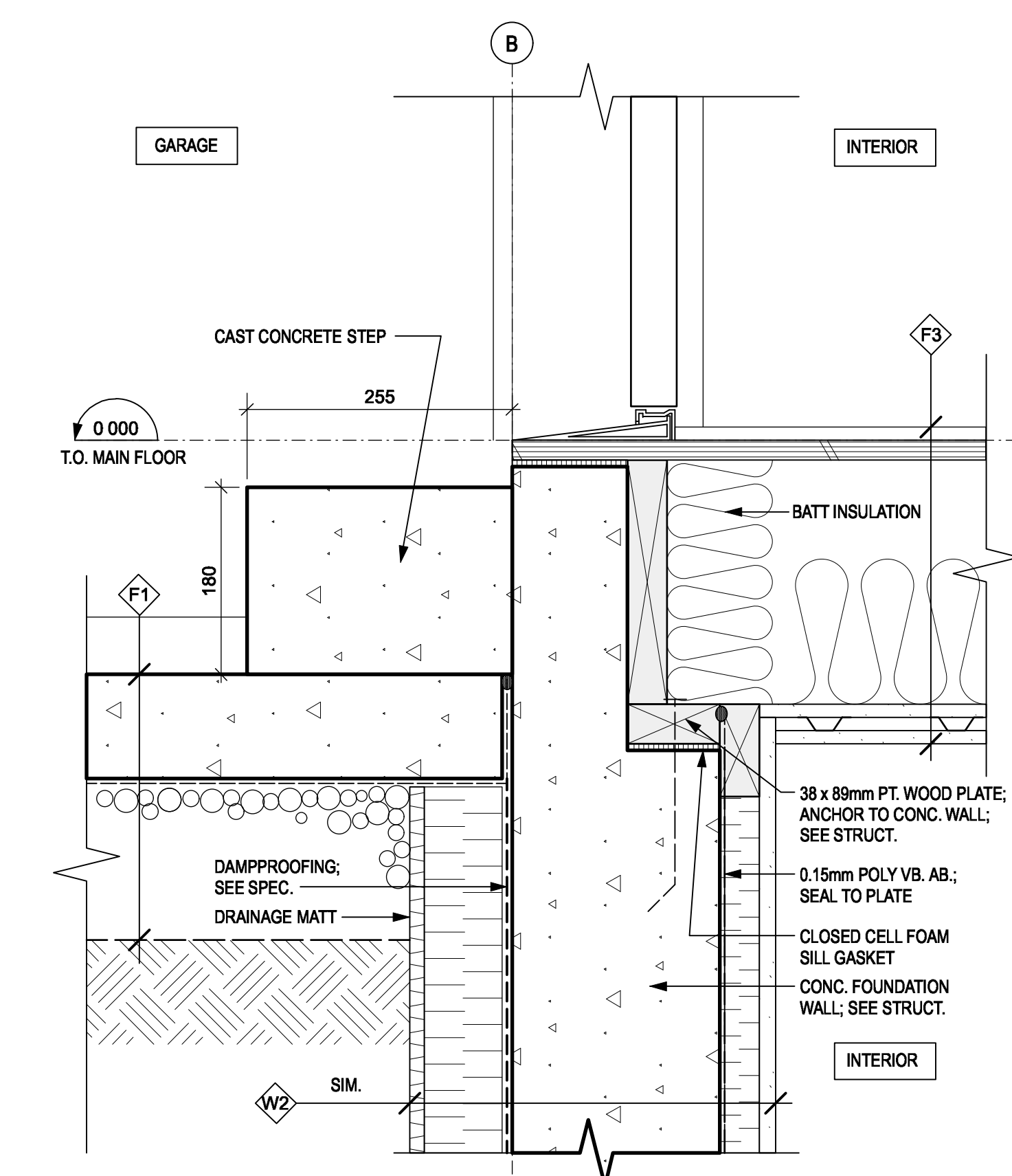
5 SECTION - FLOOR AT GARAGE ATTIC  
A09 SCALE: 1:5



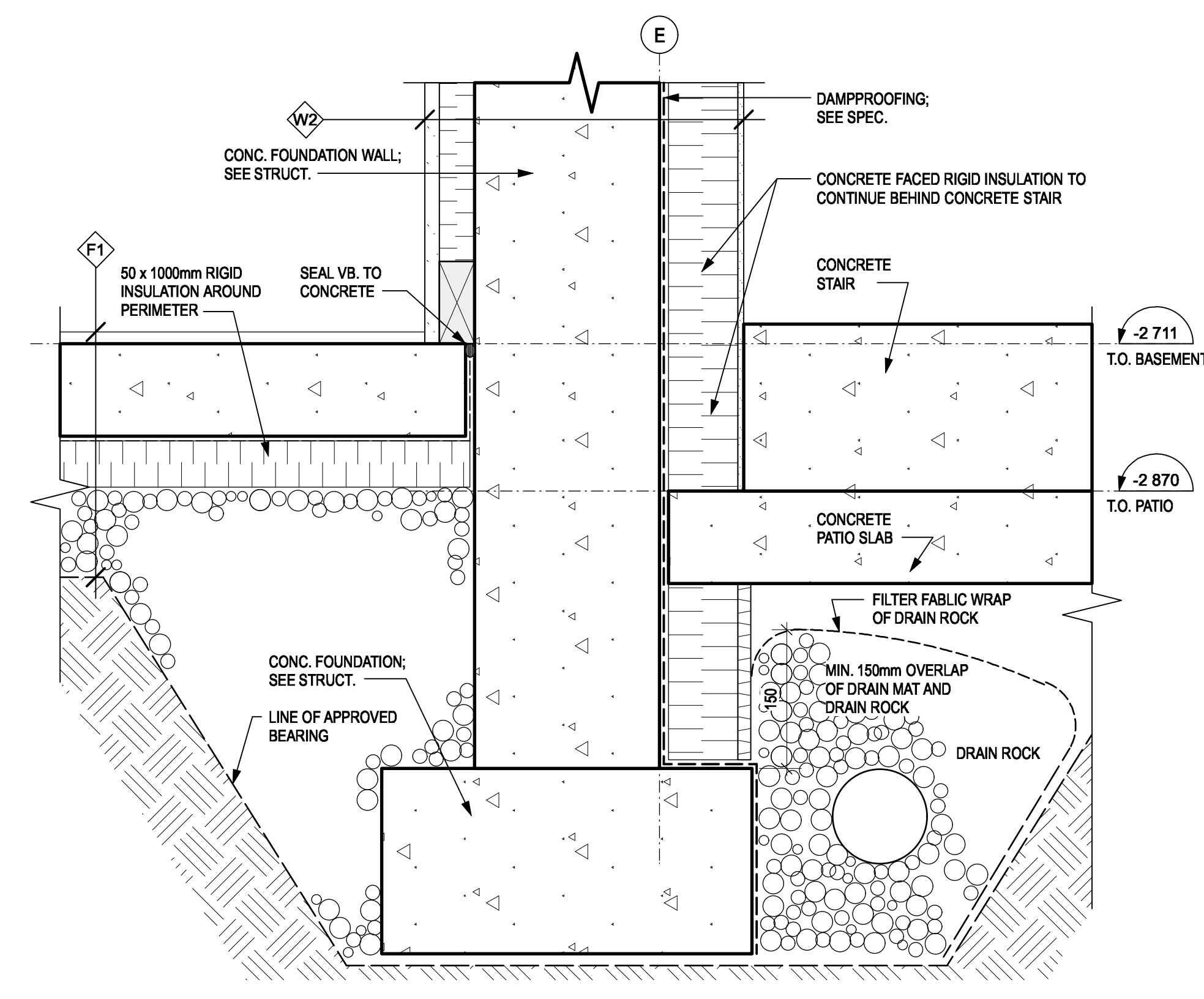
2 SECTION - CANOPY BEAM CONNECTION AT WALL  
A09 SCALE: 1:5



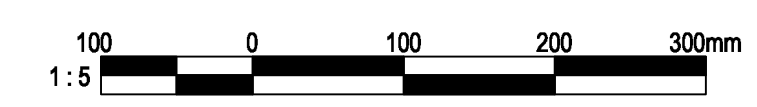
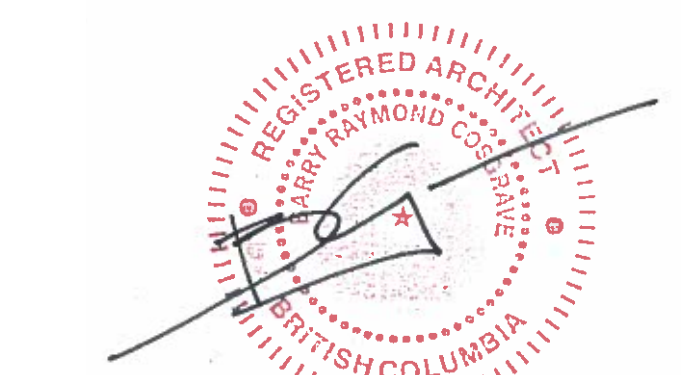
7 SECTION - FOUNDATION AT GARAGE  
A09 SCALE: 1:5



4 SECTION - DOOR TO GARAGE  
A09 SCALE: 1:5



1 SECTION - FOUNDATION WALL AT BASEMENT PATIO STAIR  
A09 SCALE: 1:5



Revision/	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 98% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03

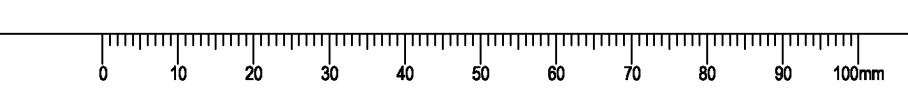
Client/Client  
**Public Services and Procurement Canada (PSPC)**  
VANCOUVER, BC  
800 BARRARD ST.

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

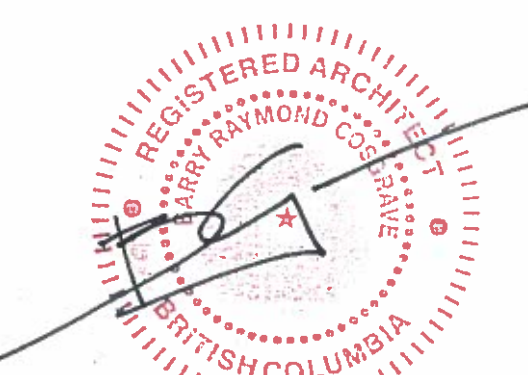
Consultant Signature Box Only  
Designed by/Concept par  
**BC**  
Drawn by/Dessiné par  
**SJ**  
PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services/  
Gestionnaire Régionale, Services d'architectural et de génie, TPSGC  
**PREETIPAL PAUL**  
Drawing title/Titre du dessin

**DETAILS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
R.112456.001	A09	3







Revision/	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 98% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03

Client/Client

**Public Services and Procurement Canada (PSPC)**  
**VANCOUVER, BC**  
**800 BARRARD ST.**

Project title/Titre du projet

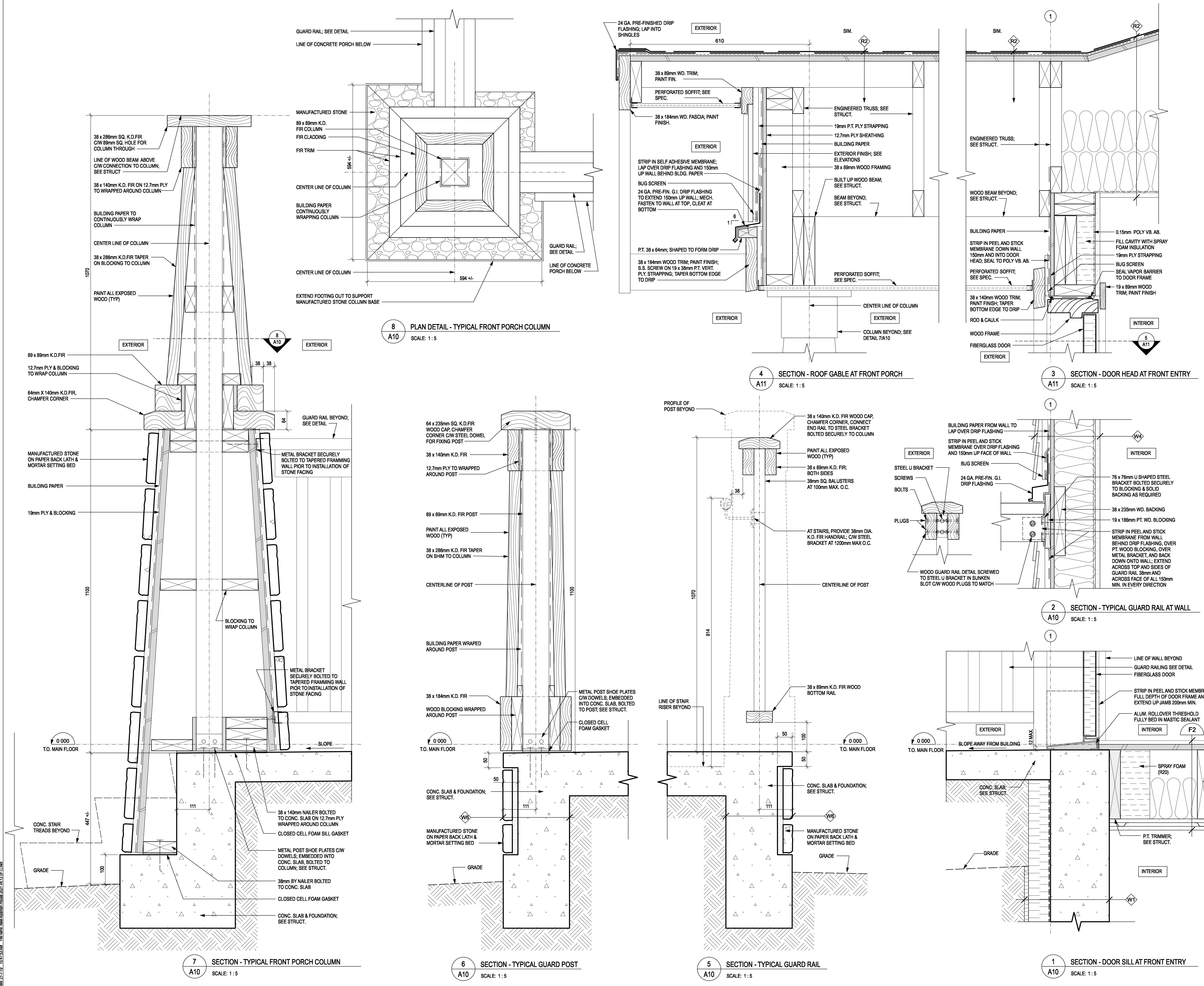
**New Residence, New Aiyansh, BC**

Consultant Signature Box Only

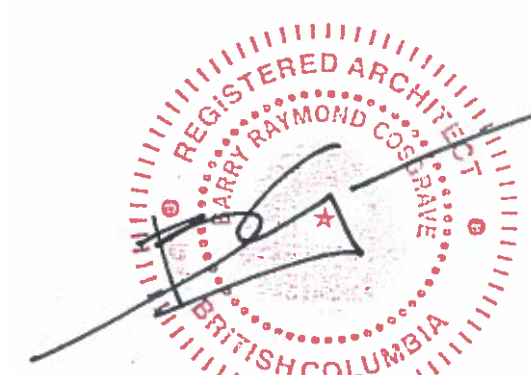
Designed by/Concept par  
**BC**  
Drawn by/Dessiné par  
**SJ**  
PWGSC Project Manager/Administrateur de Projets TPSCG  
**PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services /  
Gestionnaire Régional, Services d'Architecture et de Génie, TPSCG  
**PREETIPAL PAUL**  
Drawing title/Titre du dessin

**DETAILS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
<b>R.112456.001</b>	<b>A10</b>	<b>3</b>







Revision/	Description	Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 98% REVIEW	2021-06-01
0	ISSUED FOR 96% REVIEW	2021-05-03

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VANCOUVER, BC  
800 BURNARD ST.

Project title/Titre du projet

**New Residence, New Aiyansh, BC**

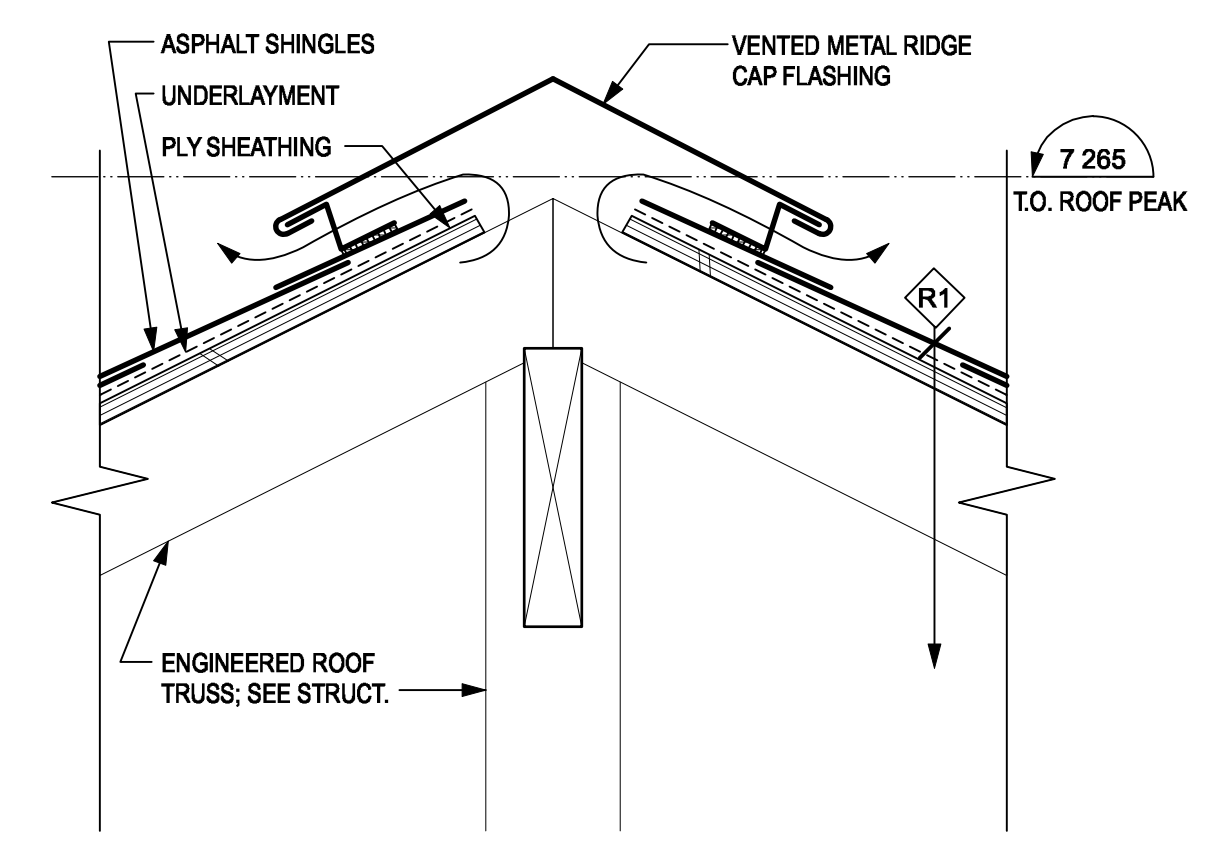
Consultant Signature Box Only

Designed by/Concept par  
**BC**  
Drawn by/Dessiné par  
**SJ**  
PWGSC Project Manager/Administrateur de Projets TPWGC  
**PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services /  
Gestionnaire Régional, Services d'architectural et de génie, TPWGC  
**PREETIPAL PAUL**

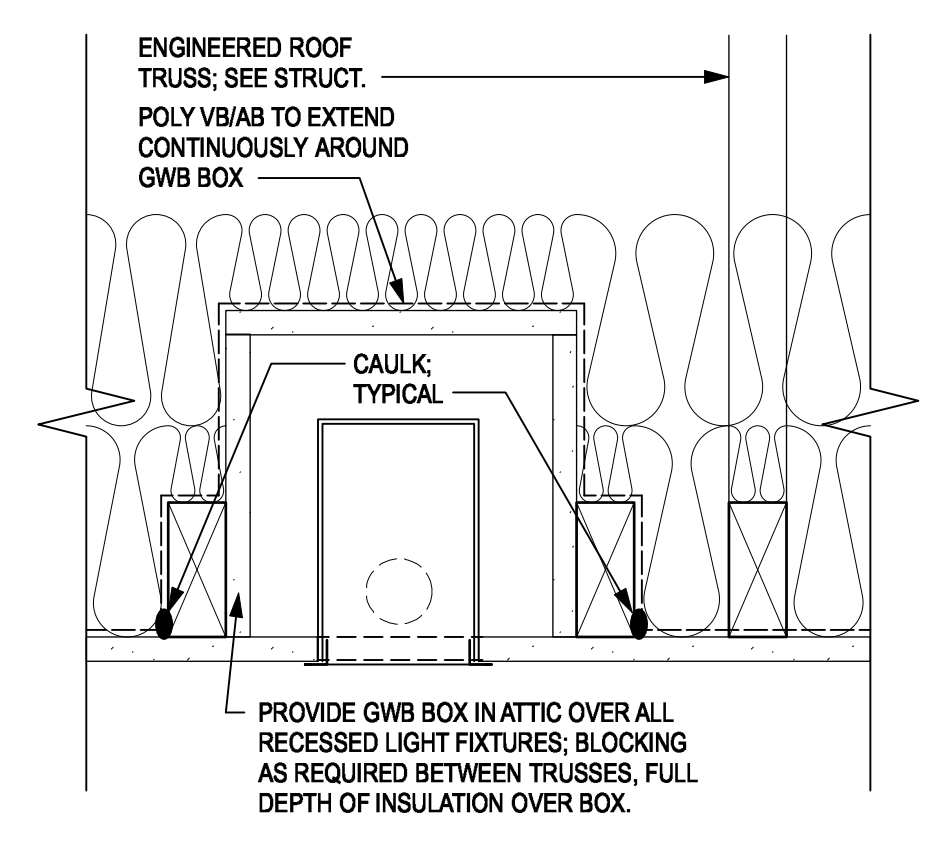
Drawing title/Titre du dessin

**DETAILS**

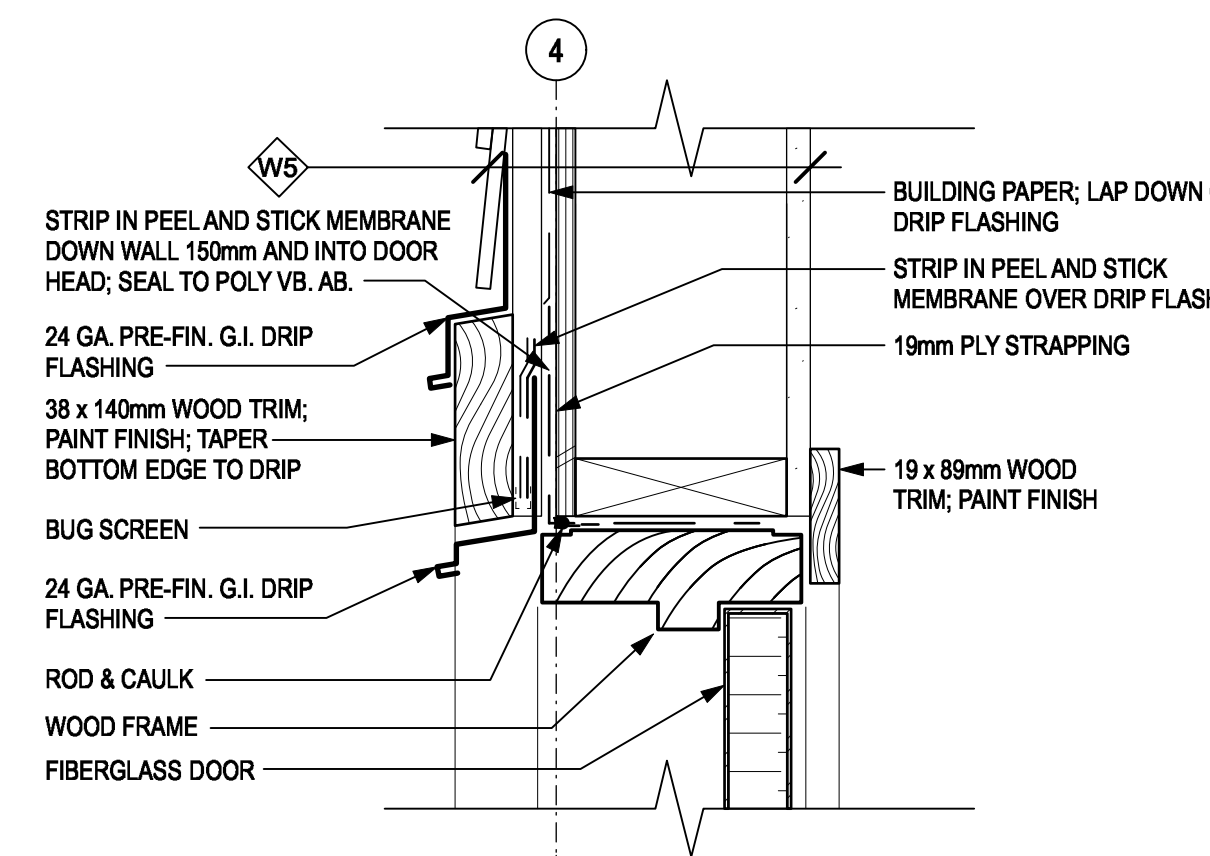
Project No./No. du projet	Sheet / Feuille	Revision / La Révision
R.112456.001	<b>A11</b>	<b>3</b>



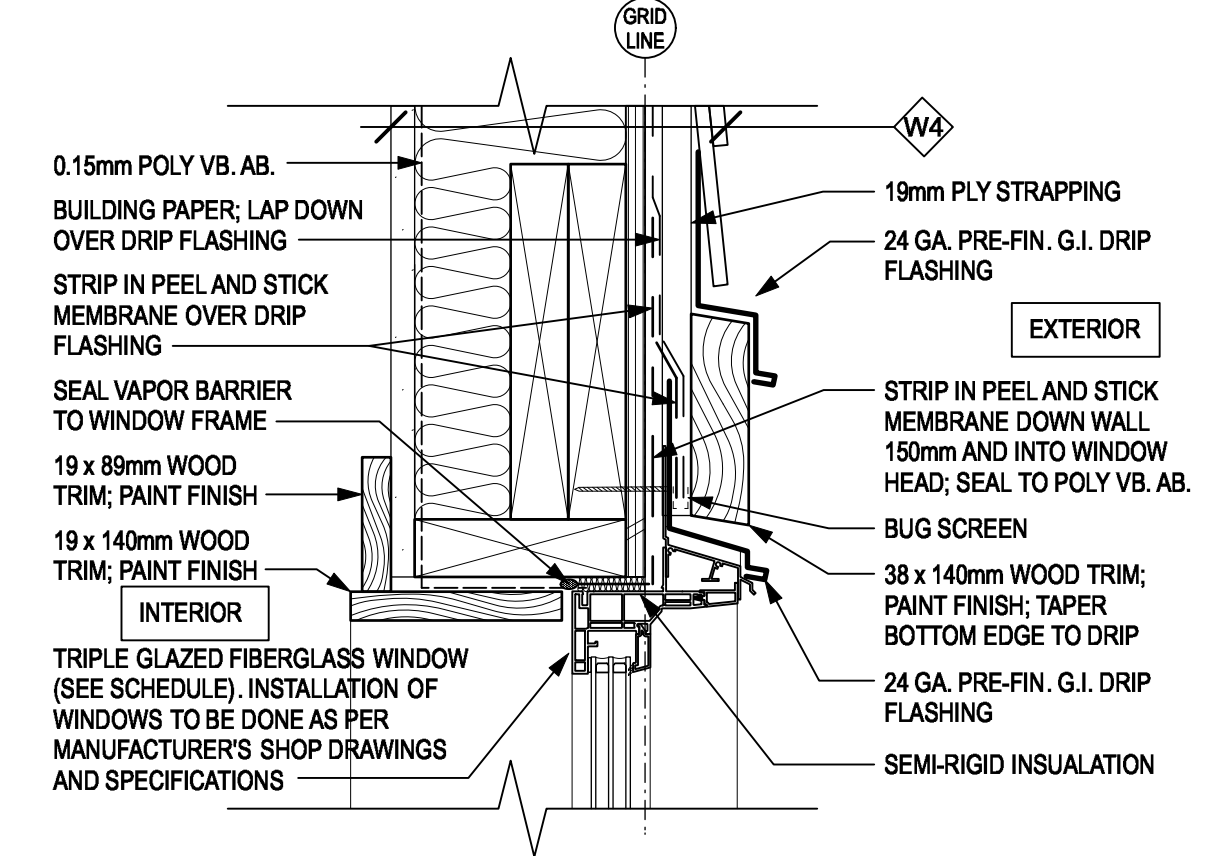
13 SECTION - VENT AT ROOF PEAK  
A11 SCALE: 1:5



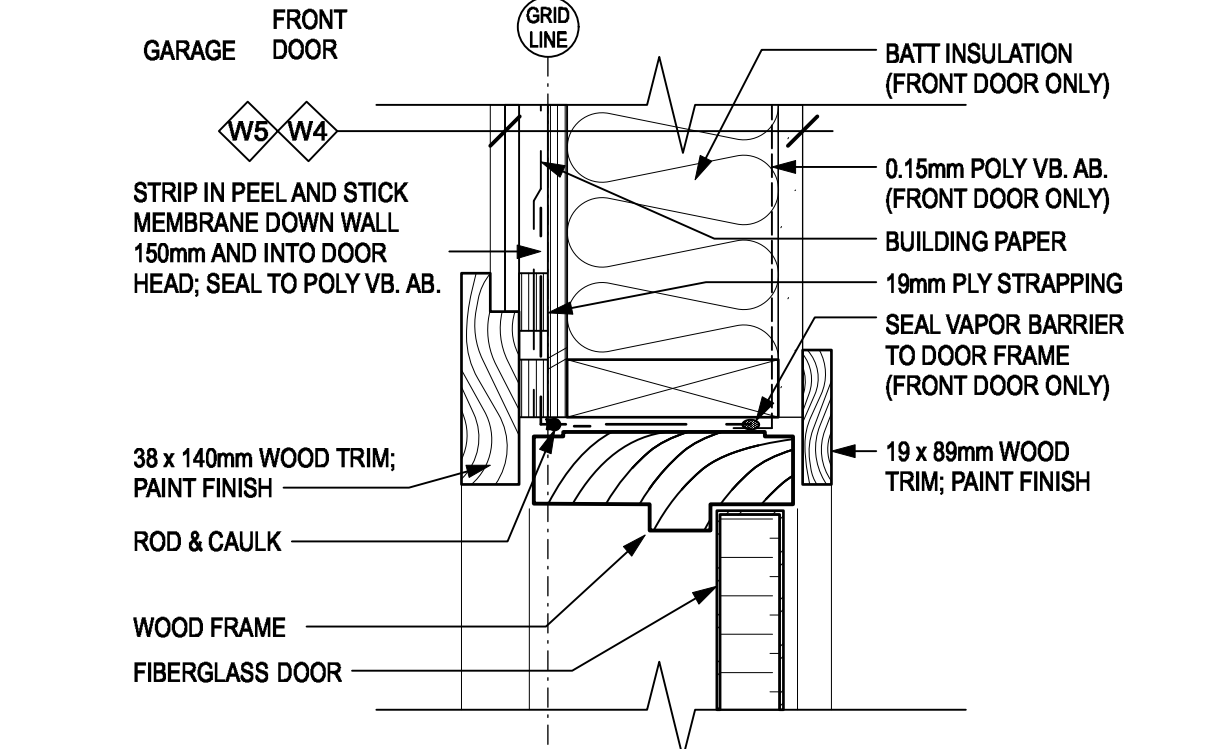
14 SECTION - RECESSED LIGHT FIXTURE IN ATTIC  
A11 SCALE: 1:5



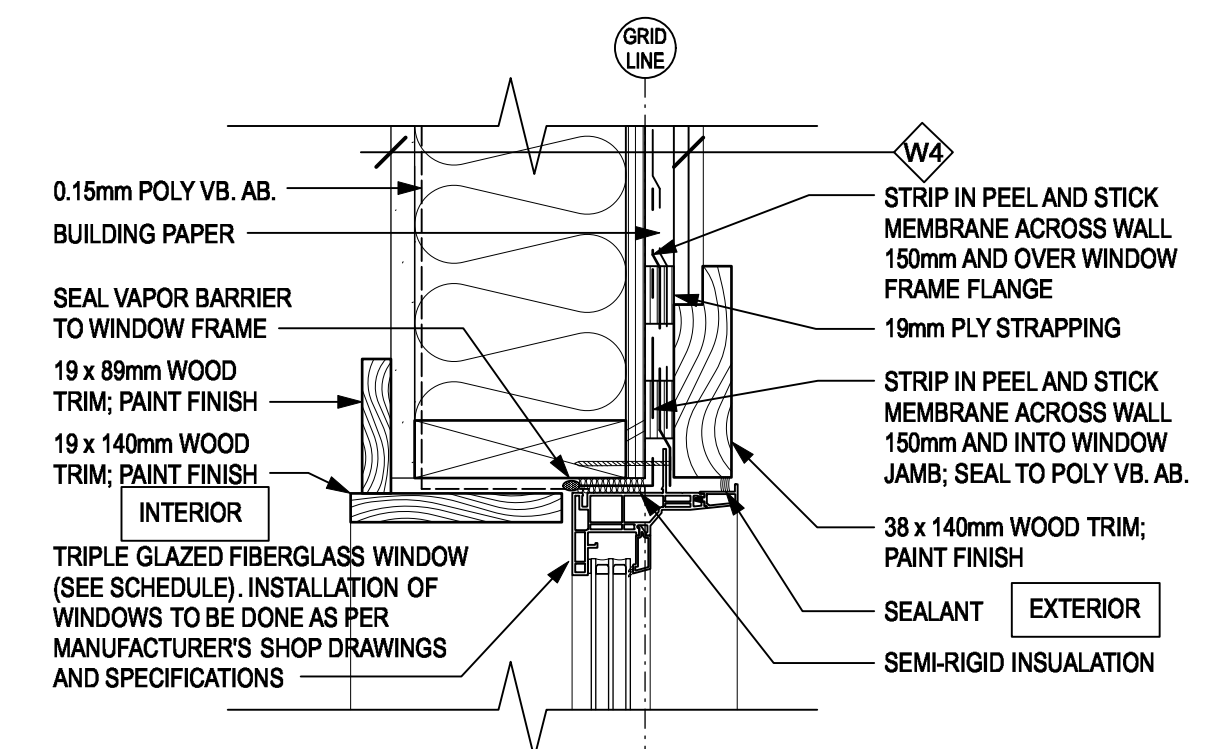
3 SECTION - DOOR HEAD  
A11 SCALE: 1:5



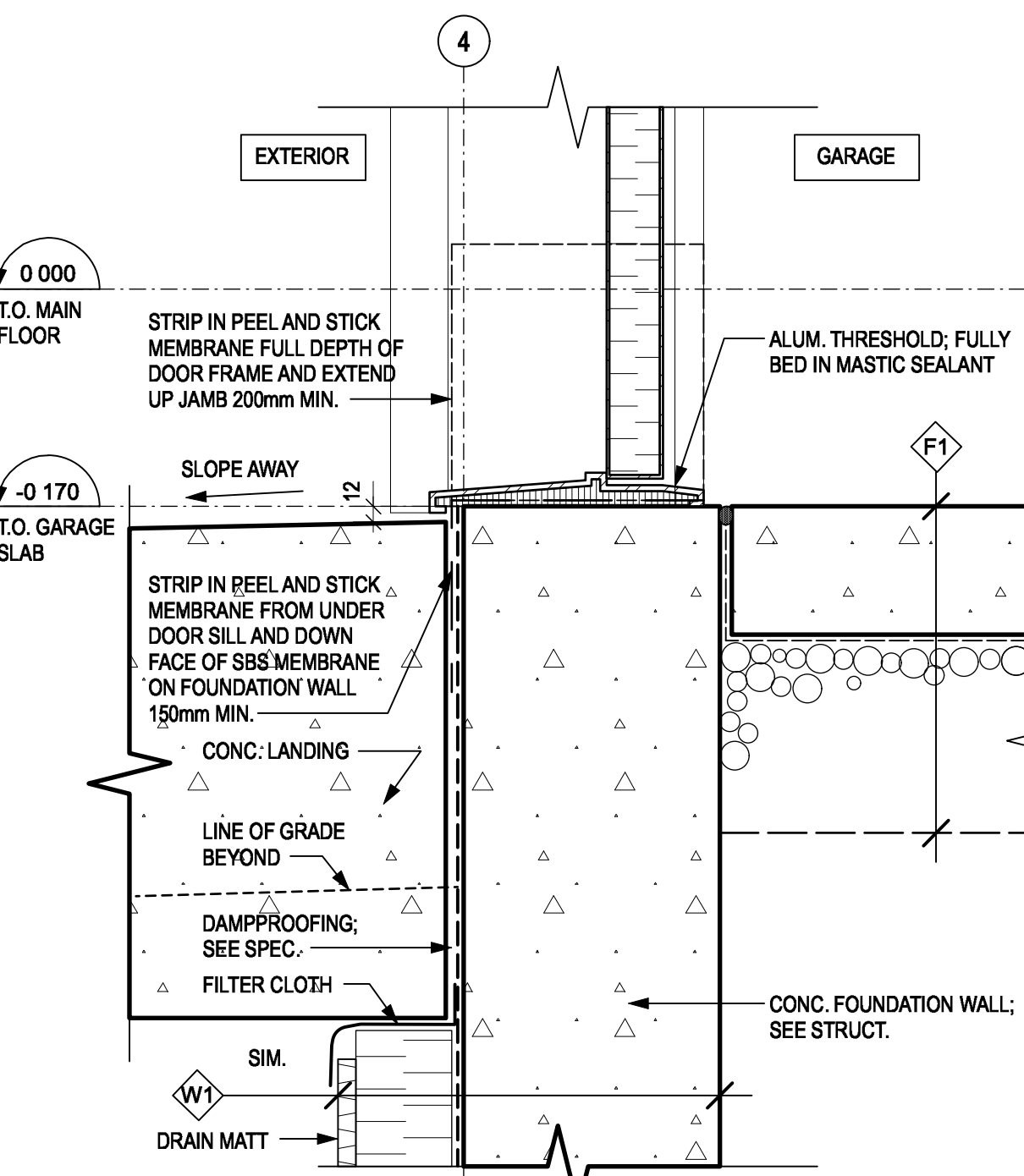
6 SECTION - TYPICAL WINDOW HEAD  
A11 SCALE: 1:5



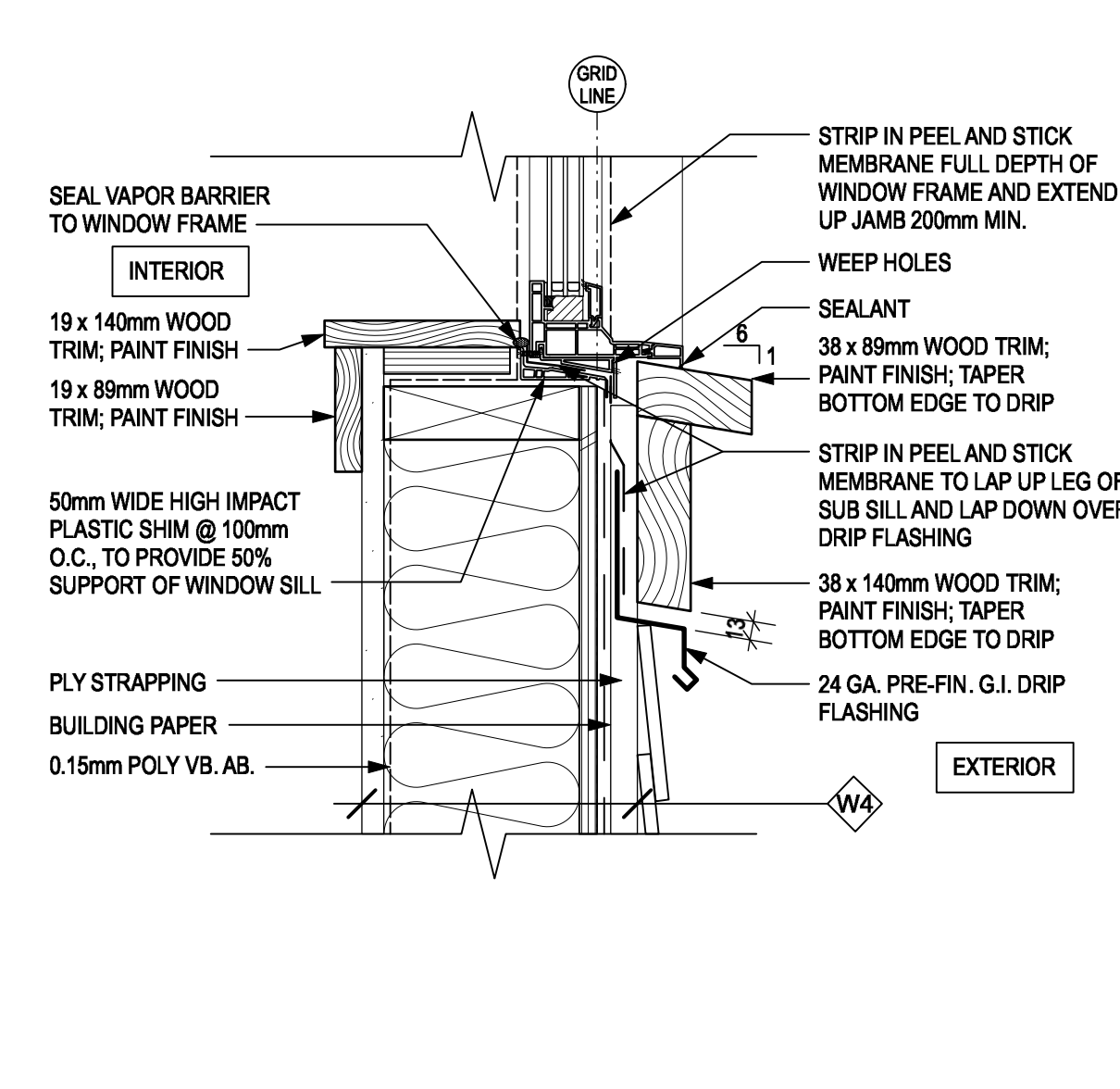
2 SECTION - DOOR JAMB (TYP.)  
A11 SCALE: 1:5



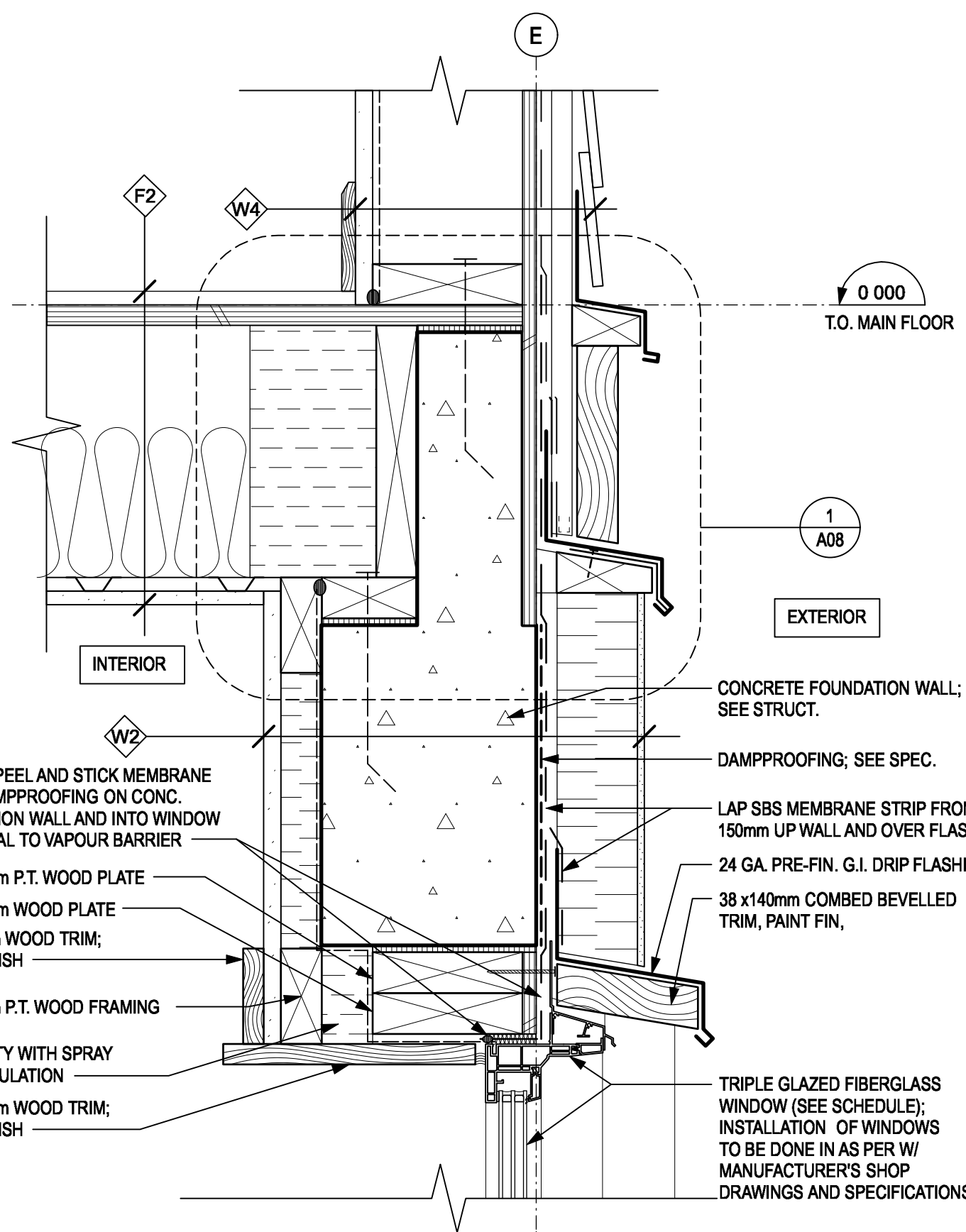
5 SECTION - TYPICAL WINDOW JAMB  
A11 SCALE: 1:5



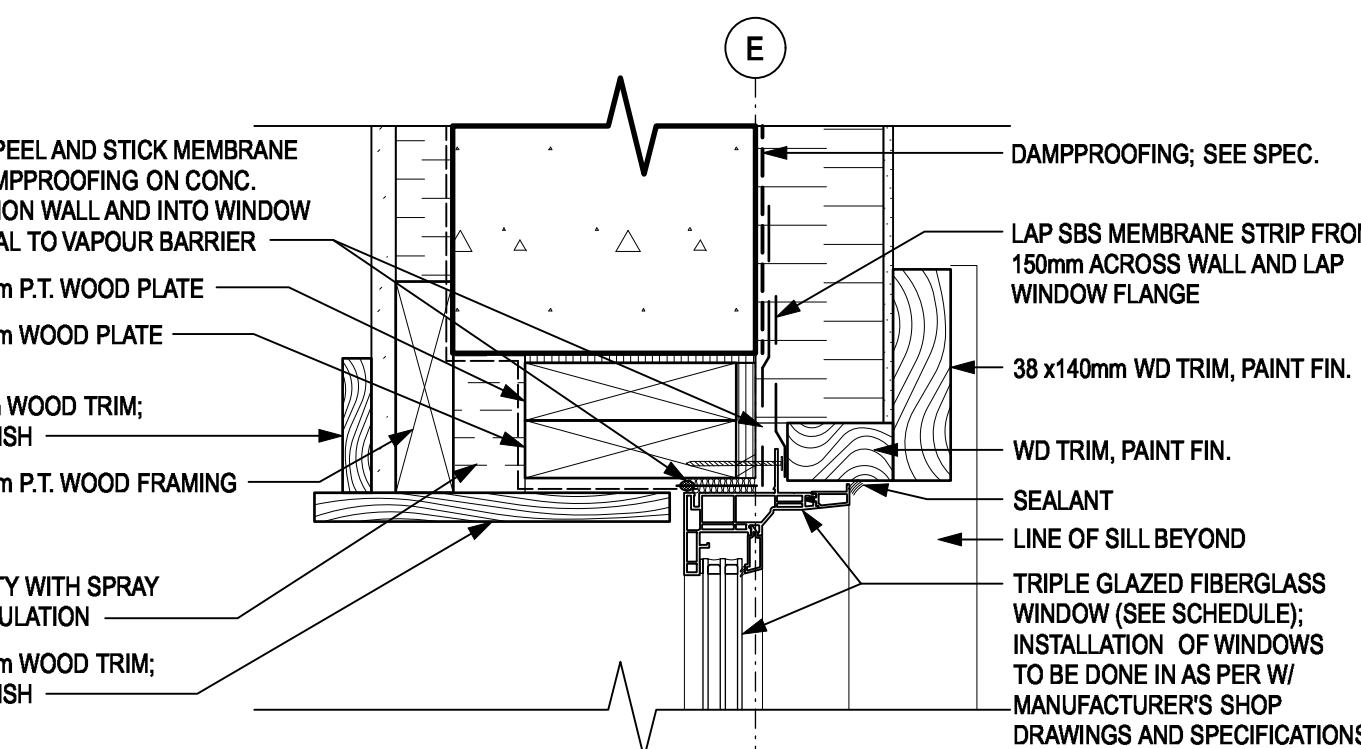
1 SECTION - DOOR SILL  
A11 SCALE: 1:5



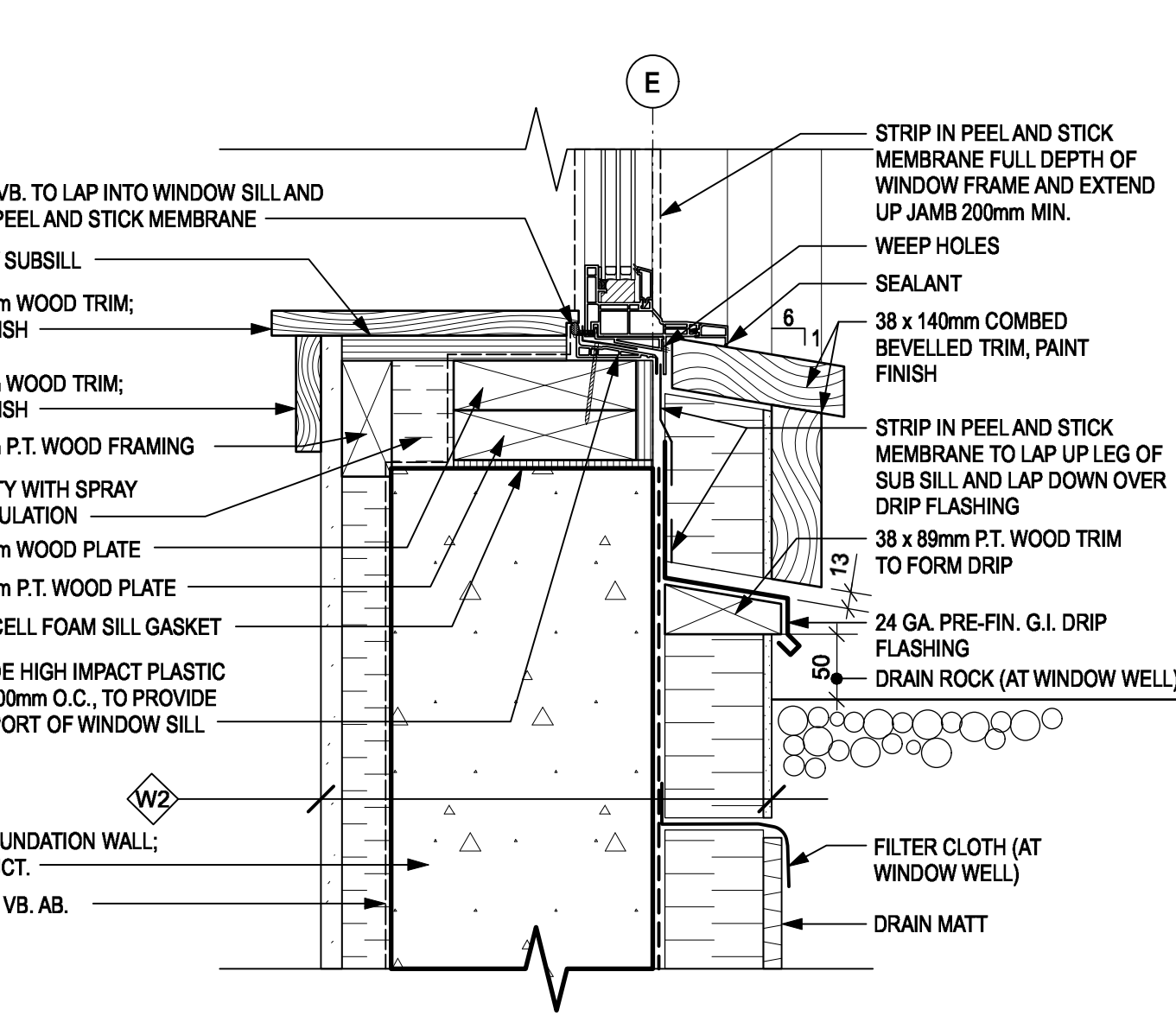
4 SECTION - TYPICAL WINDOW SILL  
A11 SCALE: 1:5



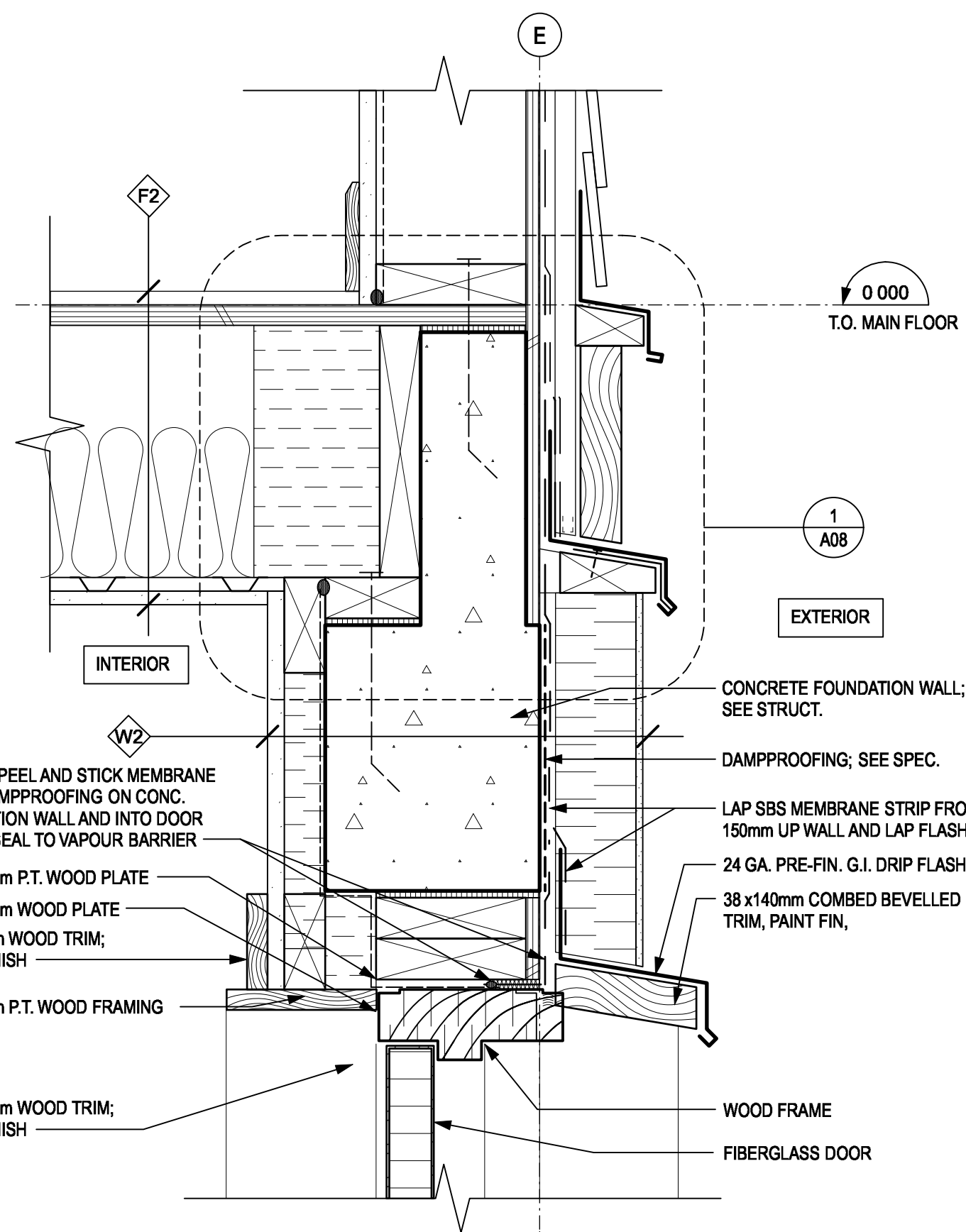
9 SECTION - WINDOW HEAD IN FOUNDATION WALL  
A11 SCALE: 1:5



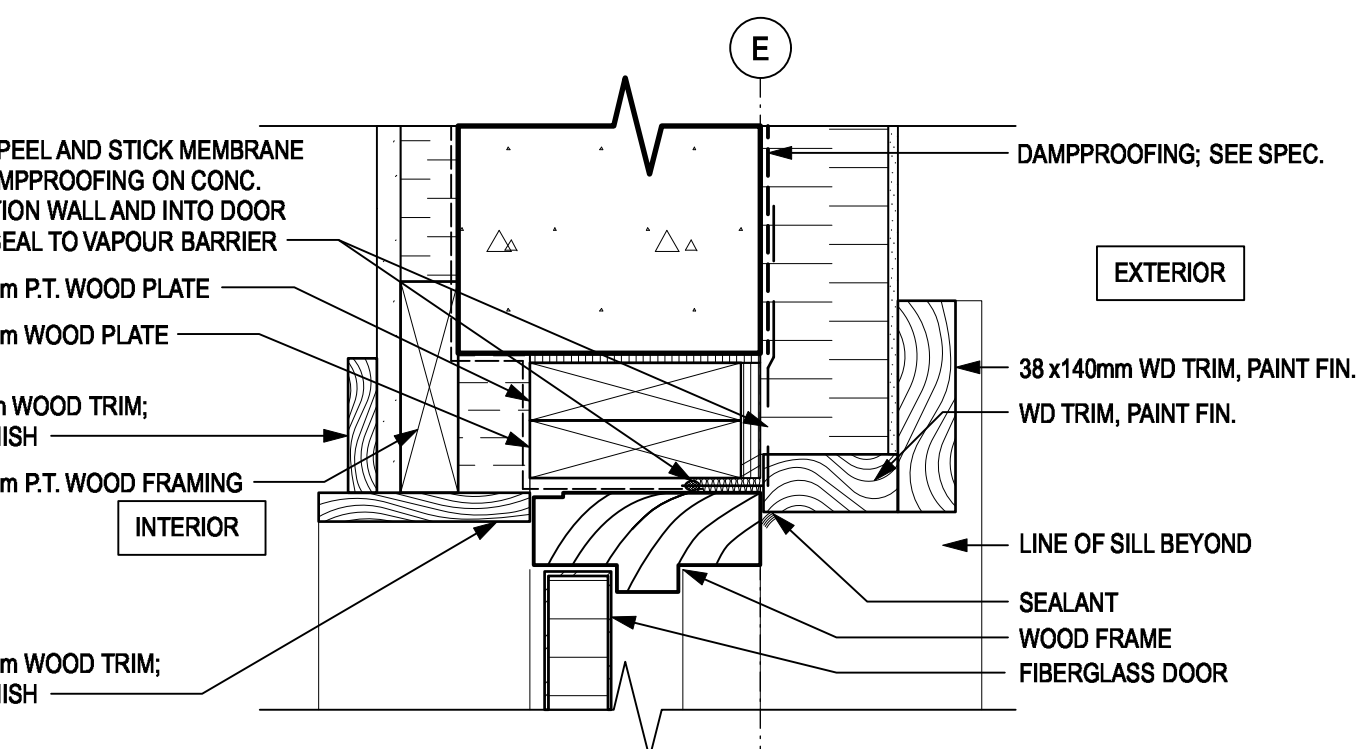
8 SECTION - WINDOW JAMB IN FOUNDATION WALL  
A11 SCALE: 1:5



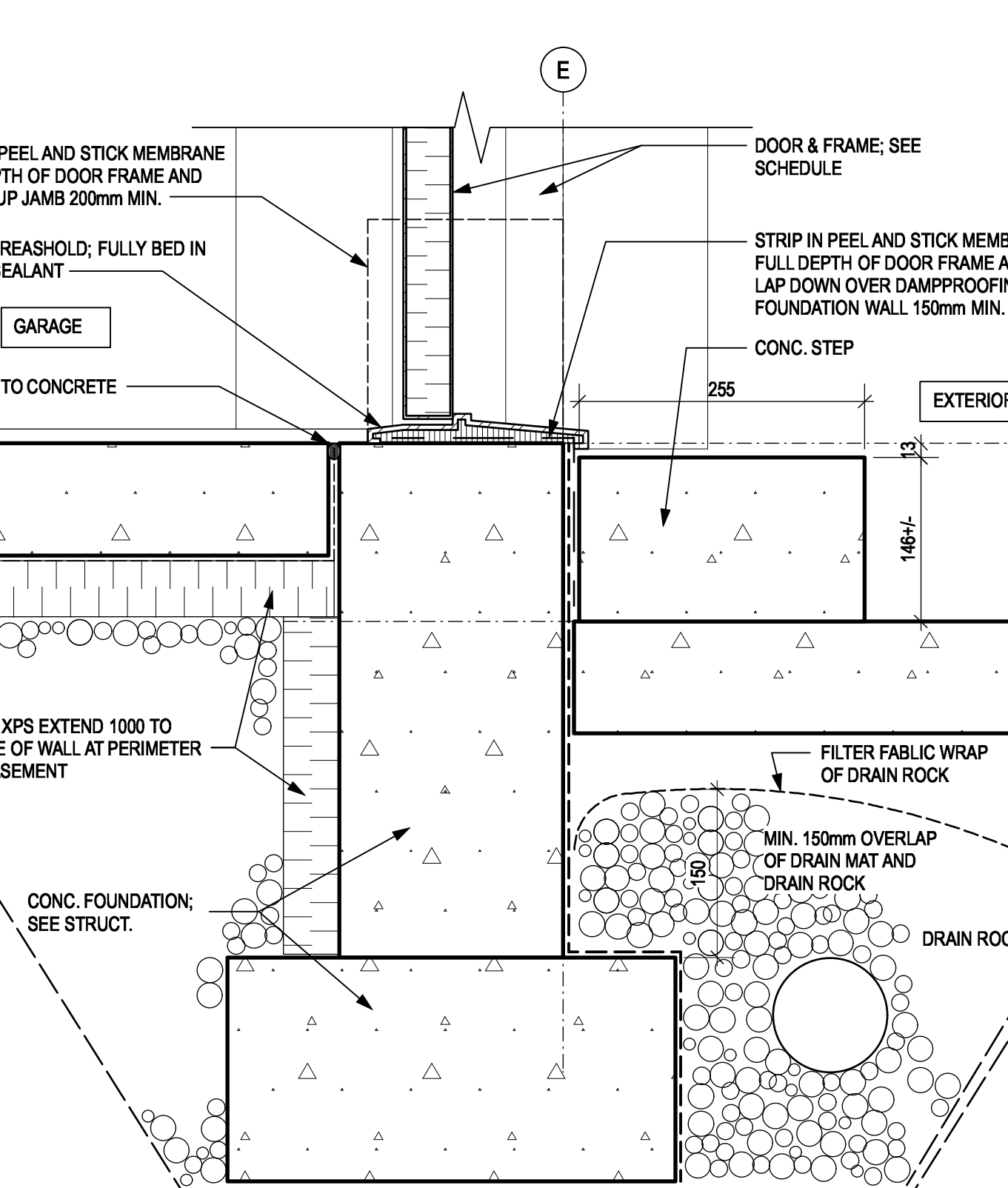
7 SECTION - WINDOW SILL IN FOUNDATION WALL  
A11 SCALE: 1:5



12 SECTION - DOOR HEAD IN FOUNDATION WALL  
A11 SCALE: 1:5



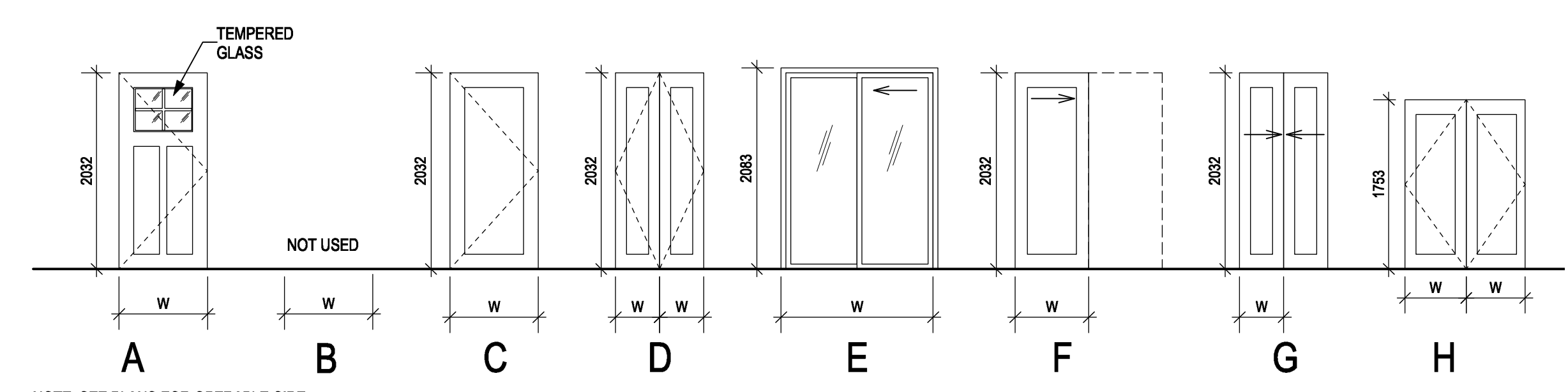
11 SECTION - DOOR JAMB IN FOUNDATION WALL  
A11 SCALE: 1:5



10 SECTION - DOOR SILL AT BASEMENT PATIO  
A11 SCALE: 1:5

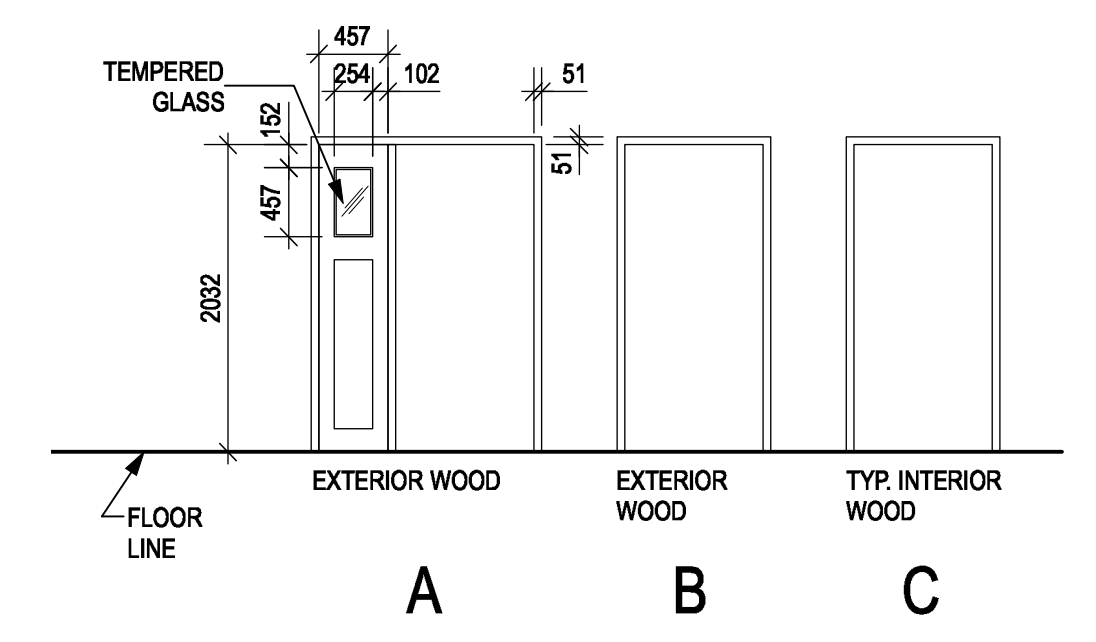


**DOOR TYPES:**



NOTE: SEE PLANS FOR OPERABLE SIDE

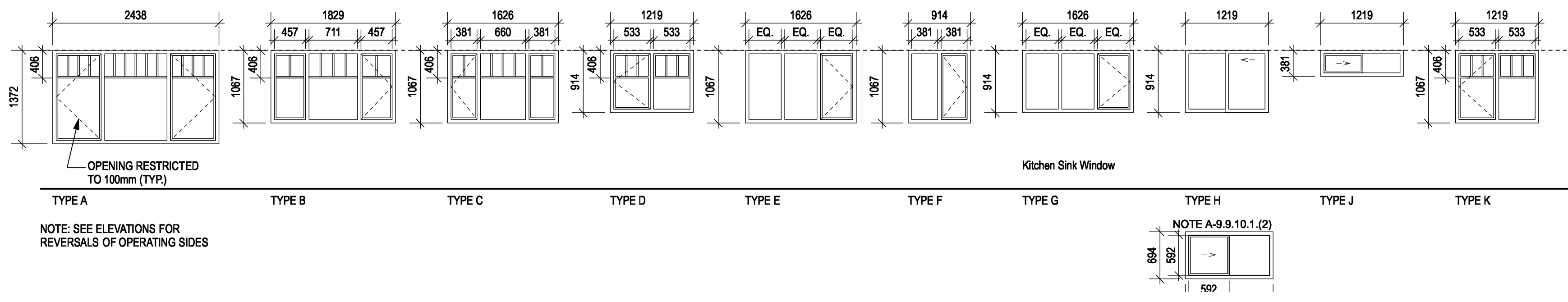
**FRAME TYPES:**



**DOOR SCHEDULE**

NUMBER	SIZE (W x H x THICK)	FROM	TO	F.R.R.	H.W. CODE	TYPE	MATL	CORE	FINISH	GLAZ.	FRAME			REMARKS
											MATL	TYPE	FINISH	
01	914 x 2032 x 45	EXTERIOR	LIVING	---	1	A	FG.	INSUL.	FAC.	T.G. SAFETY	WOOD	A	FG	F.G. = FIBERGLASS. COLOR TO BE SELECTED
02a	2-483 x 2032 x 45	LIVING	CLOSET	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
02b	2-330 x 1753 x 45	HALL	CLOSET	---	13	H	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
03a	782 x 2032 x 45	HALL	BEDROOM	---	9	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
03b	860 x 2032 x 45	BEDROOM	UTILITY	---	11	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
03c	2-940 x 2032 x 45	BEDROOM	CLOSET	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
04	782 x 2032 x 45	HALL	BATH	---	2	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
10a	2743 x 2438 x 45	GARAGE	EXTERIOR	---	8	---	METAL	INSUL.	FAC.		WOOD	---	PAINT	OVERHEAD DOOR; SEE SPEC.; STAIN TO MATCH FRONT DOOR
10b	914 x 2032 x 45	GARAGE	EXTERIOR	---	2	C	FG.	INSUL.	FAC.		WOOD	B	PAINT	F.G. = FIBERGLASS. COLOR TO BE SELECTED
11a	914 x 2032 x 45	EXTERIOR	ENTRY	---	1	A	FG.	INSUL.	FAC.	T.G. SAFETY	WOOD	A	PAINT	F.G. = FIBERGLASS. COLOR TO BE SELECTED
11b	2-534 x 2032 x 45	CLOSET	ENTRY	---	4	D	WOOD	HOLLOW	PAINT	T.G. SAFETY	WOOD	C	PAINT	
11c	2-534 x 2032 x 45	CLOSET	ENTRY	---	4	D	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
12	782 x 2032 x 45	ENTRY	POWDER R.M.	---	10	F	WOOD	SOLID	PAINT		WOOD	C	PAINT	POCKET DOOR
13a	914 x 2032 x 45	LAUNDRY	GARAGE	45	2	C	FG.	INSUL.	FAC.		WOOD	B	PAINT	FULLY WEATHER STRIP QW CLOSER GASKET THRESHOLD; SEE SPEC.
13b	813 x 2032 x 45	DINING	LAUNDRY	---	5	D	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
15	1524 x 2032 x 45	DINING	EXTERIOR	---	6	E	FG.	INSUL.			FG.	---		SLIDING GLASS DOOR. F.G. = FIBERGLASS. COLOR TO BE SELECTED
16	813 x 2032 x 45	DINING	STAIR	---	2	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
21	2-610 x 2032 x 45	LINEN	HALL	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
22a	914 x 2032 x 45	BEDROOM 1	HALL	---	9	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
22b	2-508 x 2032 x 45	CLOSET	BEDROOM 1	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
22c	2-508 x 2032 x 45	CLOSET	BEDROOM 1	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
23a	914 x 2032 x 45	BEDROOM 2	HALL	---	9	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
23b	2-610 x 2032 x 45	CLOSET	BEDROOM 2	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
24a	914 x 2032 x 45	BEDROOM 3	HALL	---	9	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
24b	2-610 x 2032 x 45	CLOSET	BEDROOM 3	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
24c	2-381 x 2032 x 45	CLOSET	BEDROOM 3	---	12	G	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	
26a	914 x 2032 x 45	BATH	HALL	---	2	C	WOOD	SOLID	PAINT		WOOD	C	PAINT	
26b	559 x 2032 x 45	CLOSET	BATH	---	11	C	WOOD	HOLLOW	PAINT		WOOD	C	PAINT	

**WINDOW TYPES:**



NOTE: SEE ELEVATIONS FOR REVERSALS OF OPERATING SIDES

**WINDOW SCHEDULE**

NUMBER	UNIT SIZE (W x H)	TYPE	FRAME	GLAZING	ROOM	REMARKS
01a	1219 x 1067	K	FIBERGLASS	T.G. LOWE E	LIVING	CEASEMENT
01b	1219 x 381	J	FIBERGLASS	T.G. LOWE E	LIVING	SLIDER
02	1829 x 1067	B	FIBERGLASS	T.G. LOWE E	KITCH/DINING	CEASEMENT
03	1219 x 914	H	FIBERGLASS	T.G. LOWE E	BEDROOM	SLIDER, EGRESS WINDOW
14	1626 x 914	G	FIBERGLASS	T.G. LOWE E	KITCHEN	CEASEMENT, ROTO CRANK OPERATOR
16	2438 x 1372	A	FIBERGLASS	T.G. LOWE E	LIVING	CEASEMENT, 100mm OPENING RESTRICTOR
22	1626 x 1067	C	FIBERGLASS	T.G. LOWE E	BEDROOM 1	CEASEMENT
23a	914 x 1067	F	FIBERGLASS	T.G. LOWE E	BEDROOM 2	CEASEMENT
23b	1626 x 1067	E	FIBERGLASS	T.G. LOWE E	BEDROOM 2	CEASEMENT
24	1626 x 1067	E	FIBERGLASS	T.G. LOWE E	BEDROOM 3	CEASEMENT
26	1219 x 914	D	FIBERGLASS	T.G. LOWE E	BATH	CEASEMENT



**FINISH SCHEDULE**

NUMBER	ROOM NAME	FLOOR		CEILING		WEST WALL			NORTH WALL			EAST WALL			SOUTH WALL			REMARKS
		FINISH	COLOUR	MATERIAL	FINISH	MATERIAL	FINISH	COLOUR	MATERIAL	FINISH	COLOUR	MATERIAL	FINISH	COLOUR	MATERIAL	FINISH	COLOUR	
01	LIVING	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
02	KITCH/DINING	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
03	BEDROOM	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
04	BATHROOM	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
05	UTILITY	SHEET VINYL		WOOD BASE	GWB	PAINT	CONC.	PAINT	CONC.	PAINT	CONC.	PAINT	CONC.	PAINT	CONC.	PAINT	PAINTED CONC. FLOOR	
10	GARAGE	CONC.		WOOD BASE	GWB	PAINT	CONC.	PAINT	CONC.	PAINT	CONC.	PAINT	CONC.	PAINT	CONC.	PAINT	SEALED CONC. FLOOR	
11	ENTRY	SHEET VINYL		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
12	POWDER R.M.	SHEET VINYL		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
13	LAUNDRY	VINYL PLANK	TBD	WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	TBD	
14	KITCHEN	SHEET VINYL		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
15	DINING	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
16	LIVING	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
21	HALL	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
22	BEDROOM 1	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
23	BEDROOM 2	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
24	BEDROOM 3	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
25	LINEN	VINYL PLANK		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		
26	BATH	SHEET VINYL		WOOD BASE	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT	GWB	PAINT		

Revision/Revision	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 98% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03

Client/Client

**Public Services and Procurement Canada (PSPC)**  
VANCOUVER, BC  
800 BURRARD ST.

Project title/Titre du projet

**New Residence, New Aiyansh, BC**

Consultant Signature Box Only

Designed by/Conçue par  
**BC**

Drawn by/Dessiné par  
**SJ**

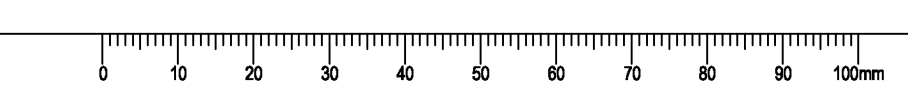
PWGSC Project Manager/Administrateur du Projet TPSGC  
**PHILIP FUNG**

PWGSC Regional Manager/Architectural and Engineering Services/ Gestionnaire Régionale, Services d'architectural et de génie, TPSGC  
**PREETIPAL PAUL**

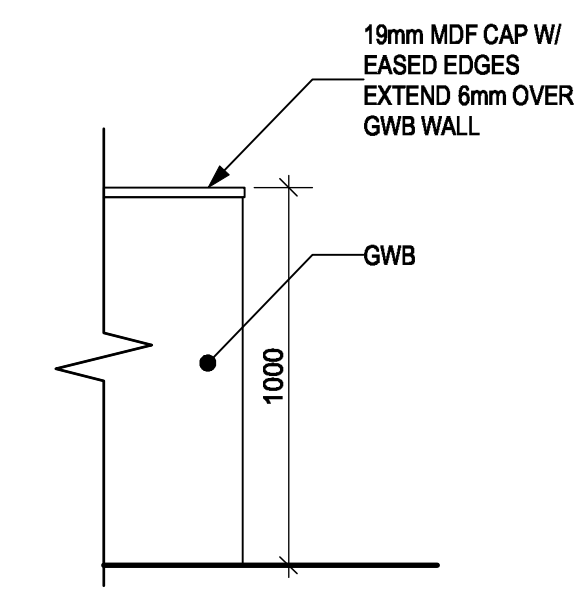
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**SCHEDULES**

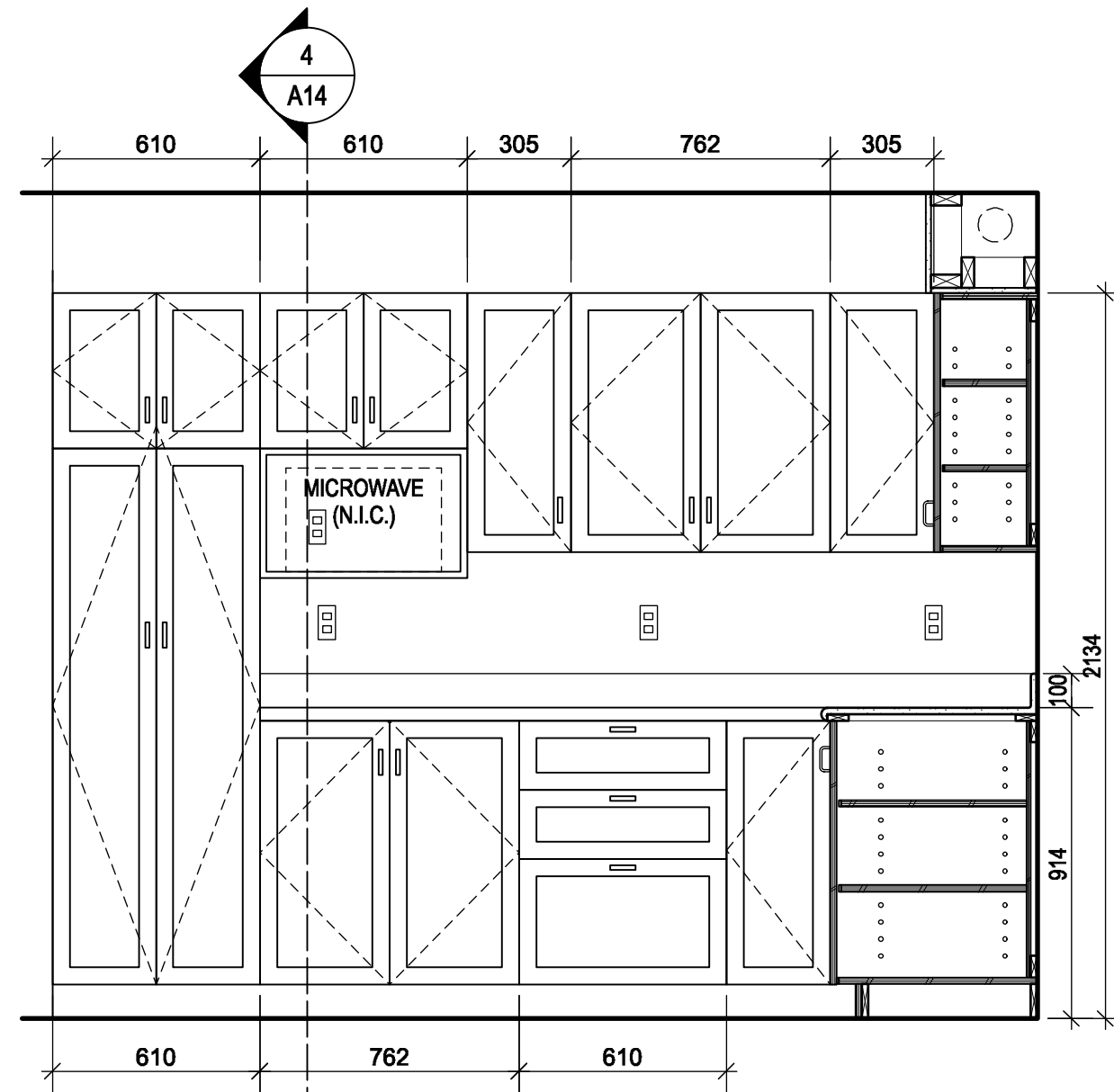
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<b>R.112456.001</b>	<b>A12</b>	<b>3</b>



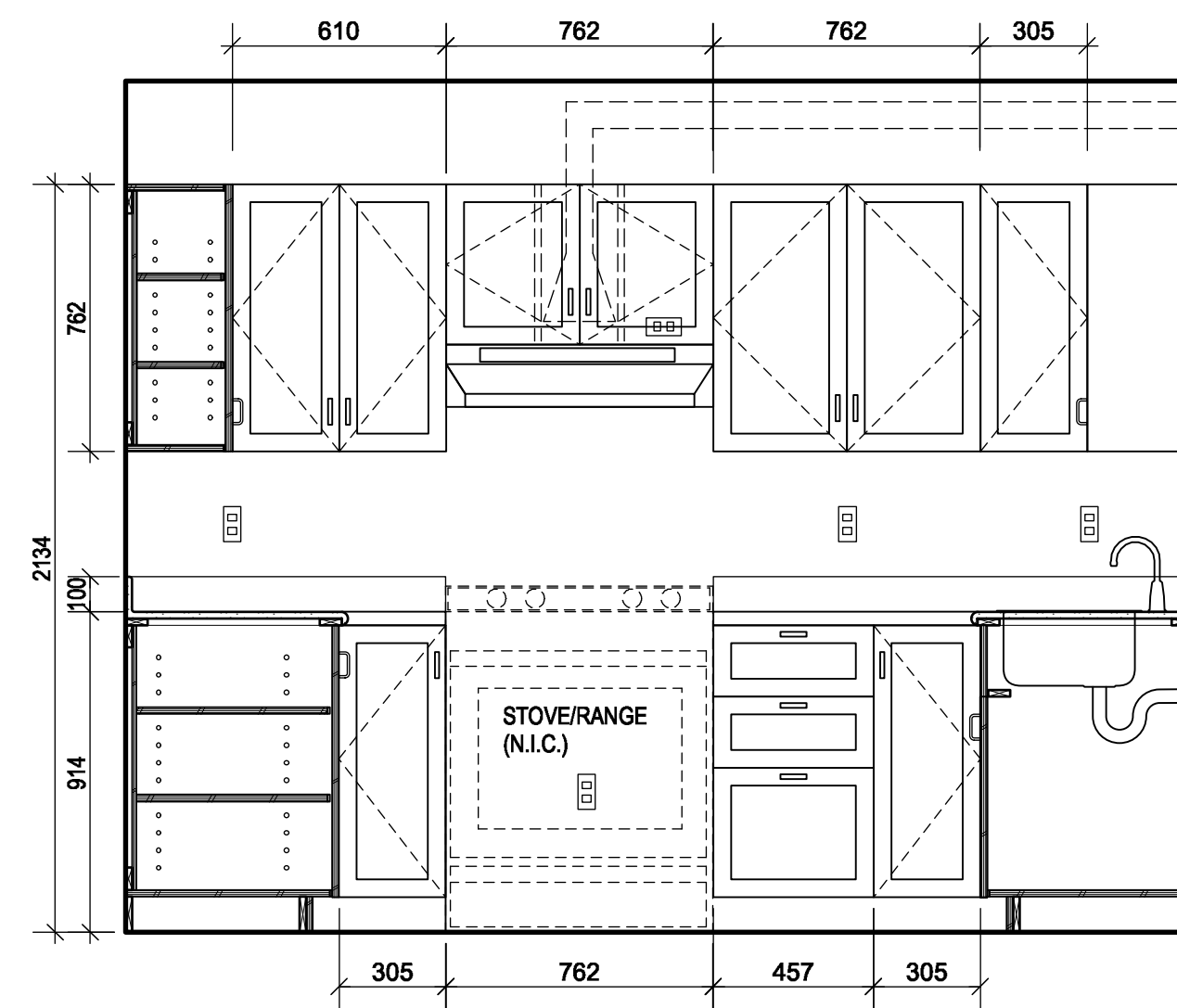




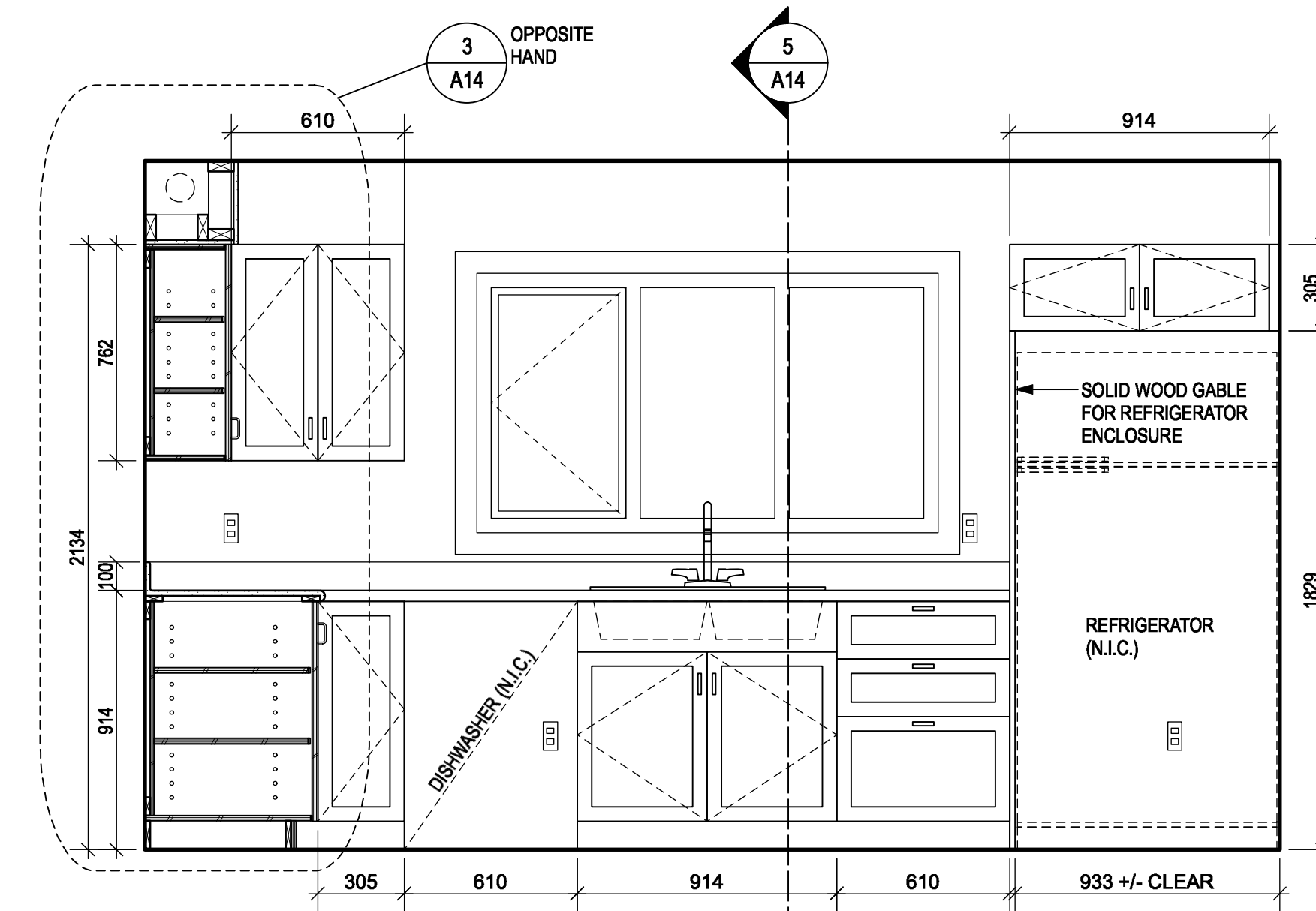
7 STAIR GUARD  
A13 SCALE: 1:20



3 MAIN FLOOR KITCHEN EAST WALL

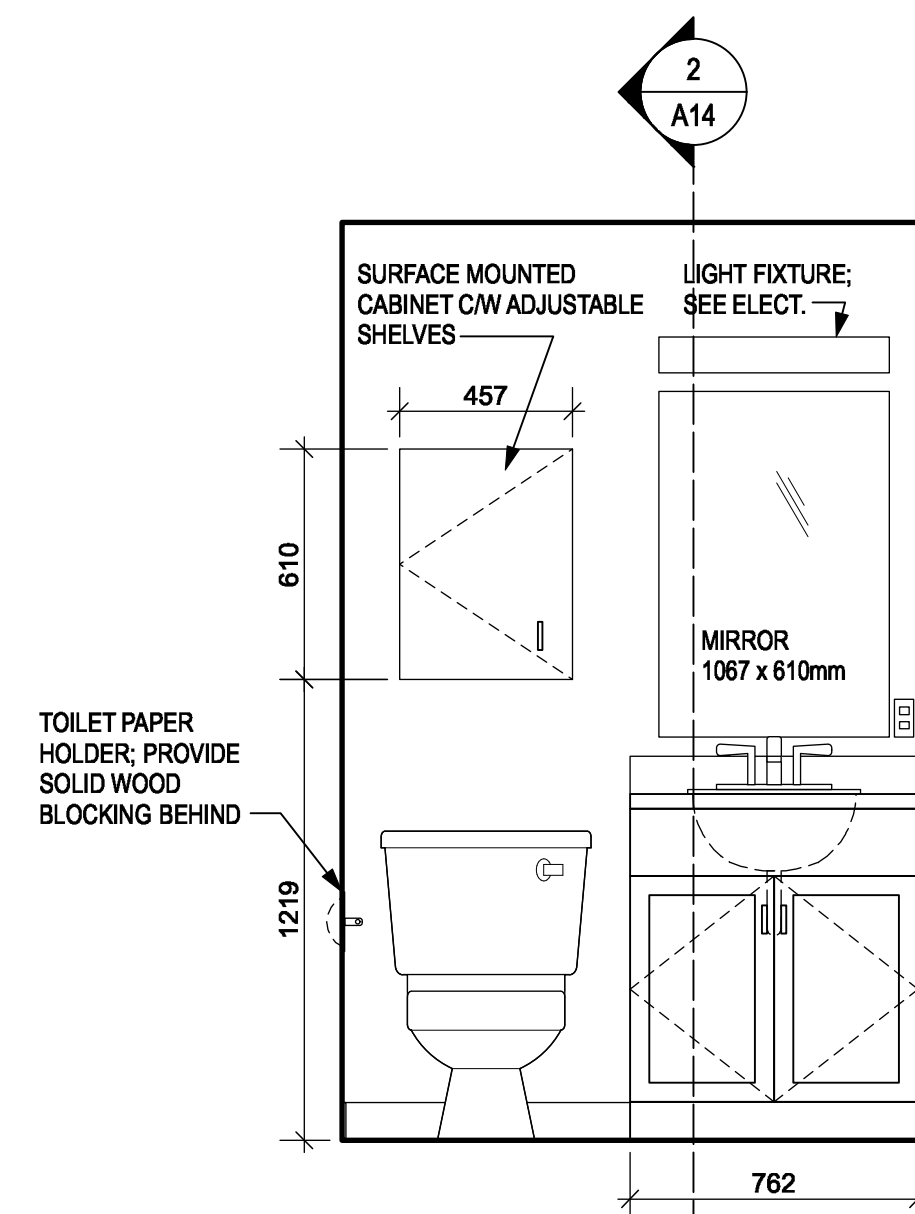


2 MAIN FLOOR KITCHEN NORTH WALL

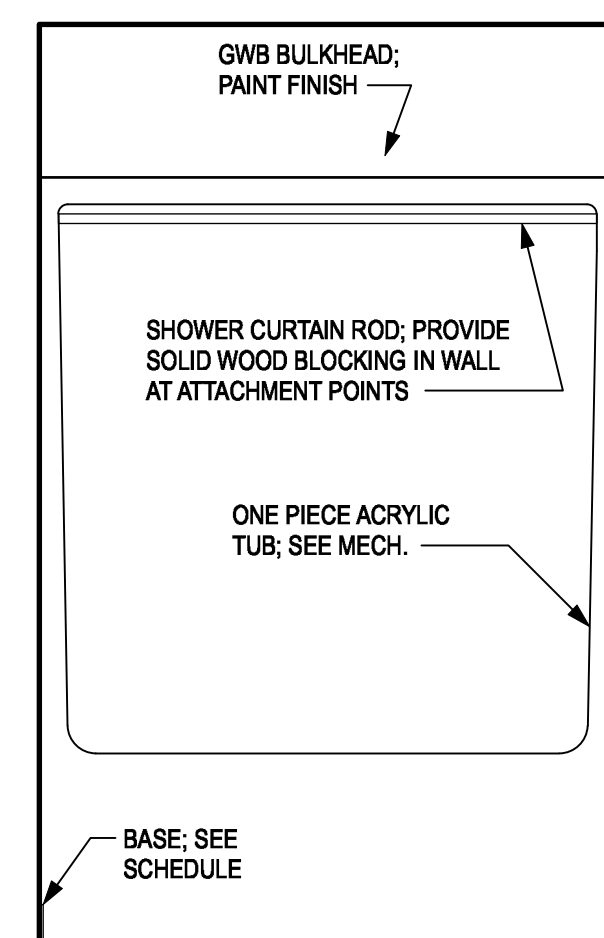


1 MAIN FLOOR KITCHEN EAST WALL

6 MAIN FLOOR KITCHEN ELEVATIONS  
A13 SCALE: 1:20

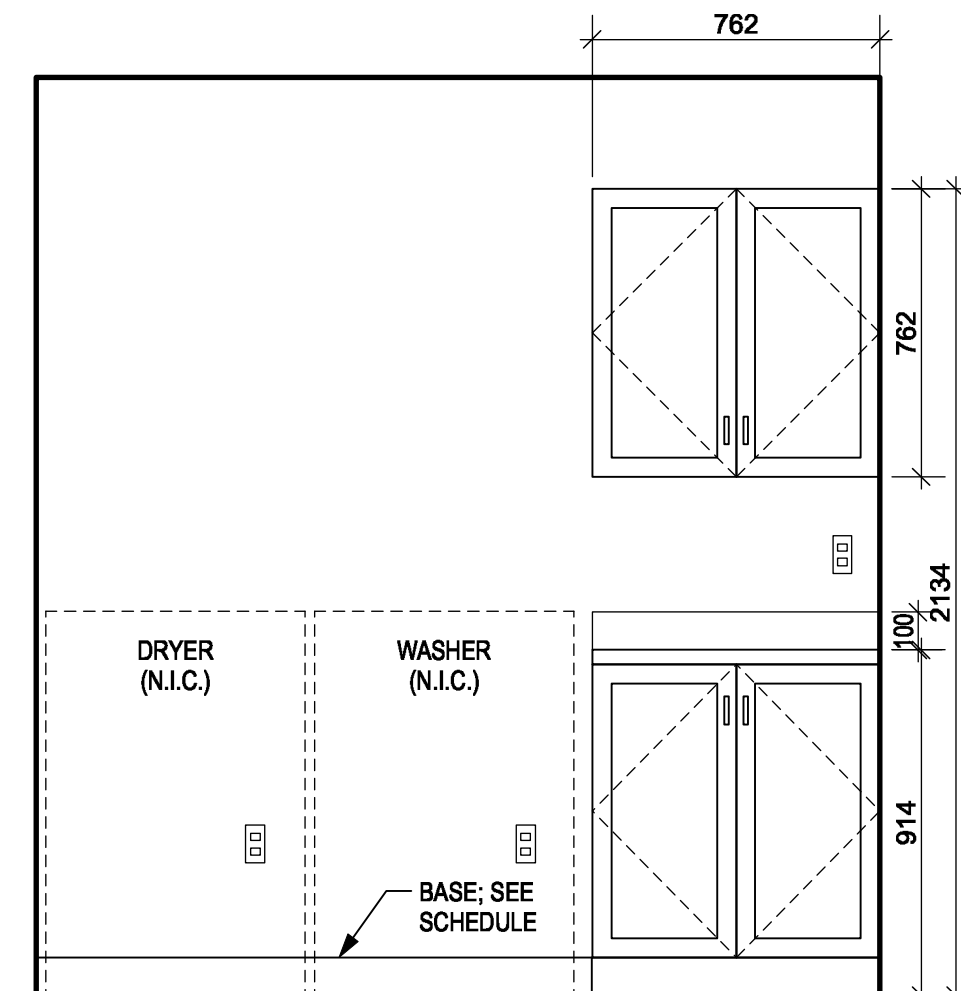


2 MAIN BATHROOM SOUTH WALL



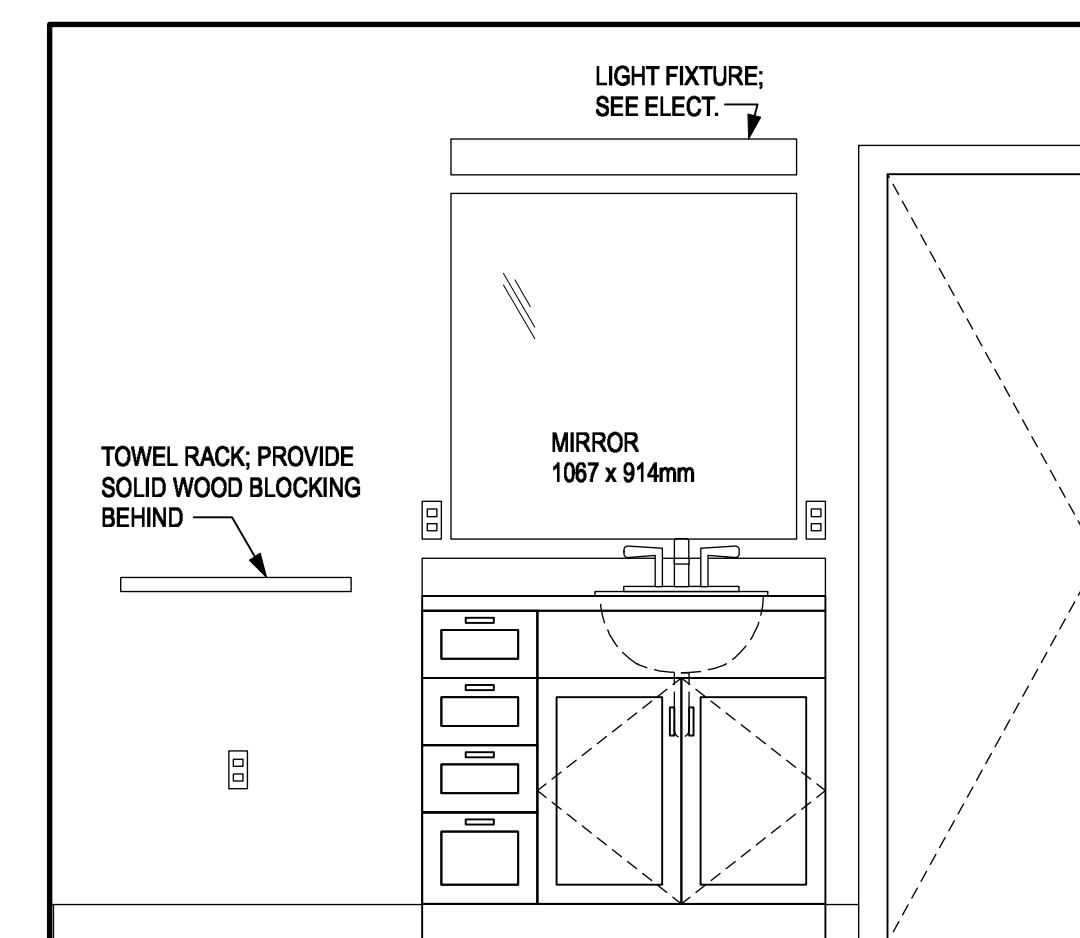
1 MAIN BATHROOM NORTH WALL

5 MAIN BATHROOM ELEVATIONS  
A13 SCALE: 1:20

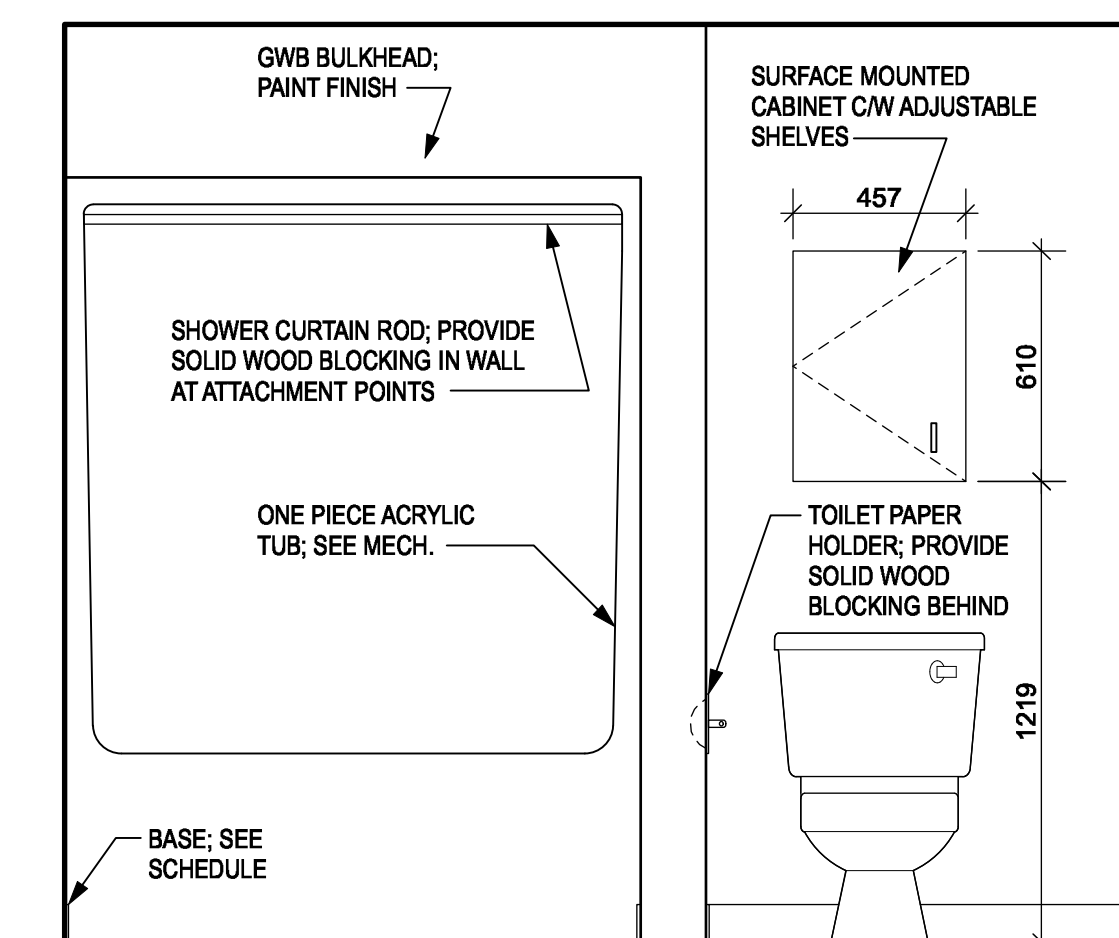


1 LAUNDRY ROOM WEST WALL

4 LAUNDRY ROOM ELEVATIONS  
A13 SCALE: 1:20

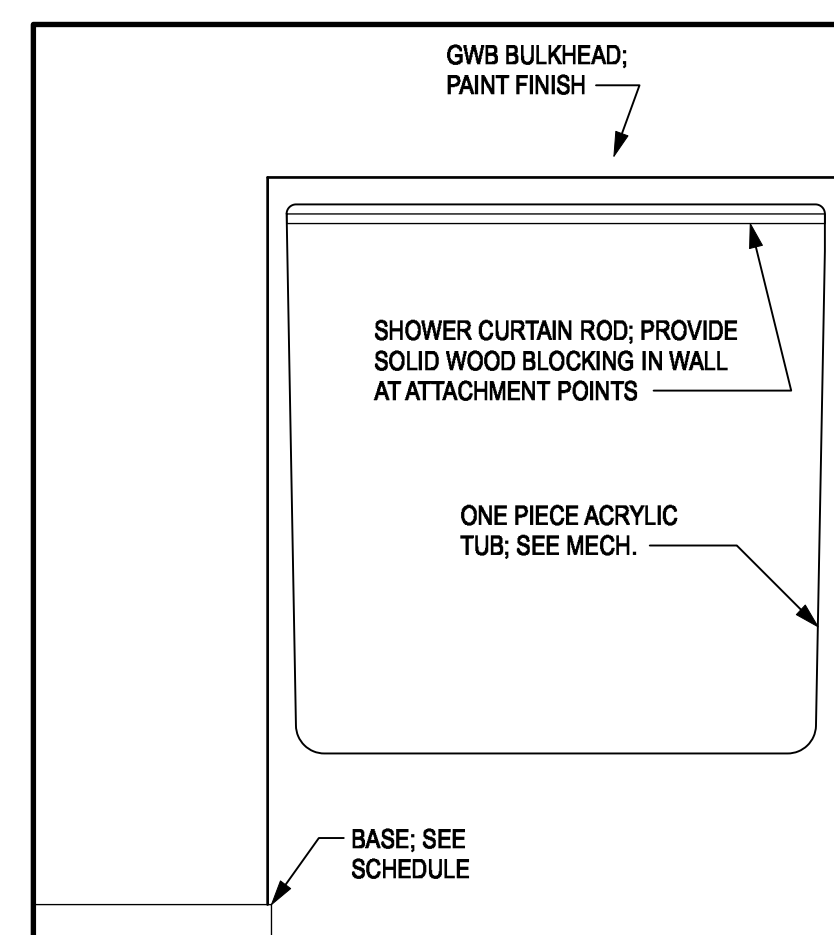


2 UPPER BATHROOM SOUTH WALL

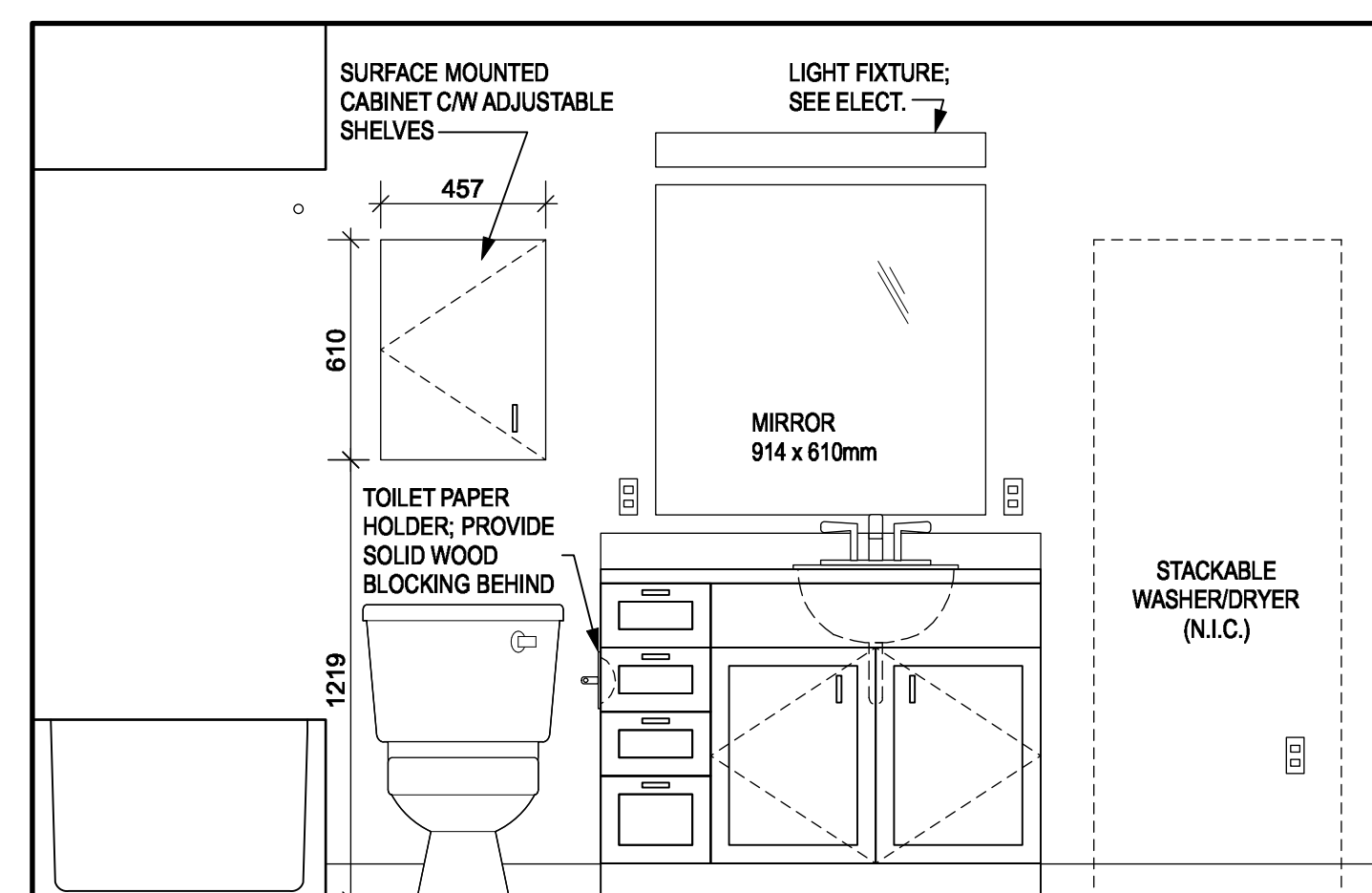


1 UPPER BATHROOM NORTH WALL

3 UPPER BATHROOM ELEVATIONS  
A13 SCALE: 1:20

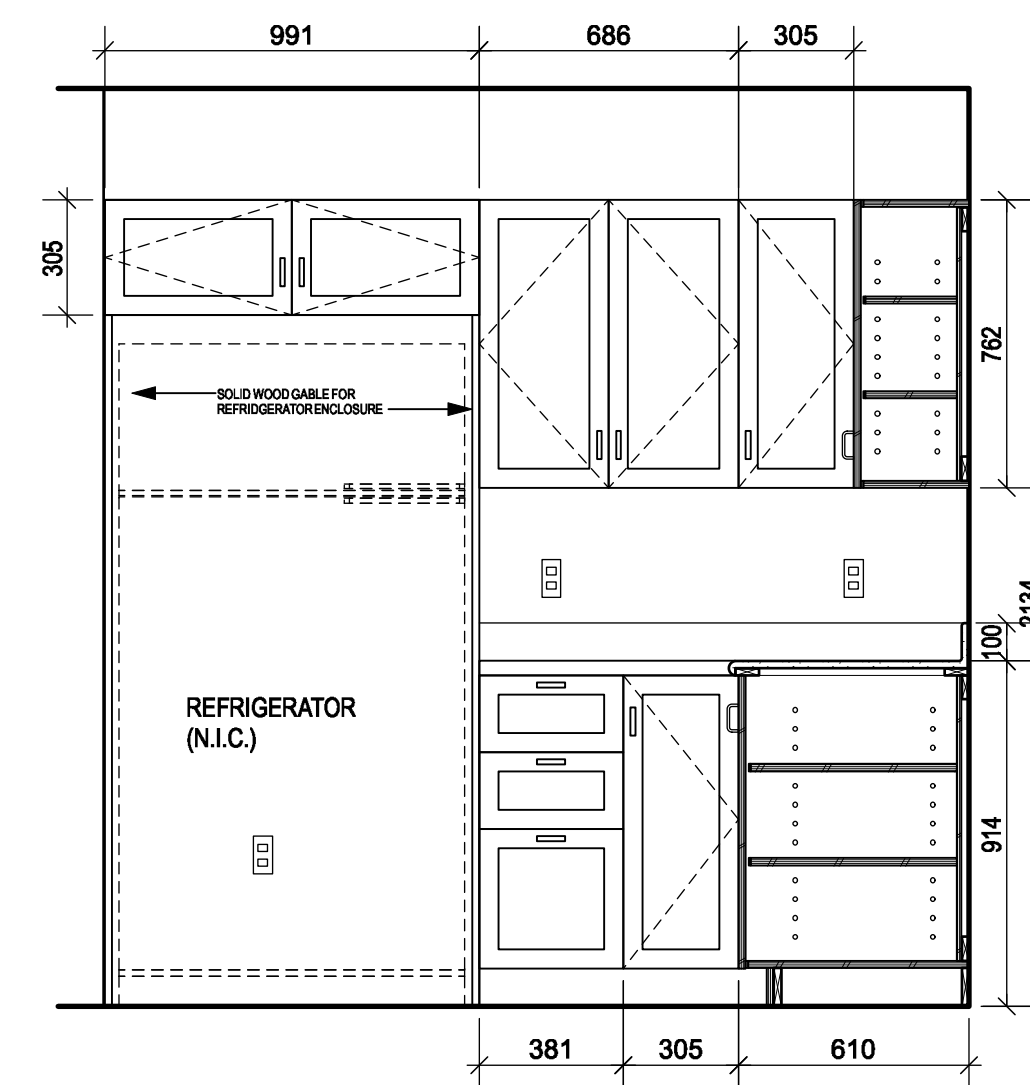


2 BASEMENT BATHROOM WEST WALL

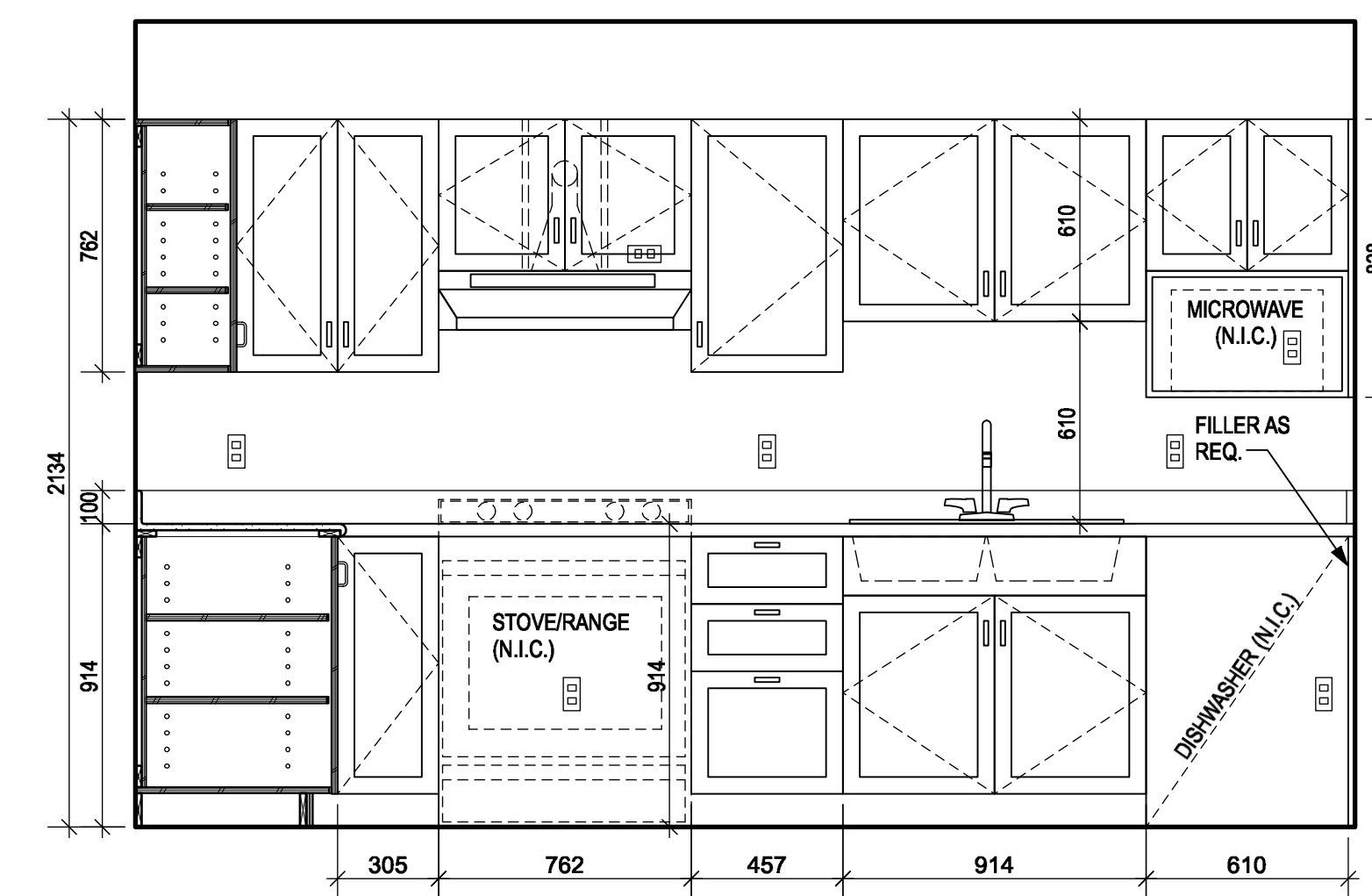


1 BASEMENT BATHROOM NORTH WALL

2 BASEMENT BATHROOM ELEVATIONS  
A13 SCALE: 1:20



2 BASEMENT KITCHEN NORTH WALL



1 BASEMENT KITCHEN EAST WALL

1 BASEMENT KITCHEN ELEVATIONS  
A13 SCALE: 1:20



Revision/Revision	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 98% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03

Client/Client  
**Public Services and Procurement Canada (PSPC)**  
VANCOUVER, BC  
800 BARRARD ST.

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

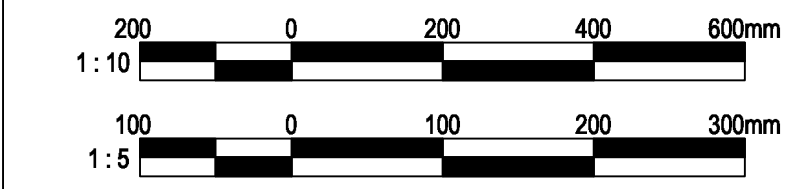
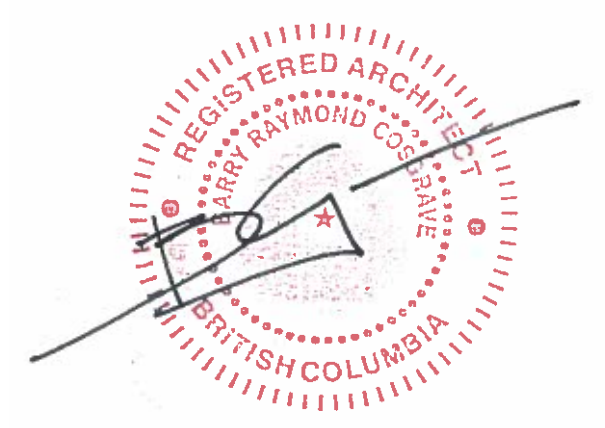
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Designed by/Concept par: BC  
Drawn by/Dessiné par: SJ  
PWGSC Project Manager/Administrateur de Projets: TPSSC  
PHILIP FUNG  
PWGSC Regional Manager/Architectural and Engineering Services/ Gestionnaire Régionale, Services d'architecture et de génie, TPSSC: PREETIPAL PAUL  
Drawing title/Titre du dessin

**INTERIOR ELEVATIONS**

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
R.112456.001	A13	3







Revision/	Description	Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 98% REVIEW	2021-05-03

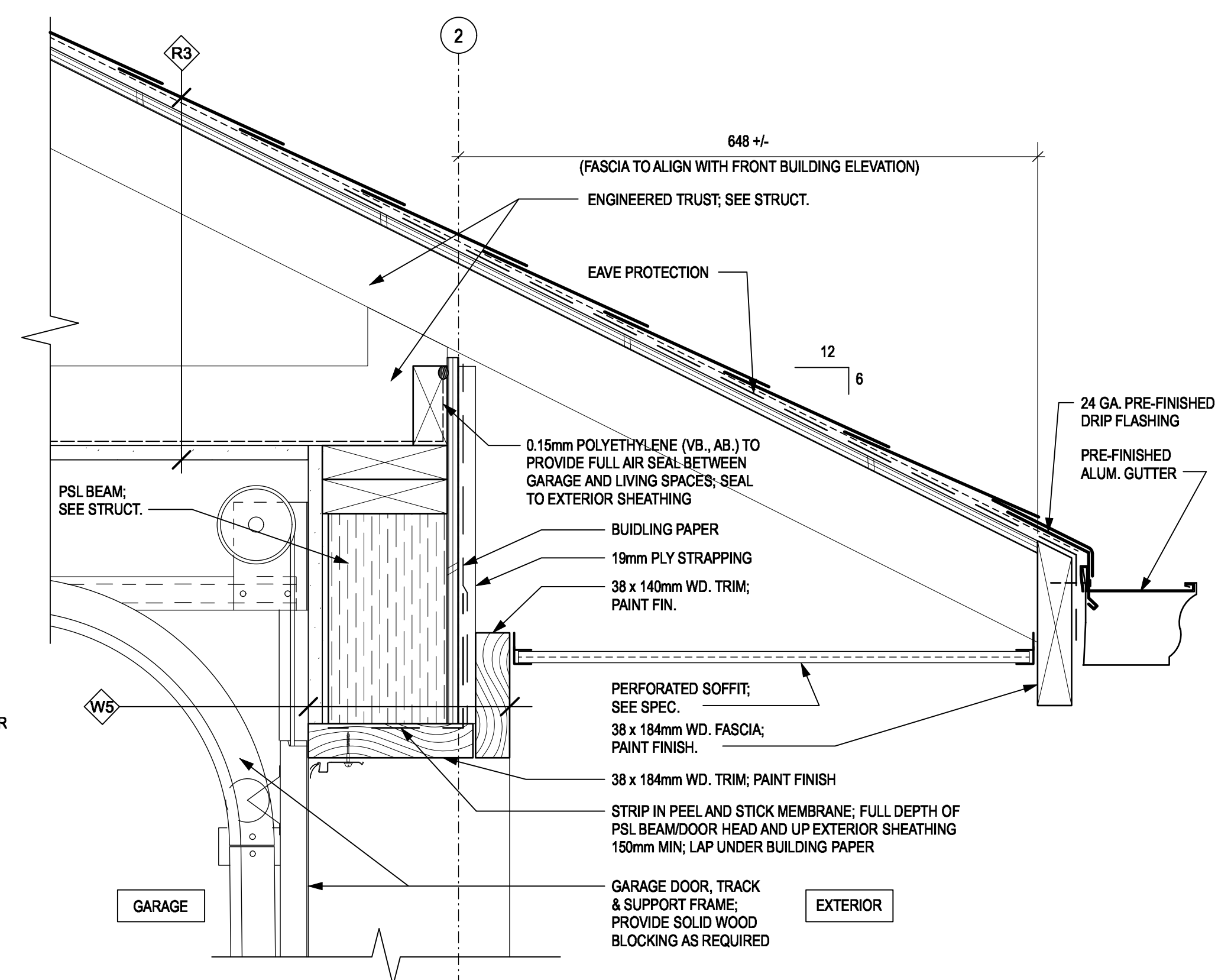
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**VANCOUVER, BC**  
**800 BURRARD ST.**

Project title/Titre du projet: **New Residence, New Aiyansh, BC**

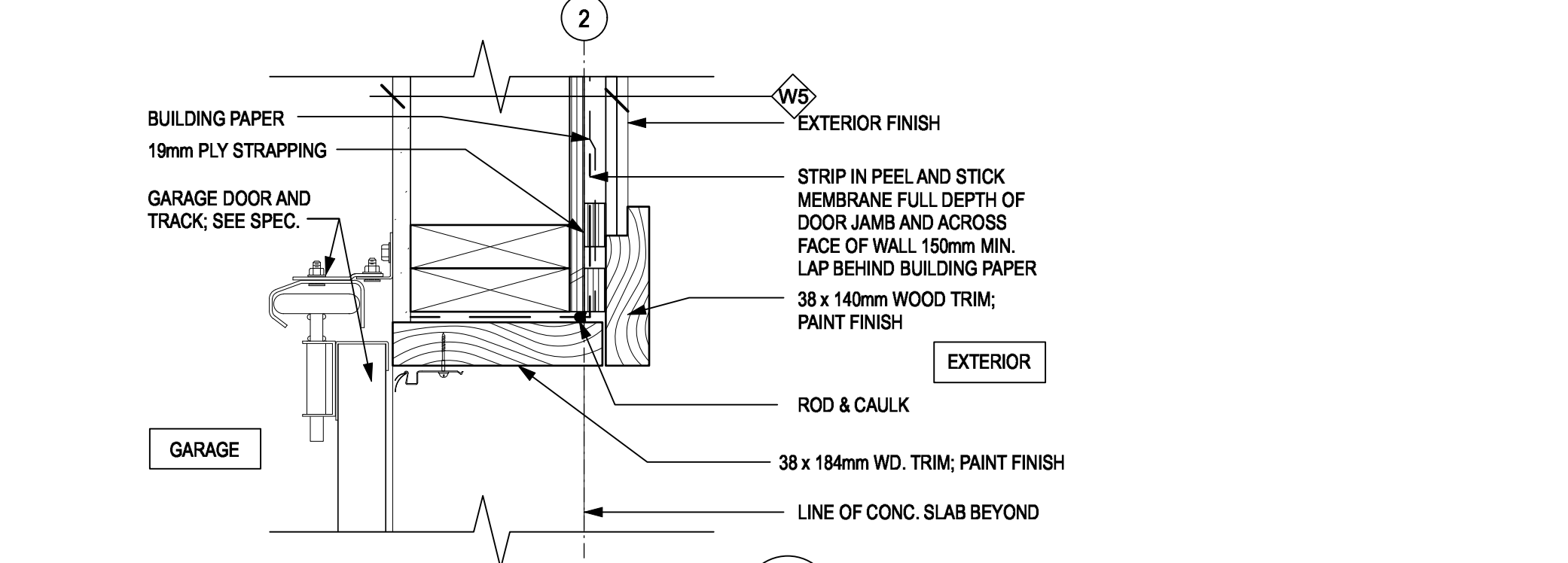
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Designed by/Concept par: **BC**  
Drawn by/Dessiné par: **SJ**  
PWGSC Project Manager/Administrateur de Projets: **PHILIP FUNG**  
PWGSC Regional Manager/Architectural and Engineering Services/ Gérant régional, Services d'architecture et de génie, TPSGC: **PREETIPAL PAUL**  
Drawing title/Titre du dessin:

**DETAILS**

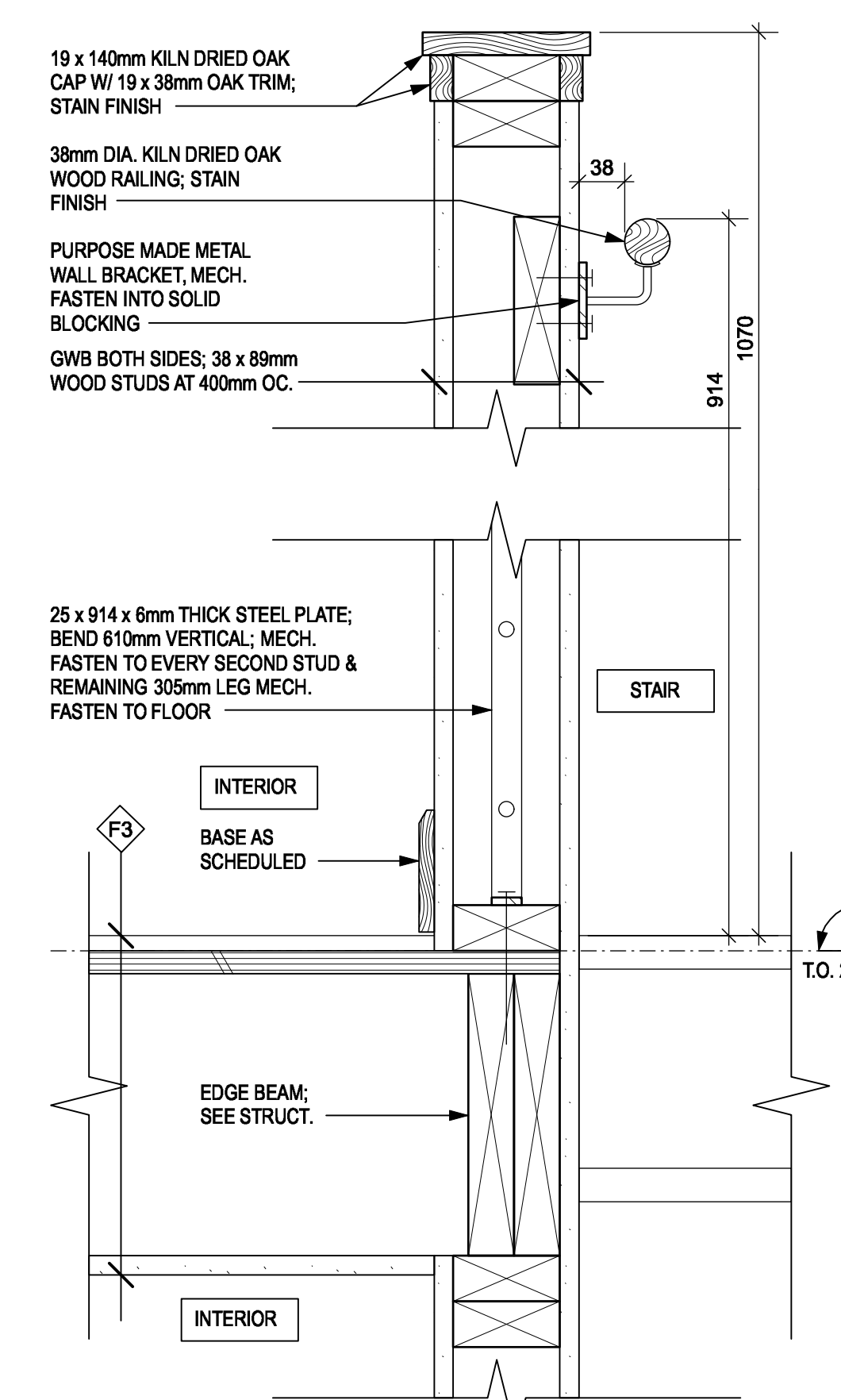
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<b>R.112456.001</b>	<b>A14</b>	<b>3</b>



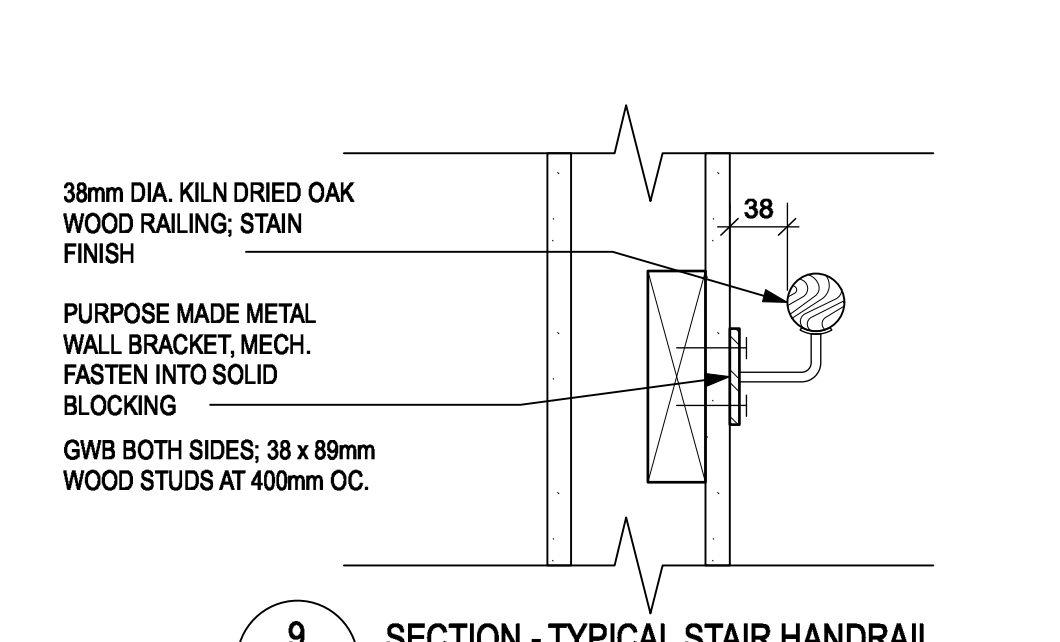
**8 SECTION - GARAGE DOOR HEAD**  
A14 SCALE: 1:5



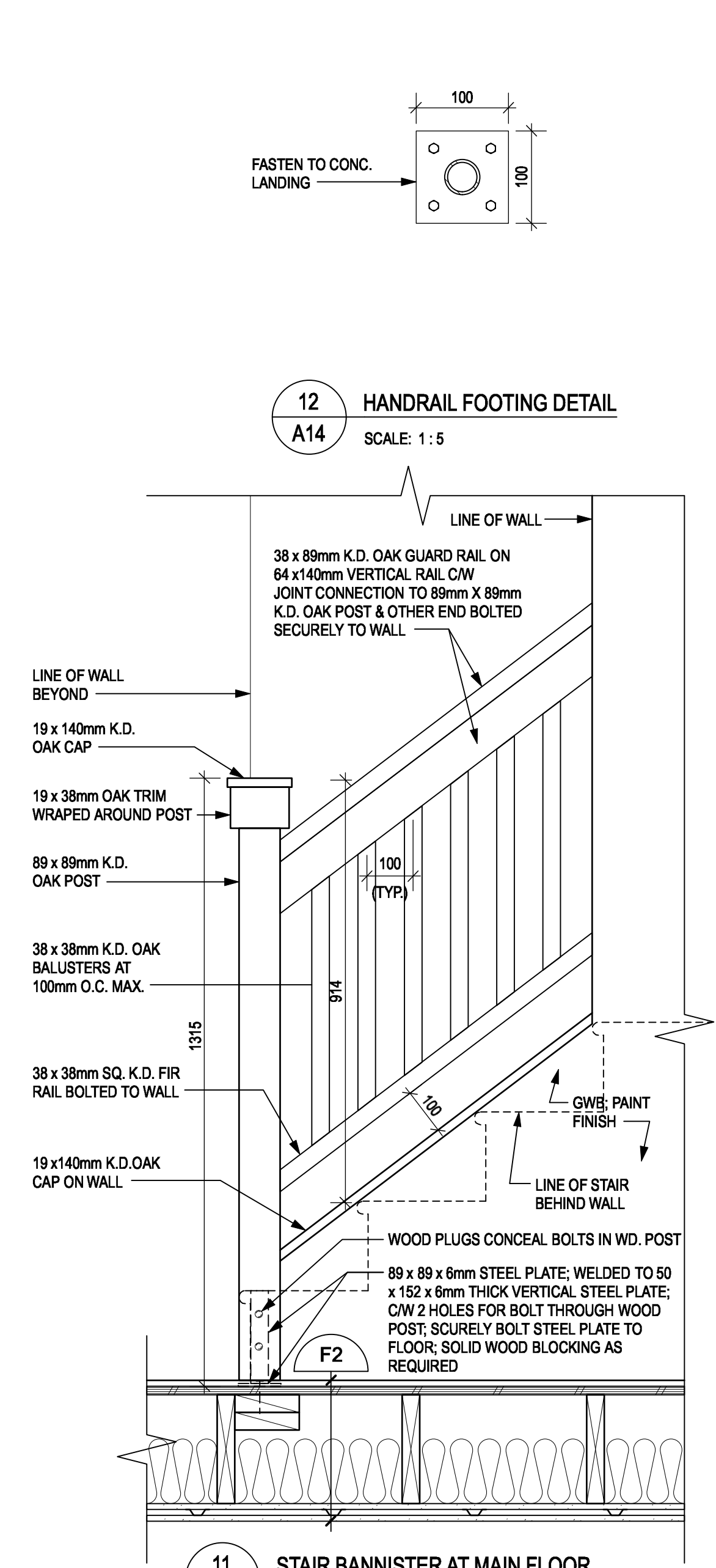
**7 SECTION - GARAGE DOOR JAMB**  
A14 SCALE: 1:5



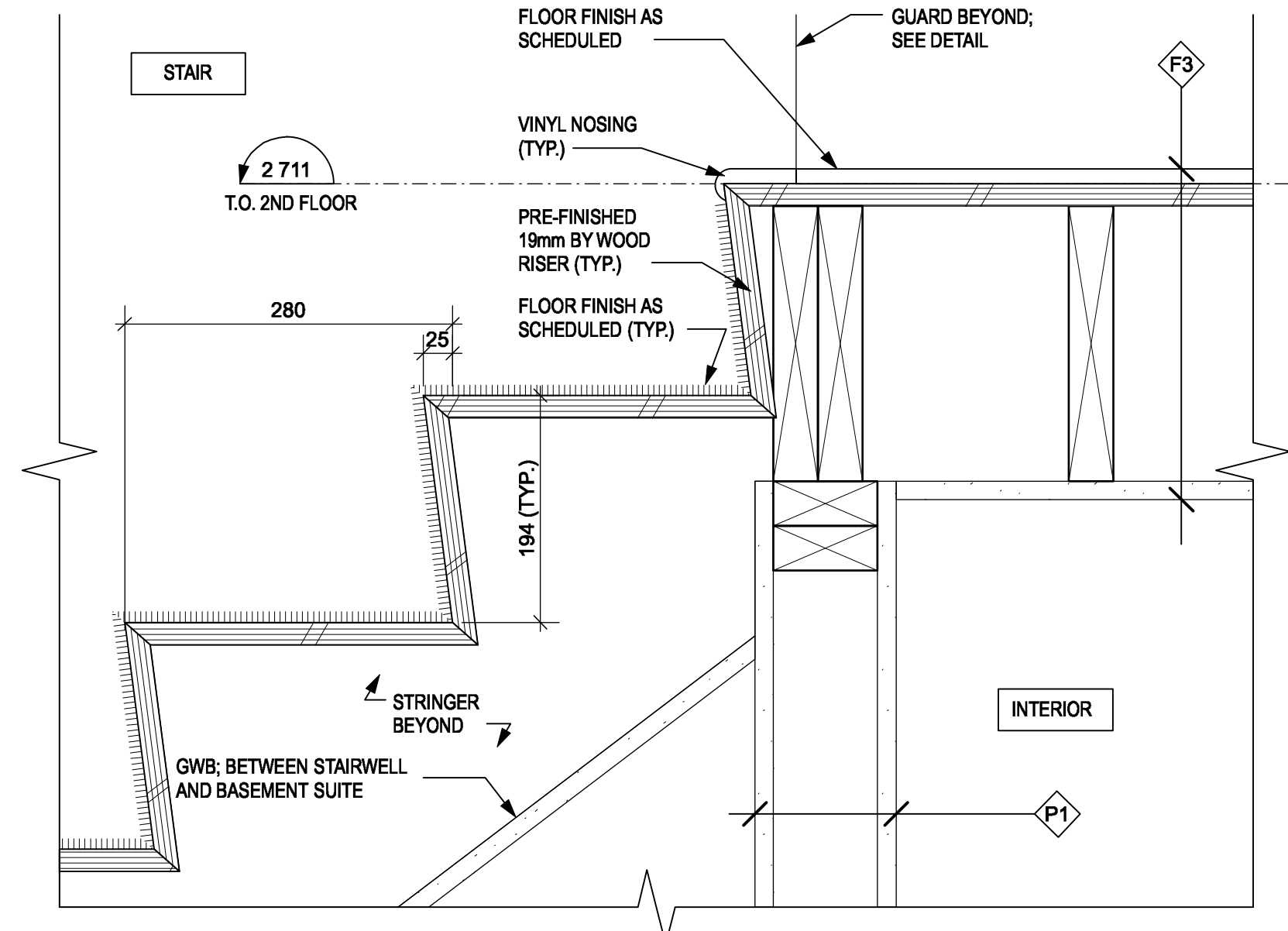
**10 SECTION - PONY WALL AT TOP OF STAIRS**  
A14 SCALE: 1:5



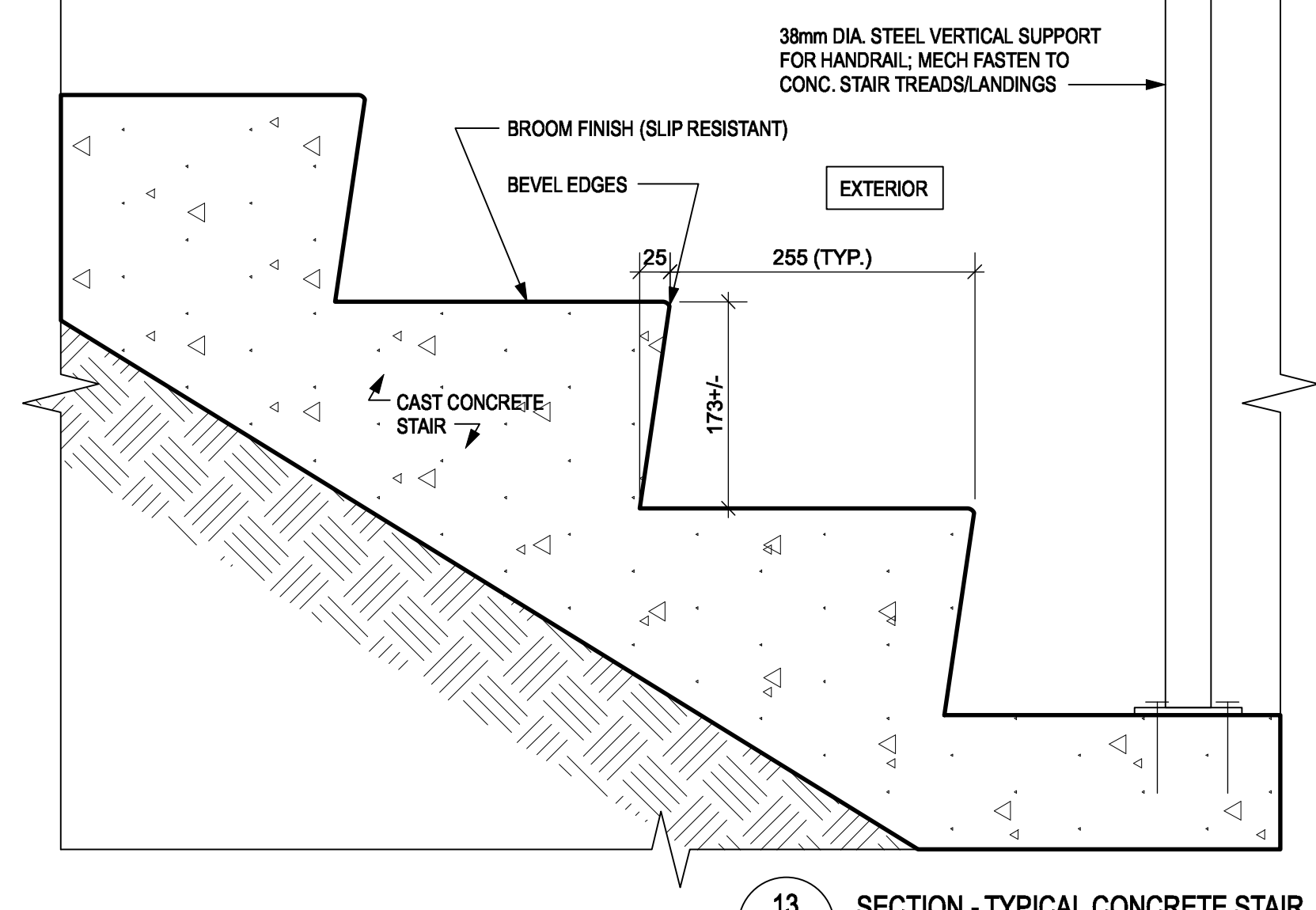
**9 SECTION - TYPICAL STAIR HANDRAIL**  
A14 SCALE: 1:5



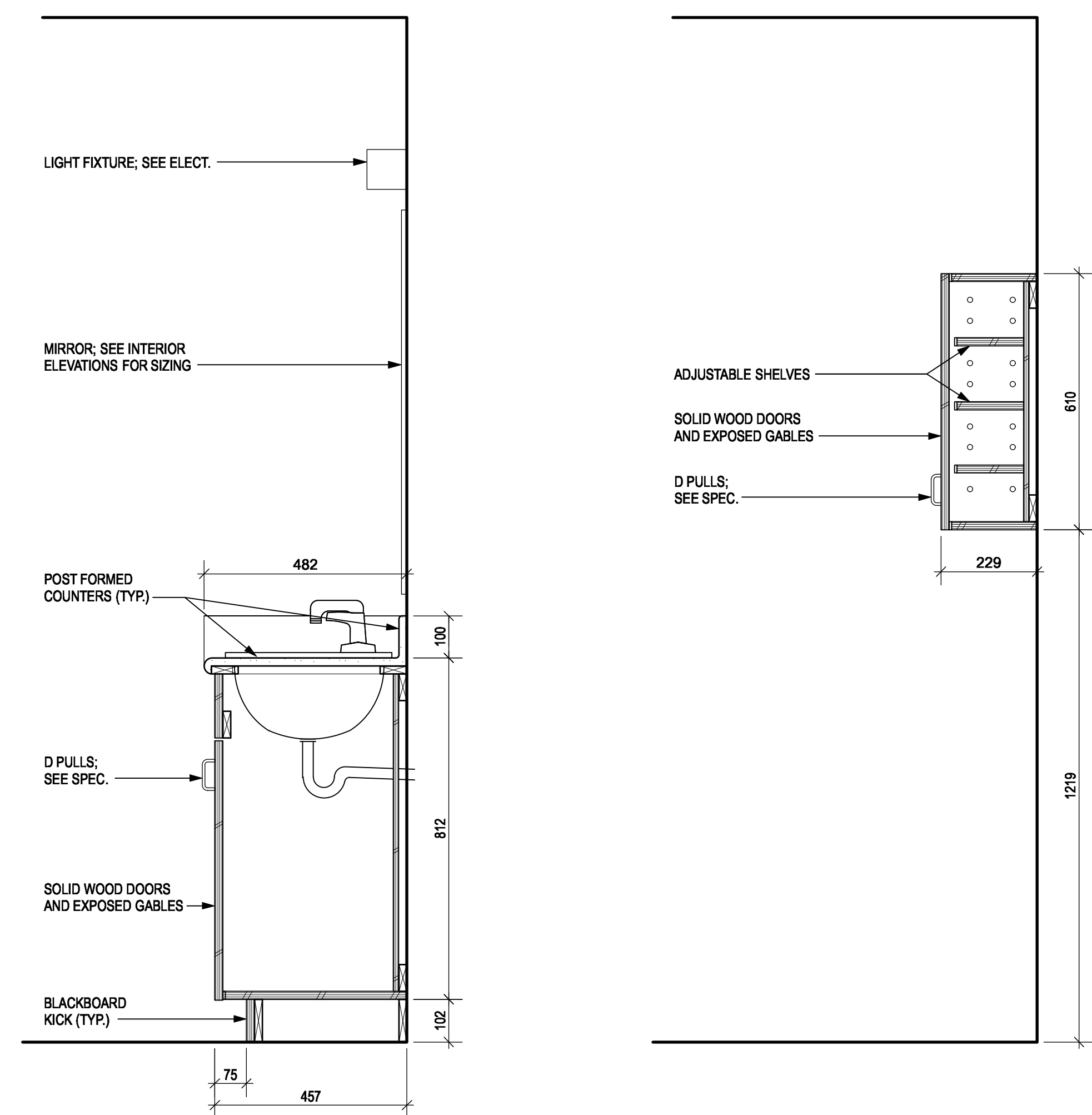
**11 STAIR BANNISTER AT MAIN FLOOR**  
A14 SCALE: 1:10



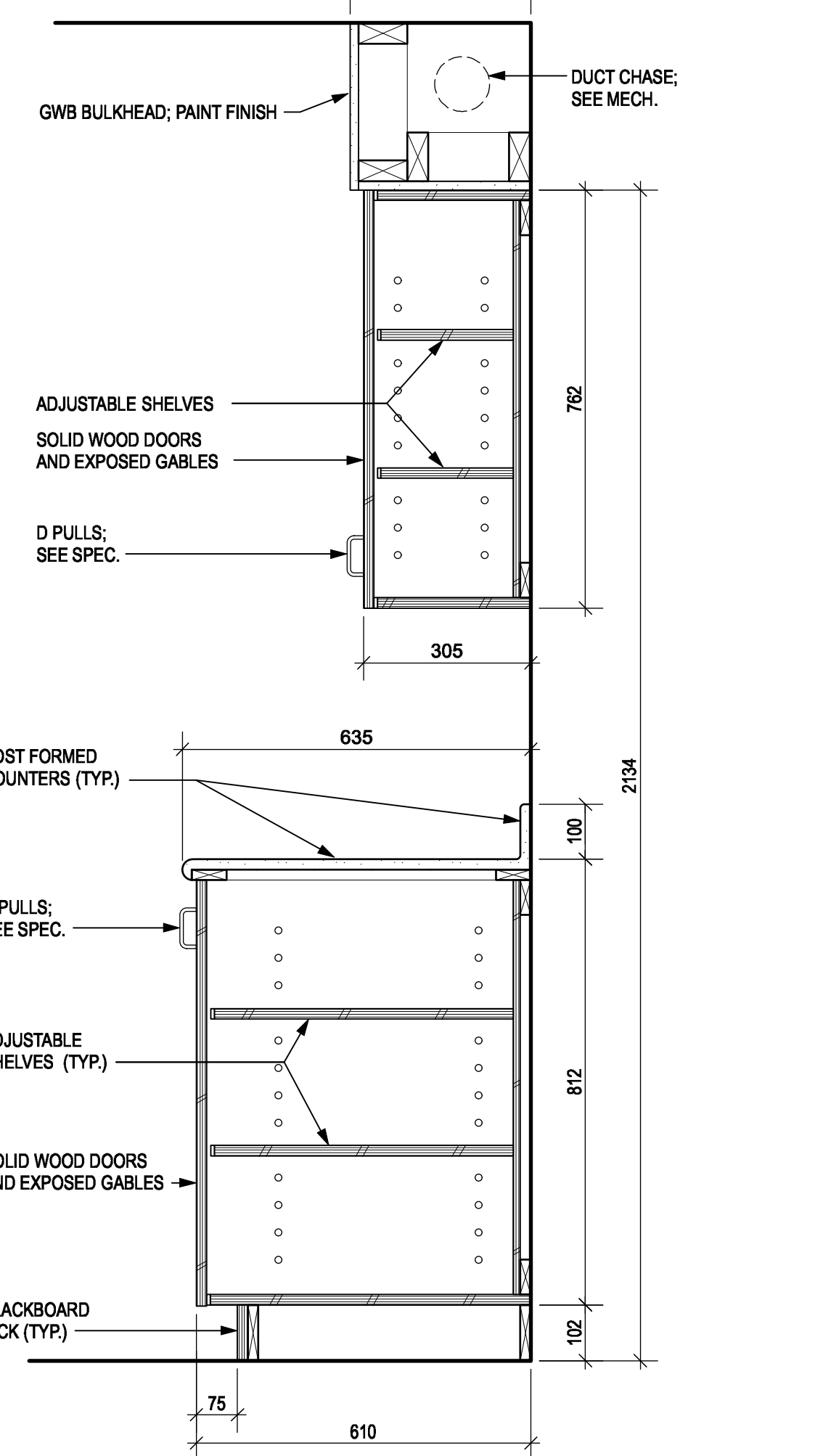
**14 SECTION - TYPICAL INTERIOR STAIR**  
A14 SCALE: 1:5



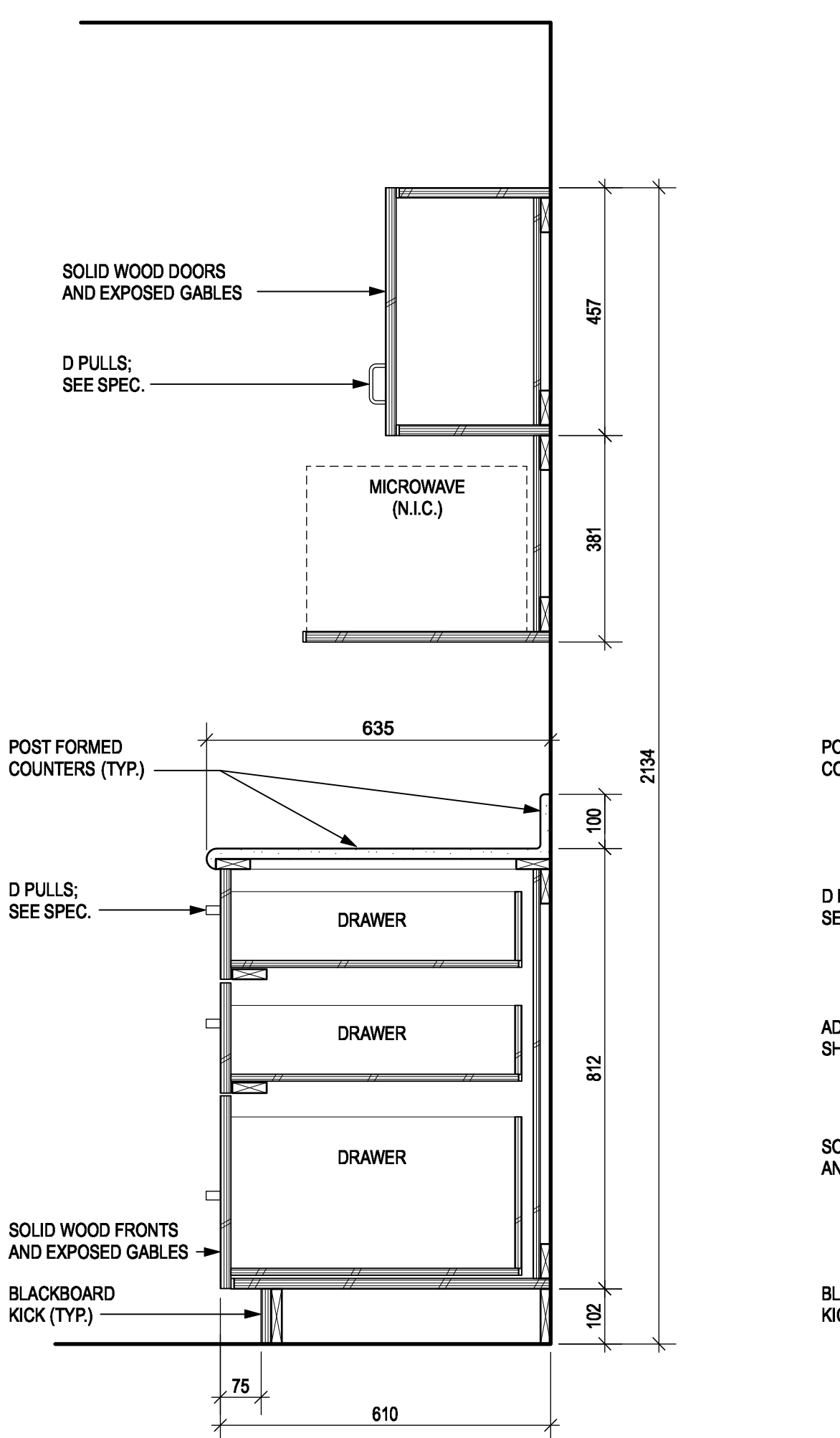
**13 SECTION - TYPICAL CONCRETE STAIR**  
A14 SCALE: 1:5



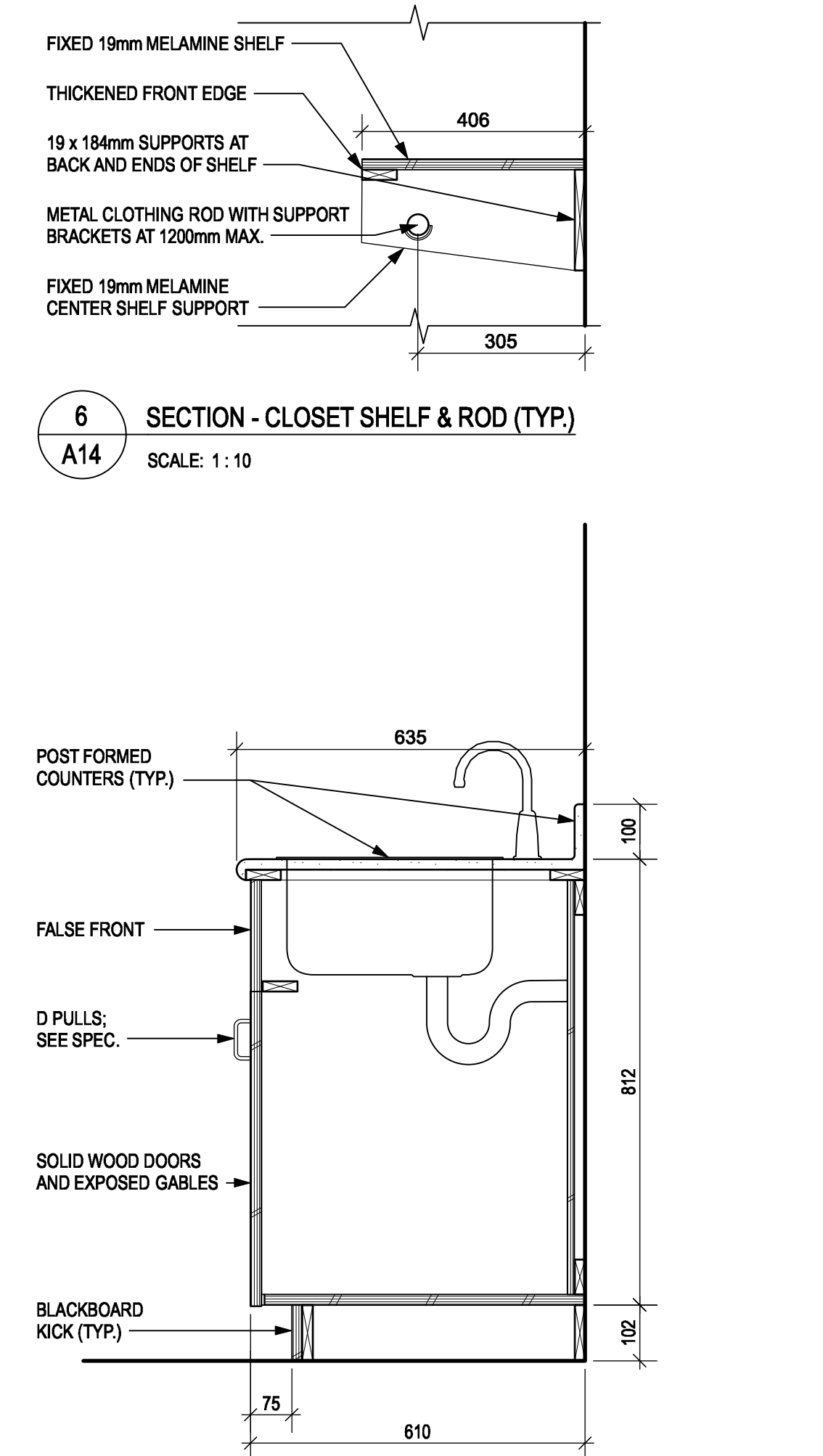
**2 SECTION - BATHROOM VANITY (TYP.)**  
A14 SCALE: 1:10



**3 SECTION - KITCHEN CABINETS (TYP.)**  
A14 SCALE: 1:10



**4 SECTION - MICROWAVE CABINET (TYP.)**  
A14 SCALE: 1:10



**5 SECTION - KITCHEN SINK BASE (TYP.)**  
A14 SCALE: 1:10

**6 SECTION - CLOSET SHELF & ROD (TYP.)**  
A14 SCALE: 1:10



GENERAL

- 1. THIS IS A METRIC PROJECT. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
2. PRIOR TO CONSTRUCTION, REVIEW STRUCTURAL DRAWINGS IN CONJUNCTION WITH DRAWINGS PROVIDED BY ALL OTHER CONSULTANTS, AND WITH EXISTING CONDITIONS.
3. REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
4. VERIFY EXISTING DIMENSIONS AND CONDITIONS ON SITE PRIOR TO CONSTRUCTION.
5. DO NOT USE INFORMATION ON THESE DRAWINGS FOR ANY OTHER PROJECT OR WORKS.
6. DO NOT SCALE THESE DRAWINGS.
7. ALL SECTIONS, DETAILS, AND STATEMENTS NOTED AS 'TYPICAL' APPLY TO LIKE/SIMILAR CONDITIONS IN THE STRUCTURE.
8. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATING AND FIREPROOFING REQUIREMENTS.
9. DRAWINGS SHOW COMPLETED STRUCTURE ONLY. THEY DO NOT SHOW TEMPORARY WORKS FOR WHICH THE CONTRACTOR IS RESPONSIBLE AND WHICH MAY BE REQUIRED FOR EXECUTION OF THE PROJECT. THE CONTRACTOR TO ESTABLISH CONSTRUCTION PROCEDURE AND SEQUENCE TO ENSURE SAFETY OF THE WHOLE STRUCTURE AND ALL ITS COMPONENTS DURING ERECTION.
10. MAKE ADEQUATE PROVISIONS FOR ALL LOADS ACTING ON THE STRUCTURE DURING ERECTION. PROVIDE TEMPORARY SHORING AND BRACING TO KEEP THE STRUCTURE PLUMB AND IN TRUE ALIGNMENT DURING CONSTRUCTION.
11. DESIGN OF ALL TEMPORARY WORKS TO BE CARRIED OUT BY A PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR, LICENSED IN BRITISH COLUMBIA.
12. DESIGN OF NON-STRUCTURAL AND SECONDARY STRUCTURAL ELEMENTS (SUCH AS MISCELLANEOUS STEEL, STAIRS, RAILINGS AND GUARDRAILS, PARTITIONS, CLADDING, BULHEADS, ETC.) IS THE RESPONSIBILITY OF SPECIALTY PROFESSIONAL ENGINEERS ENGAGED BY THE CONTRACTOR OR THE SUPPLIERS; IT IS NOT WITHIN THE SCOPE OF SERVICES PROVIDED BY WSP-S AND WILL NOT BE REVIEWED BY WSP-S.
13. CONSTRUCTION LOADS ON COMPLETED STRUCTURE NOT TO EXCEED DESIGN LOADS INDICATED ON DRAWINGS. FULL DESIGN LOADS MAY ONLY BE APPLIED AFTER THE CONCRETE REACHES ITS DESIGN STRENGTH.

DESIGN CRITERIA

- 1. STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2015 NATIONAL BUILDING CODE (NBC), SUPPLEMENTED BY THE 2015 NATIONAL BUILDING CODE OF CANADA STRUCTURAL COMMENTARY.
2. ALL REFERENCED STANDARDS SHALL BE THE CURRENT EDITION UNLESS DIFFERENT EDITION IS REFERENCED BY THE APPLICABLE BUILDING CODE NOTED ABOVE.
3. THE VALUES FOR CLIMATIC DATA USED IN THE DETERMINATION OF DESIGN LOADS HAVE BEEN OBTAINED FROM THE 2015 NBC FOR THE SPECIFIC LOCATION OF TERRACE.
4. BASED ON THE USE AND OCCUPANCY, THE BUILDING IS DESIGNED TO THE REQUIREMENTS OF A NORMAL IMPORTANCE CATEGORY.
5. SELF WEIGHT (SWT) IS DUE TO THE WEIGHT OF THE STRUCTURE ITSELF. IT VARIES WITH THE STRUCTURAL SYSTEM.
6. SUPERIMPOSED DEAD LOADS (SDL) ARE NON-STRUCTURAL DEAD LOADS DUE TO NON-STRUCTURAL TOPPING, FINISHES, PARTITIONS, ROOFING MATERIALS, SUSPENDED EQUIPMENT, PAVERS, SOIL, ETC.
7. DEAD LOAD (DL) IS THE SELF WEIGHT OF THE STRUCTURE PLUS THE SUPERIMPOSED DEAD LOAD.
8. UNLESS OTHERWISE NOTED, DESIGN LOADS SHOWN ON DRAWINGS ARE SPECIFIED (UNFACTORED) LOADS, TO BE USED FOR ULS DESIGN. FOR SLS DESIGN, THESE LOADS CAN BE REDUCED BY MULTIPLYING WITH THE RATIO OF APPROPRIATE IMPORTANCE FACTORS Iu(SLS) / Iu(ULS) GIVEN BELOW.
9. IF ONLY ONE VALUE IS GIVEN FOR A LOAD, CONSIDER IT LIVE LOAD.
10. SNOW: Ss = 5.4 kPa; Sr = 0.6 kPa; Iu (ULS) = 1.0; Iu (SLS) = 0.9; Cd = 0.55
MINIMUM UNFACTORED SNOW LOAD = 3.57 kPa x Is
11. LATERAL LOADS IN THIS STRUCTURE ARE RESISTED BY SHEAR WALLS AND ARE DETERMINED BASED ON THE WIND AND SEISMIC DATA BELOW. LATERAL DESIGN HAS BEEN BASED ON PRE-SCRIPTIVE MEASURES OF PART 9 LOW LOAD LOCATIONS IN ACCORDANCE WITH SENTENCE 9.23.13.1 (2) OF NBC 2015.
12. WIND: q50 = 0.36 kPa; Iu (ULS) = 1.0; Iu (SLS) = 0.75
TERRAIN TYPE: OPEN
INTERNAL PRESSURE CATEGORY: 2
13. SEISMIC:
Sa (0.2) = 0.138 Rd = 3.0 IeFaSa(0.2) = 0.171
Sa (0.5) = 0.133 Ro = 1.7
Sa(1.0) = 0.111 Ie = 1.0
Sa(2.0) = 0.080 SITE CLASSIFICATION = D
PGA = 0.068
SEISMIC FORCE RESISTING SYSTEM (SFRS): NAILED SHEARWALLS - WOOD-BASED PANEL

FIELD REVIEW

- 1. DEPARTMENTAL REPRESENTATIVE WILL PROVIDE PERIODIC FIELD REVIEW OF A REPRESENTATIVE SAMPLE OF THE STRUCTURAL WORKS DETAILED ON THESE DRAWINGS FOR GENERAL CONFORMANCE WITH CONTRACT DOCUMENTS. THESE REVIEWS DO NOT REPLACE THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT AND MAINTAIN A QUALITY CONTROL PROGRAM, AND DO NOT MAKE DEPARTMENTAL REPRESENTATIVE A GUARANTOR OF THE CONTRACTOR'S WORK.
2. ASSIST THE DEPARTMENTAL REPRESENTATIVE DURING FIELD REVIEW, AND PROVIDE SAFE ACCESS TO WORK AREAS AS REQUIRED.
3. CHECK THE WORK PRIOR TO FIELD REVIEW TO CONFIRM IT IS COMPLETED AND IN ACCORDANCE WITH CONTRACT DOCUMENTS.
4. NOTIFY THE DEPARTMENTAL REPRESENTATIVE 12 BUSINESS DAYS PRIOR TO CONCRETE POURS, BACKFILLING, AND COVERING UP THE STRUCTURE WITH FINISHES.

FOUNDATIONS

- 1. STRUCTURAL DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY WOOD ENVIRONMENT AND INFRASTRUCTURE SOLUTIONS; REPORT NUMBER K211195, DATED OCTOBER 13, 2020 AND SUPPLEMENTAL MEMO REGARDING LATERAL EARTH PRESSURES DATED MARCH 16, 2021. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL FOUNDATION AND EARTHWORK INFORMATION.
2. SET FOUNDATIONS ON HORIZONTAL UNDISTURBED SOIL CAPABLE OF SUPPORTING BEARING PRESSURE OF 200 kPa AT ULS AND 150 kPa AT SLS.
3. PRIOR TO PLACING FOOTINGS, BEARING CAPACITY OF EACH FOOTING TO BE CONFIRMED IN WRITTEN REPORTS BY THE GEOTECHNICAL ENGINEER RETAINED BY THE DEPARTMENTAL REPRESENTATIVE. SUBMIT EACH REPORT IMMEDIATELY TO THE DEPARTMENTAL REPRESENTATIVE.
4. FOR FROST PROTECTION, MINIMUM DISTANCE FROM FINISHED GRADE TO UNDERSIDE OF FOUNDATIONS TO BE NOT LESS THAN 1000mm OR PROVIDE EQUIVALENT INSULATION WHERE UNDERSIDES OF WALLS, GRADE BEAMS, OR PILE CAPS ARE NOT BELOW THE FROST PROTECTION DEPTH. PROVIDE FROST CUSHION BETWEEN SOIL AND STRUCTURE WHERE FROST ACTION MAY CAUSE UPLIFT.
5. UNLESS OTHERWISE NOTED, CENTRE FOOTINGS, PIERS, PILES, AND PILE CAPS UNDER CENTROID OF COLUMNS. WHERE THERE ARE NO COLUMNS ABOVE, CENTRE UNDER WALLS OR GRADE BEAMS.
6. LOCATE ALL EXISTING UNDERGROUND SERVICES PRIOR TO EXCAVATION.
7. THE LINE OF SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR TRENCHES NOT TO EXCEED A RISE OF 1 IN A RUN OF 3/4.
8. PROTECT FOOTINGS, PIERS, PILE TOPS, PILE CAPS, GRADE BEAMS, FOUNDATION WALLS, SLABS-ON-GRADE AND ADJACENT SOIL AGAINST FREEZING AND FROST ACTION AT ALL TIMES DURING CONSTRUCTION. DO NOT POUR CONCRETE AGAINST FROZEN EARTH.
9. DO NOT PLACE CONCRETE IN WATER OR ON FROZEN SOIL.
10. UNLESS NOTED OTHERWISE, PROVIDE DRAINAGE WITH WEEPING TILES TIED INTO MECHANICAL DRAINAGE SYSTEM AT ALL WALLS RETAINING EARTH. IF WEEPING TILE IS NOT LOCATED ON THE SIDE OF THE WALL RETAINING EARTH, PROVIDE MIN. 50 (2) DIA. WEEPERS AT MAX 2000 (6'-8") O/C THROUGH THE WALL. LOCATE JUST ABOVE TOP OF FOOTING.
11. IF A RETAINING WALL DOES NOT HAVE A WEEPING TILE BEHIND IT, PROVIDE MIN. 50 (2) DIA. WEEPERS AT MAX 2000 (6'-8") O/C THROUGH THE WALL LOCATE 200 (8") ABOVE THE LOWER GRADE SURFACE.
12. DO NOT BACKFILL AGAINST WALLS RETAINING EARTH UNTIL ELEMENTS PROVIDING LATERAL SUPPORT, INCLUDING SLABS ON GRADE AND SUSPENDED LEVELS, ARE COMPLETED AND CONCRETE HAS REACHED 75% OF ITS DESIGN STRENGTH.
13. WHERE SLAB ON GRADE IS USED TO TIE THE TOP OF A WALL RETAINING EARTH, PROVIDE TEMPORARY SHORING OF THE WALL FROM START OF BACKFILLING UNTIL THE SLAB ON GRADE REACHES 75% OF ITS DESIGN STRENGTH.
14. FOR ELEMENTS THAT ARE TO BE BACKFILLED ON BOTH SIDES, PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES SUCH THAT HEIGHTS DO NOT VARY BY MORE THAN 600 (2') FROM ONE SIDE TO THE OTHER.

CONCRETE

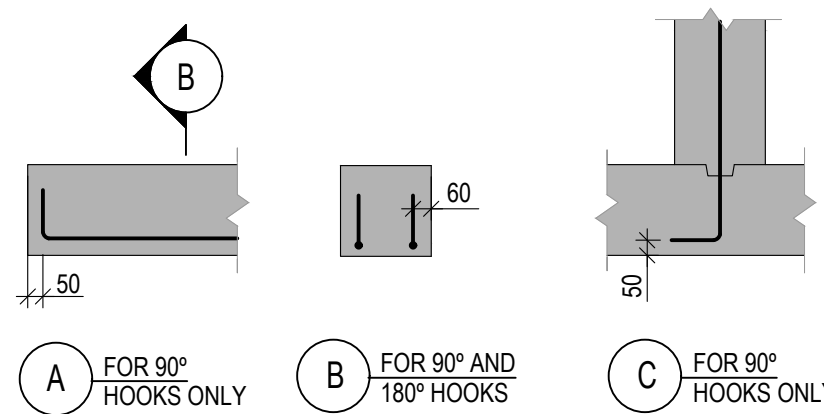
- 1. REFER TO SPECIFICATIONS FOR CONCRETE REQUIREMENTS.
2. CONCRETE TO BE IN ACCORDANCE WITH THE FOLLOWING MIX TYPES:
3. MIX TYPE 1:
- EXPOSURE CLASS: N
- MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 25 MPa
- INTENDED APPLICATION: INTERIOR LOCATIONS, BASEMENT SLAB ON GRADE.
- NOMINAL SIZE OF COARSE AGGREGATE: 20 (3/4)
4. MIX TYPE 2:
- EXPOSURE CLASS: F-2
- MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 25 MPa
- INTENDED APPLICATION: FOOTINGS, BASEMENT WALLS, AND FOUNDATION WALLS AND PIERS.
- NOMINAL SIZE OF COARSE AGGREGATE: 20 (3/4)
5. MIX TYPE 3:
- EXPOSURE CLASS: C-2
- MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 32 MPa
- INTENDED APPLICATION: GARAGE SLAB ON GRADE, EXTERIOR SLABS ON GRADE, RAMPS, AND STAIRS.
- NOMINAL SIZE OF COARSE AGGREGATE: 20 (3/4)

CONCRETE REINFORCEMENT

- 1. ALL REINFORCING BAR SIZES ARE METRIC, "M" IS NOT NECESSARILY MARKED AFTER A BAR SIZE. FOR EXAMPLE, 10-15B NOTED ON PLAN INDICATES 10 BARS OF 15M DIAMETER, PLACED AT BOTTOM.
2. ALL REBAR HOOKS TO BE STANDARD LENGTH 90° OR 180° HOOKS. REBAR LENGTHS LISTED ON DRAWINGS DO NOT INCLUDE THE HOOK LENGTH.
3. FOR LAP LENGTHS AND DEVELOPMENT LENGTHS, REFER TO TABLES BELOW. FOR 32 MPa CONCRETE USE LAP LENGTHS FOR 30 MPa.
4. UNLESS OTHERWISE NOTED, LAP ALL HORIZONTAL REINFORCING WITH CLASS B LAPS. PROVIDE CORNER BARS AT CORNERS TO MATCH HORIZONTAL REINFORCING.
5. WHERE CONCRETE IS CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, MINIMUM CONCRETE COVER TO REINFORCING BARS CLOSEST TO THE CONCRETE SURFACE TO BE 75 (3").
6. UNLESS OTHERWISE NOTED, MINIMUM CONCRETE COVER TO REINFORCING BARS CLOSEST TO THE CONCRETE SURFACE TO BE 40 (1 1/2") FOR BEAMS AND COLUMNS AND 25 (1") FOR SLABS AND WALLS.
7. FOR CLASS F-1 AND F-2 CONCRETE, MINIMUM COVER TO BE 40 (1 1/2").
8. INCREASE COVER WHERE REQUIRED TO MAINTAIN MINIMUM RATIO OF COVER TO NOMINAL BAR DIAMETER OF 1 FOR CLASS N, 1.5 FOR CLASSES F1 AND C1 (FOR MEMBRANE PROTECTED SLABS ONLY), AND 2 FOR CLASS C1 (ALL OTHER STRUCTURES).

Table with 4 columns: BAR SIZE, fc = 25, fc = 30, fc = 35. Rows for TOP and BOTTOM reinforcement. Includes CLASS B TENSION LAP LENGTHS table below.

Table with 4 columns: BAR SIZE, fc = 25, fc = 30, fc = 35. Rows for TOP and BOTTOM reinforcement. Includes diagrams for hook types A, B, and C.



POST-INSTALLED ANCHORS AND DOWELS

- 1. REFER TO SPECIFICATION SECTION 03 30 00 FOR POST-INSTALLED ANCHOR AND DOWEL REQUIREMENTS.
- DCA - DRILLED CONCRETE ANCHORS.
- ACA - ADHESIVE CONCRETE ANCHORS.
2. UNLESS NOTED OTHERWISE, BUILT-UP TIMBER COLUMNS AND STUDS TO BE FASTENED AS PER TYPICAL DETAIL TW-FAST-01.
3. UNLESS NOTED OTHERWISE ON PLAN, BUILT-UP BEAMS TO BE FASTENED AS PER TYPICAL DETAIL TW-FAST-02.

STRUCTURAL WOOD

- 1. MATERIALS:
- LUMBER: TO CSA 141; KILN DRIED; SPF NO. 2 OR BETTER; MOISTURE CONTENT MAX 19%
- PLYWOOD SHEATHING: TO CSA 0151 SOFTWOOD SPRUCE; OR CSA 0121 DOUGLAS FIR
- OSB SHEATHING: TO CSA 0325, 0-1 GRADE OR 0-2 GRADE
- LAMINATED VENEER LUMBER (LVL): MINIMUM GRADE 2.0E, 2500Fb (Fb=31.9MPa) OR BETTER
- PARALLEL STRAND LUMBER (PSL): MINIMUM GRADE 2.0E, 2900Fb (Fb=37MPa)
- NAILS: COMMON ROUND STEEL WIRE NAILS
- WOOD BOLTS: ASTM A307
- LAG SCREWS: ANSISME B18.12.1 MACHINE THREADED
- WOOD CONNECTORS: REFER TO SPECIFICATION SECTION 06 10 00 FOR REQUIREMENTS
2. UNLESS NOTED OTHERWISE, BUILT-UP TIMBER COLUMNS AND STUDS TO BE FASTENED AS PER TYPICAL DETAIL TW-FAST-01.
3. UNLESS NOTED OTHERWISE ON PLAN, BUILT-UP BEAMS TO BE FASTENED AS PER TYPICAL DETAIL TW-FAST-02.

ABBREVIATIONS:

- BOT - BOTTOM
BTWN - BETWEEN
CCJ - CRACK CONTROL JOINT
CLR - CLEAR
CMU - CONCRETE MASONRY UNITS
COL - COLUMN
CONC - CONCRETE
CONT - CONTINUOUS
CW - COMPLETE WITH
DP - DEEP
(E) - EXISTING
EA - EACH
EE - EACH END
EF - EACH FACE
EL - ELEVATION
EMBED - EMBEDMENT
ES - EACH SIDE
EW - EACH WAY
FND - FOUNDATION
FTG - FOOTING
GALV - GALVANIZED
GL - GRID LINE
HEF - HORIZONTAL EACH FACE
HORIZ - HORIZONTAL
H1E - HOOK ONE END
H2E - HOOK BOTH ENDS
HD - HOLD DOWN
HDG - HOT DIPPED GALVANIZED
LG - LONG
LLH - LONG LEG HORIZONTAL
LLV - LONG LEG VERTICAL
(N) - NEW
NTS - NOT TO SCALE
OC - ON CENTER
OPP - OPPOSITE
OWSJ - OPEN WEB STEEL JOIST
PL - PLATE
PT - PRESSURE TREATED
REINF - REINFORCEMENT
REQ'D - REQUIRED
RW - REINFORCE WITH
SIM - SIMILAR
SOG - SLAB ON GRADE
SS - STAINLESS STEEL
SST - SIMPSON STRONG TIE
STAGG - STAGGERED
STD - STANDARD
STIFF - STIFFENER
T&B - TOP AND BOTTOM
T/O - TOP OF
TYP - TYPICAL
UN, UNO - UNLESS NOTED OTHERWISE
US - UNDERSIDE
VERT - VERTICAL
VIF - VERTICAL INSIDE FACE
VOF - VERTICAL OUTSIDE FACE
WSP-S - WSP STRUCTURAL



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VANCOUVER, BC
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Consultant Signature Box Only
Designed by/Concept par: CHELSEA PATON, P.ENG
Drawn by/Dessiné par: GINA MAJOR
PWGSC Project Manager/Administrateur de Projets TPSGSC: PHILIP FUNG
PWGSC, Regional Manager, Architectural and Engineering Services / Gestionnaire régionale, Services d'architecture et de génie, Projets: PREETIPAL PAUL
Drawing title/Titre du dessin: NEW EMPLOYEE HOUSING SINGLE FAMILY HOUSE
GENERAL NOTES
Project No./No. du projet: R.112456.001
Sheet/ Feuille: S-1.01
Revision no./ La Révision no.: 3





3	ISSUED FOR TENDER	2021-07-12
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Drawn by/Dessiné par  
**GINA MAJOR**

PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**

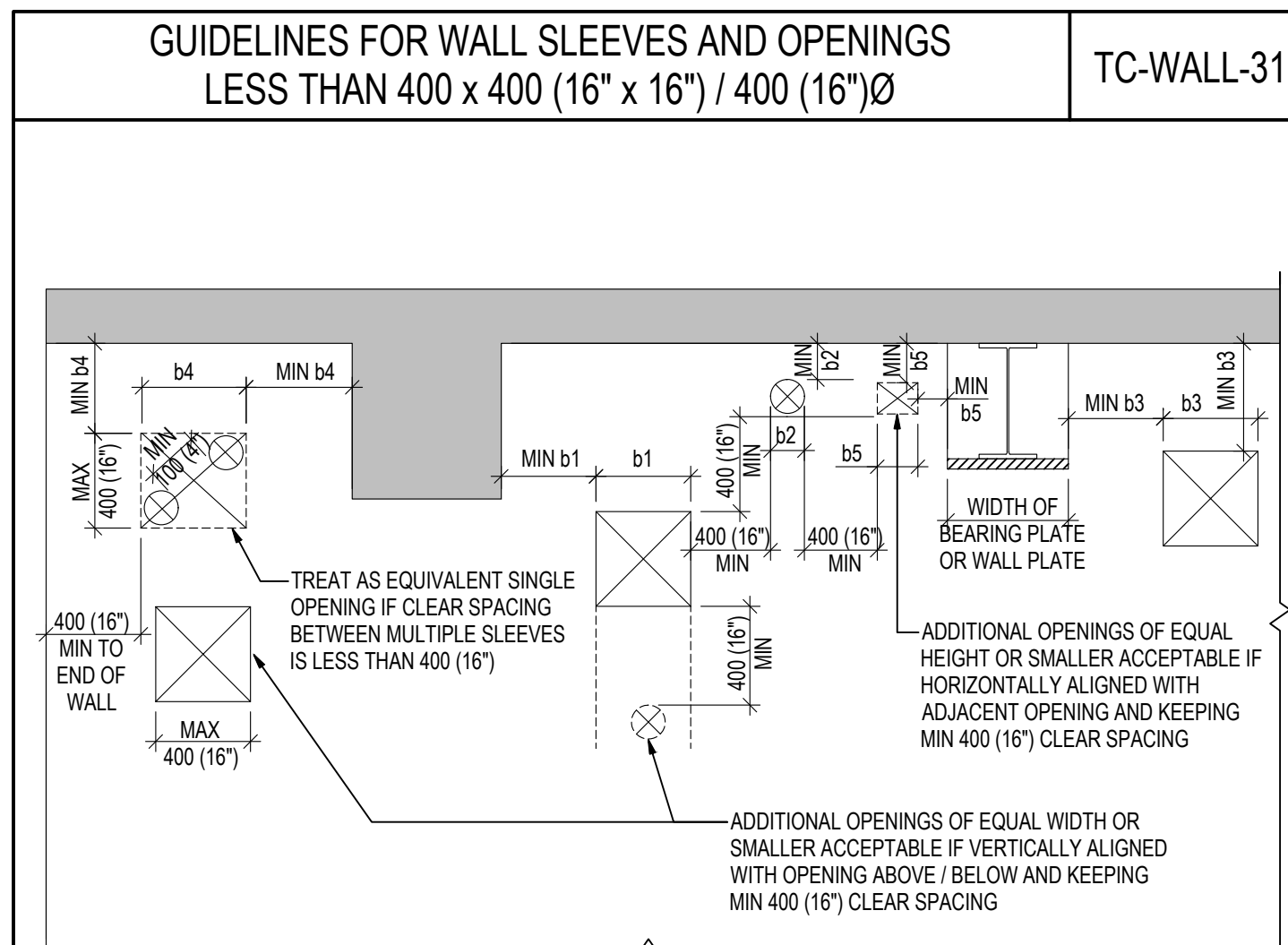
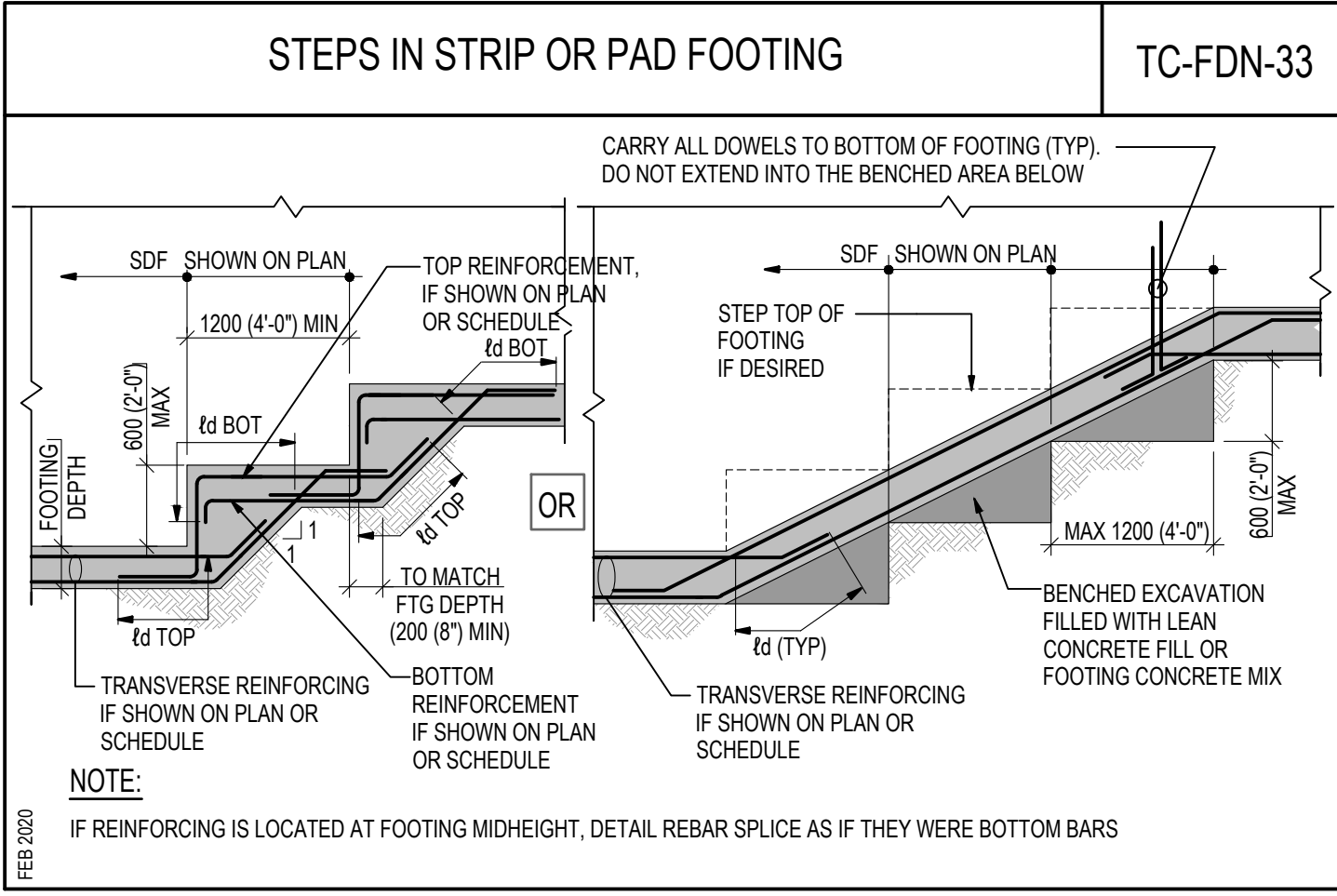
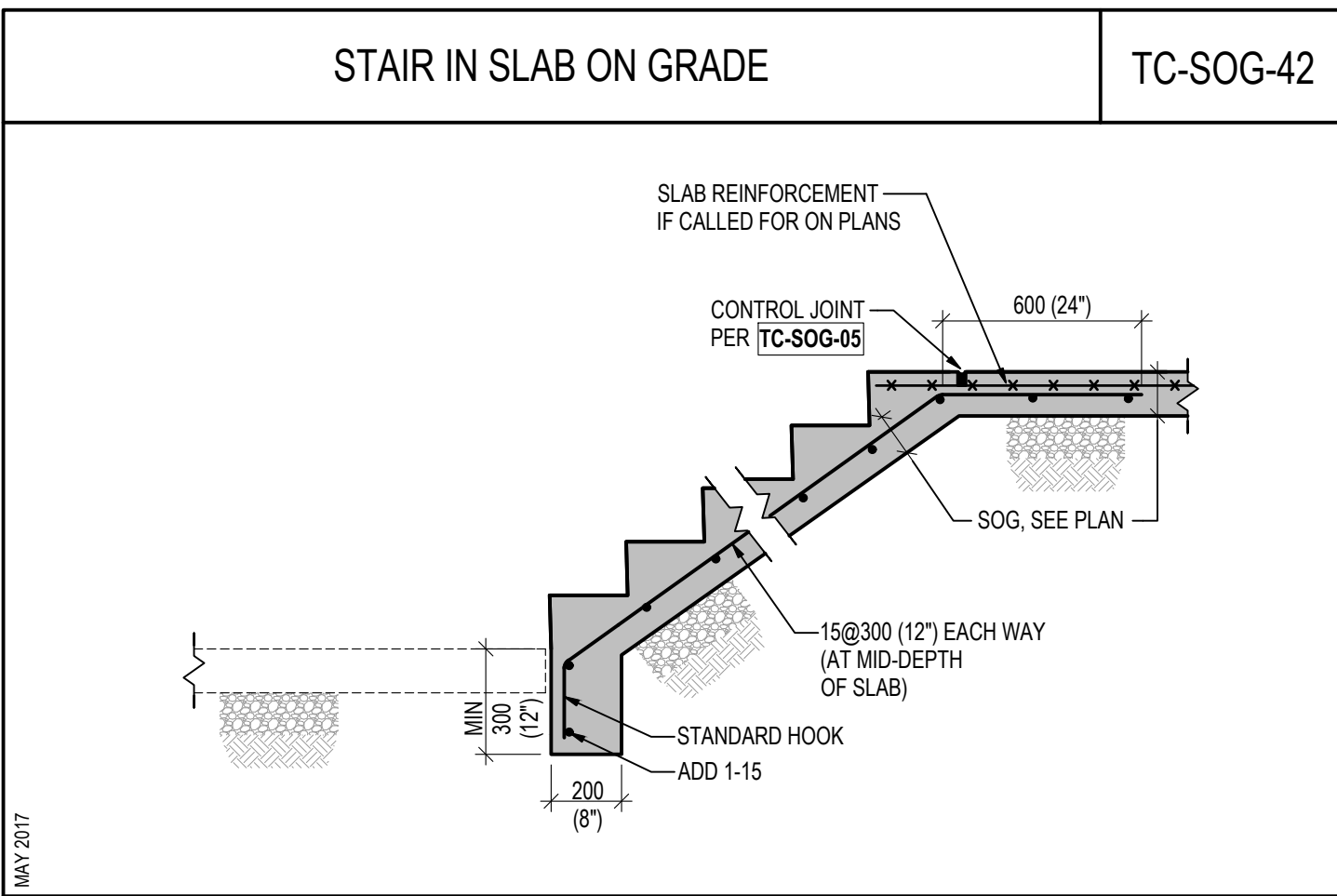
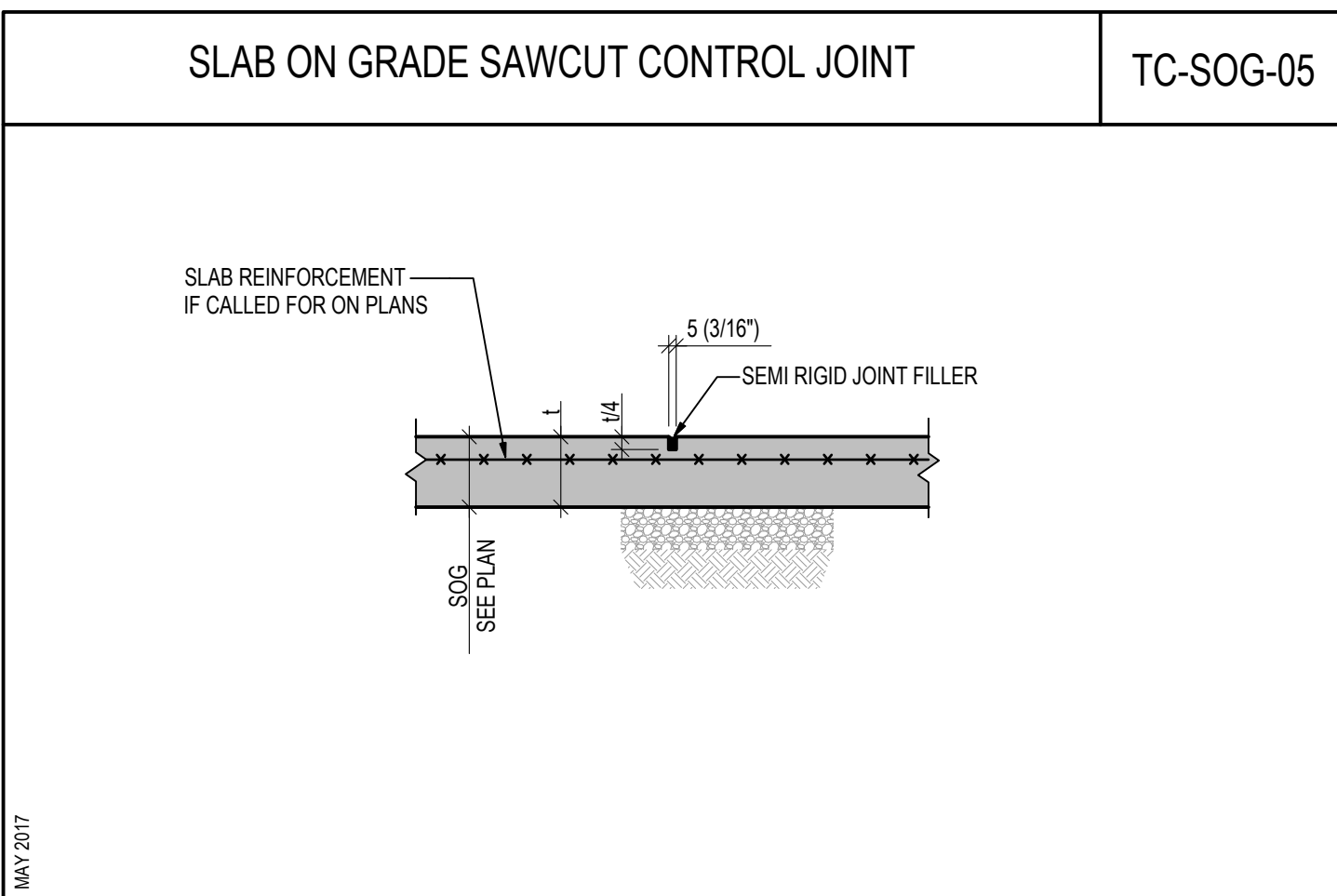
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**PREETIPAL PAUL**

Drawing title/Titre du dessin

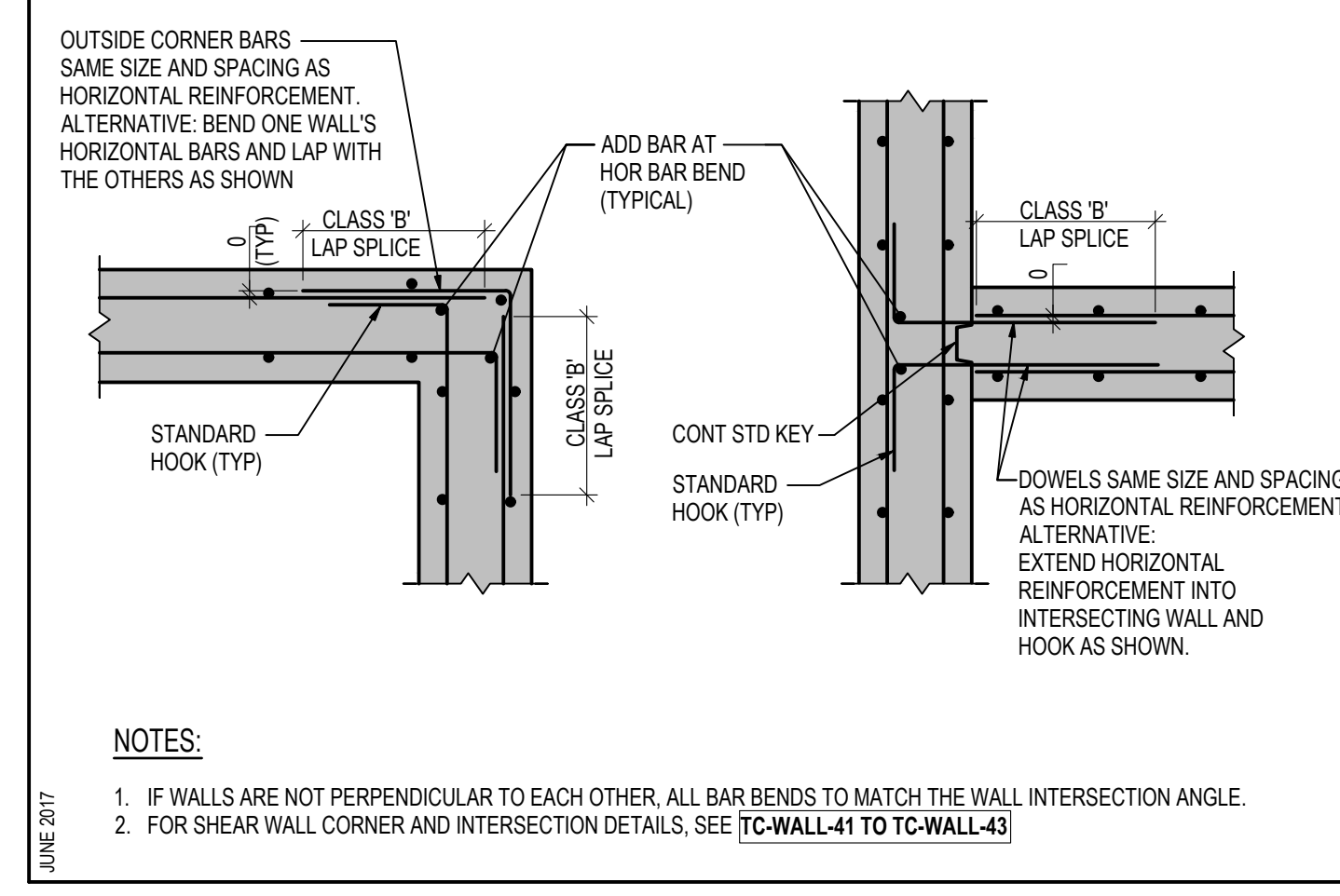
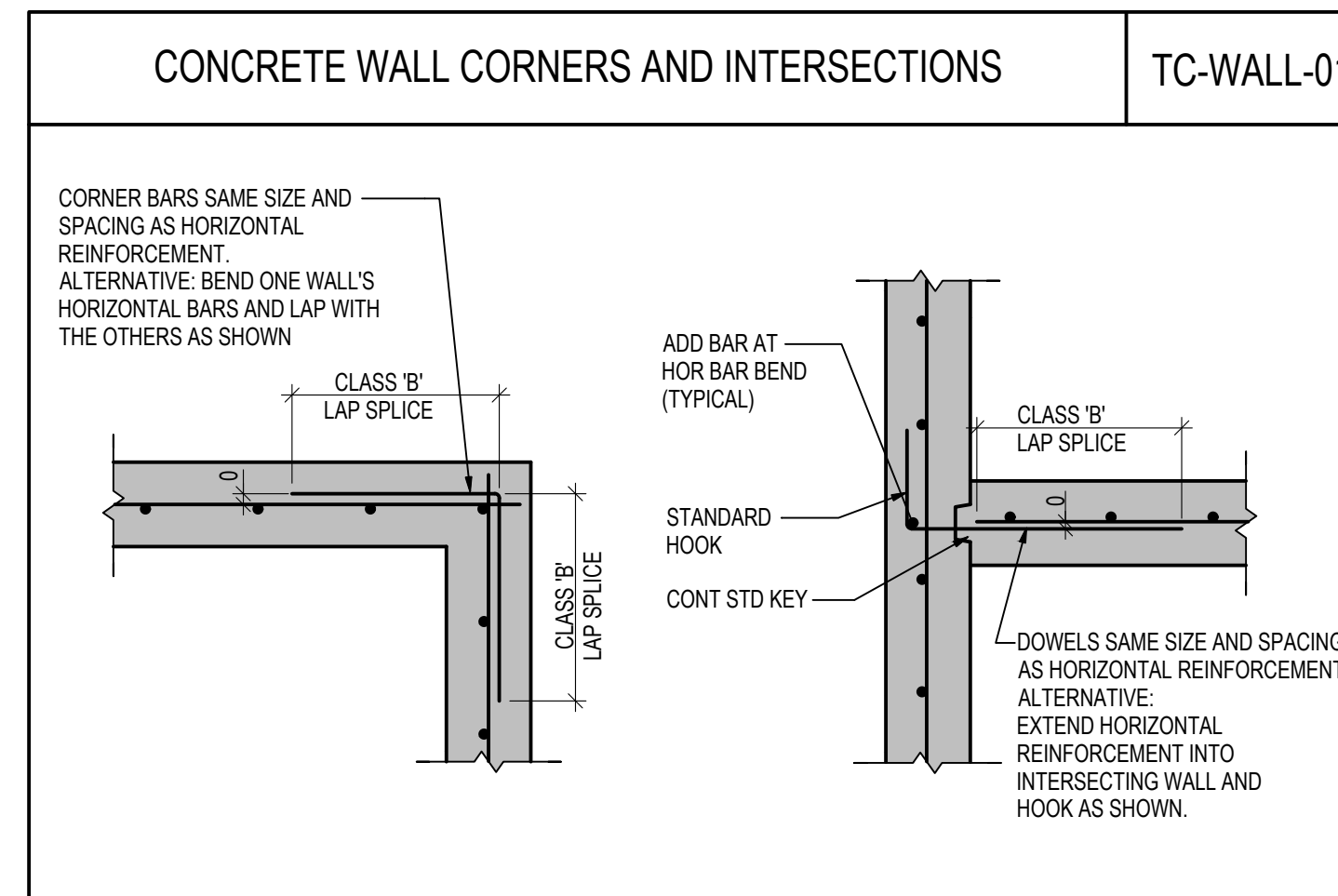
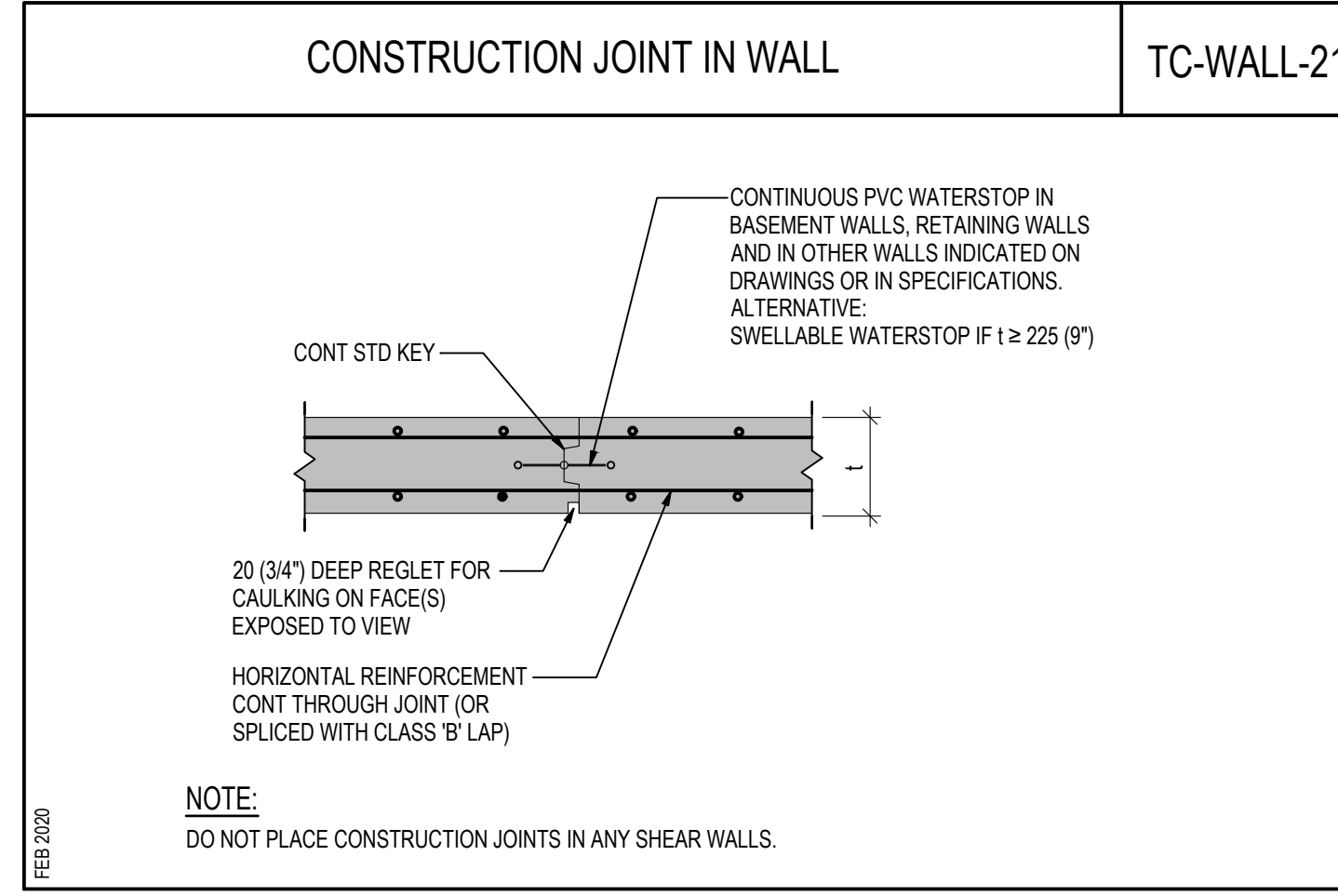
**NEW EMPLOYEE HOUSING  
SINGLE FAMILY HOUSE**

**TYPICAL DETAILS**

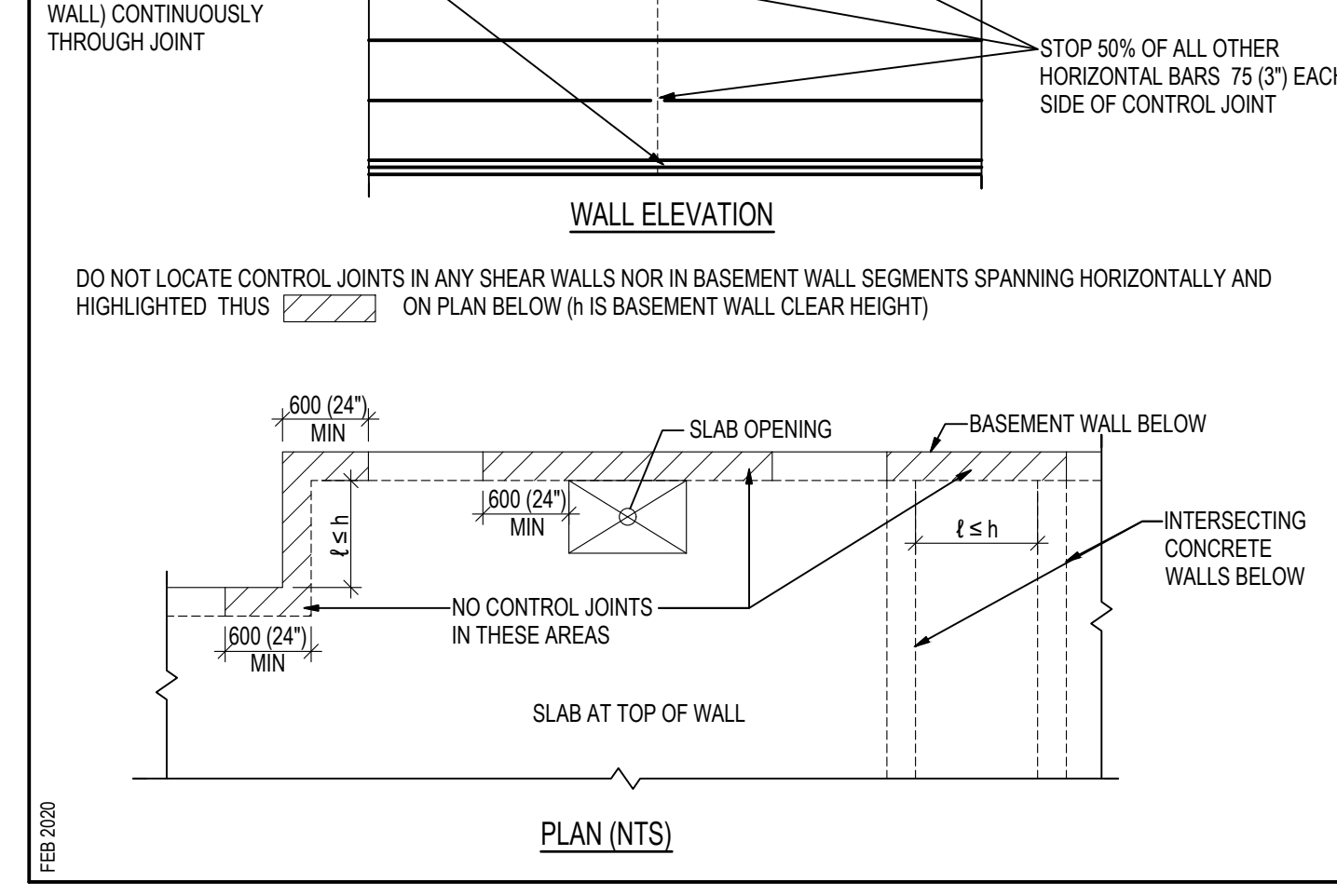
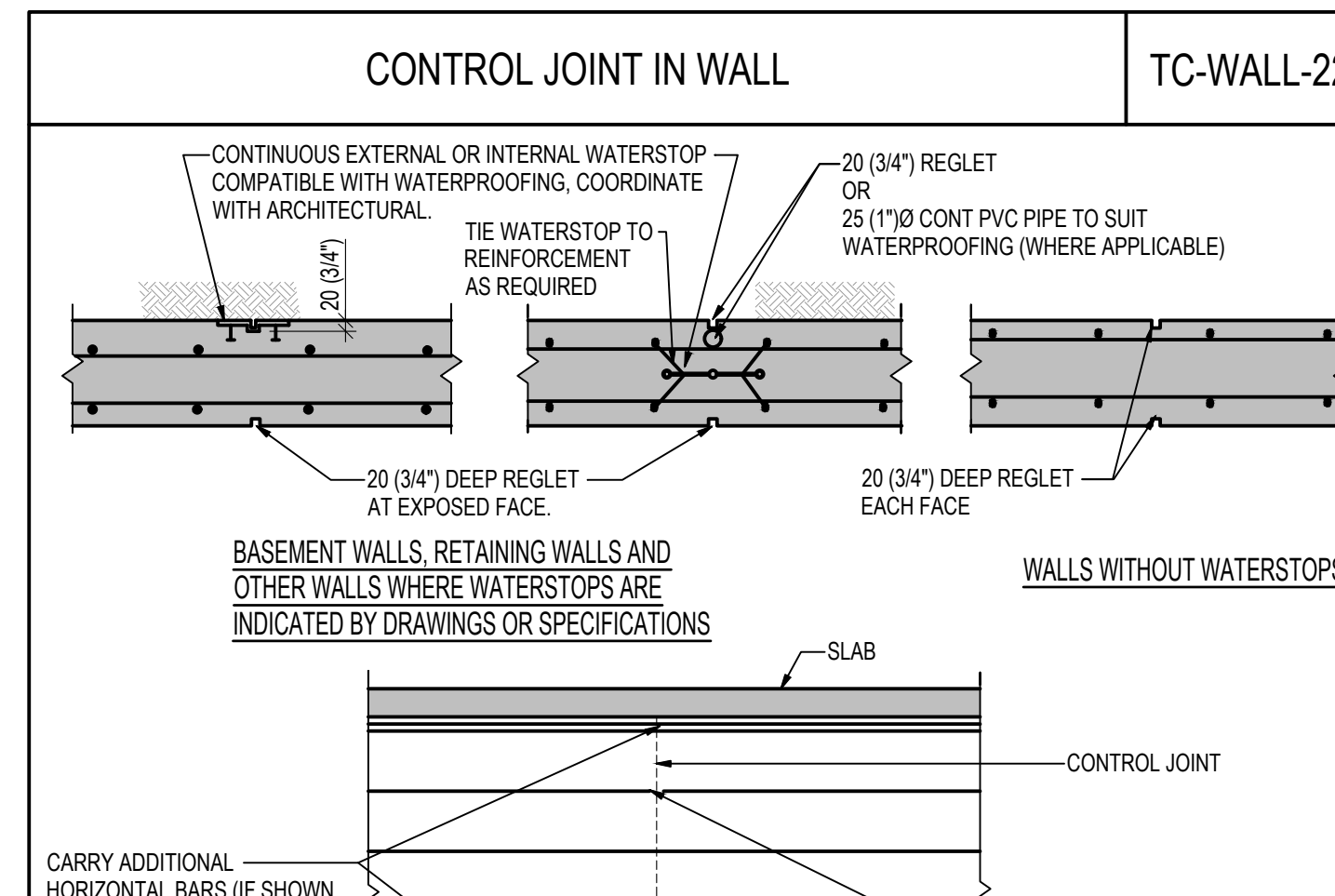
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- NOTES:**
- SUBMIT COMPOSITE SLEEVING DRAWINGS SHOWING SIZE AND LOCATION OF ALL WALL SLEEVES AND OPENINGS.
  - THIS DRAWING SHOWS ONLY GENERAL GUIDELINES FOR PLACING SLEEVES AND OPENINGS THROUGH WALLS. FOR ANY SPECIFIC JOB, OPENINGS AS SHOWN ON THIS DETAIL MAY NOT BE ACCEPTABLE OR MAY REQUIRE ADDITIONAL REINFORCING. DO NOT INSTALL ANY SLEEVES AND OPENINGS PRIOR TO REVIEWING RETURNED SLEEVING DRAWINGS.
  - RESpace WALL REINFORCEMENT AS REQUIRED TO CLEAR OPENINGS.
  - NO OPENING CAN INTERFERE WITH ANY REINFORCEMENT SHOWN TO BE IN ADDITION TO UNIFORMLY DISTRIBUTED WALL REINFORCEMENT.
  - AT SHEAR WALLS, ALL OPENINGS TO STAY MIN 1000 (3'-4") CLEAR OF CONCENTRATED (ZONE) REINFORCEMENT.
  - SUM OF THE WIDTHS OF ALL SLEEVES AND OPENINGS IN ANY 3000 (10'-0") LONG WALL SEGMENT NOT TO EXCEED 750 (2'-6"), EXCEPT AT SHEAR WALLS WHERE THAT SUM SHOULD NOT EXCEED 400 (16").
  - FOR ADDITIONAL REINFORCEMENT AT DUCT BANK SLEEVES, SEE **TC-SL-91**



- NOTES:**
- IF WALLS ARE NOT PERPENDICULAR TO EACH OTHER, ALL BAR BENDS TO MATCH THE WALL INTERSECTION ANGLE.
  - FOR SHEAR WALL CORNER AND INTERSECTION DETAILS, SEE **TC-WALL-41 TO TC-WALL-43**



- NOTES:**
- DO NOT LOCATE CONTROL JOINTS IN ANY SHEAR WALLS NOR IN BASEMENT WALL SEGMENTS SPANNING HORIZONTALLY AND HIGHLIGHTED THIS ON PLAN BELOW (n IS BASEMENT WALL CLEAR HEIGHT)





3	ISSUED FOR TENDER	2021-07-12
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800 BURRARD ST.

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New Residence,  
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Designed by/Concept par  
CHELSEA PATON, P. ENG

Drawn by/Dessiné par  
GINA MAJOR

PWGSC Project Manager/Administrateur de Projets TPSGC  
PHILIP FUNG

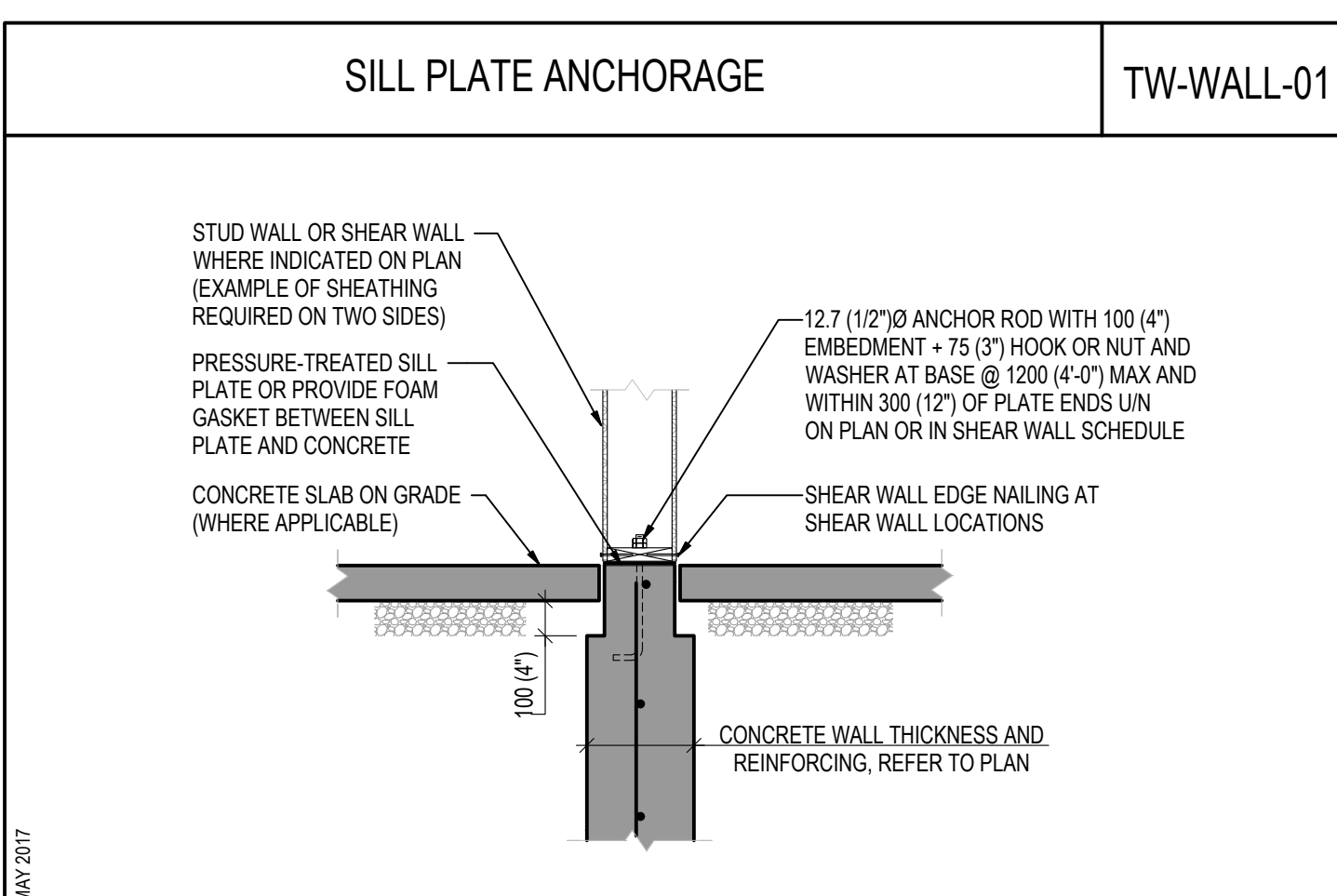
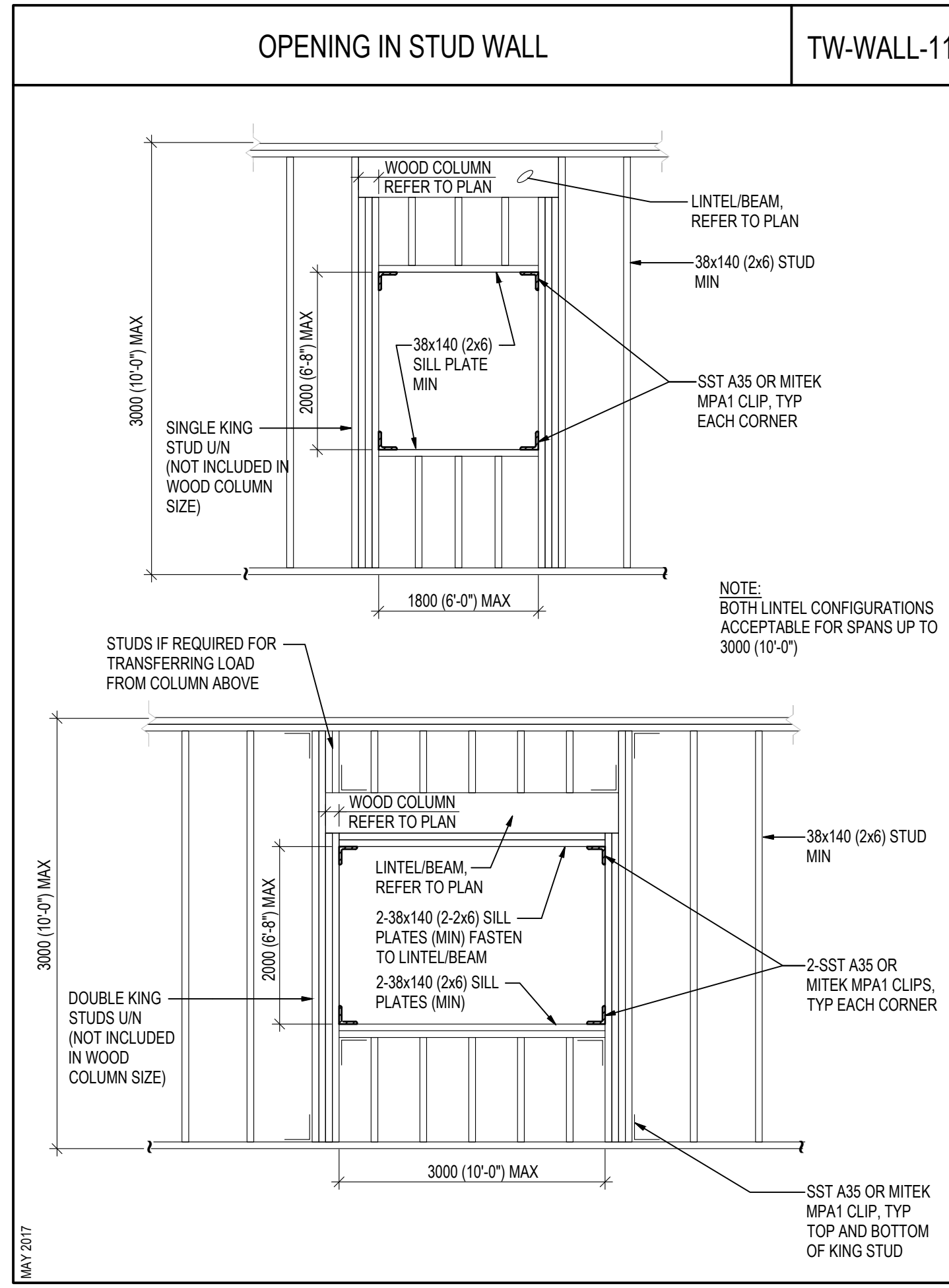
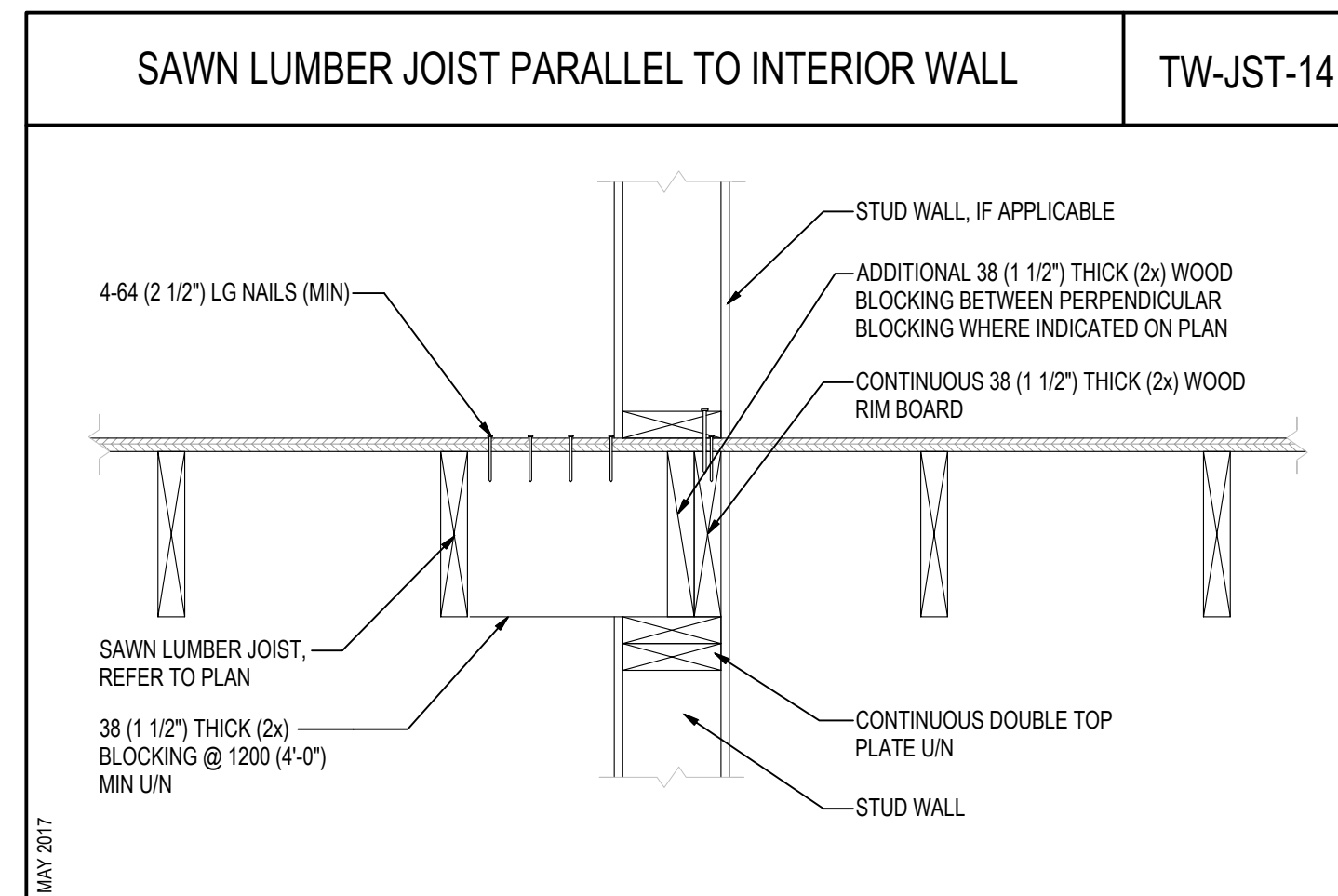
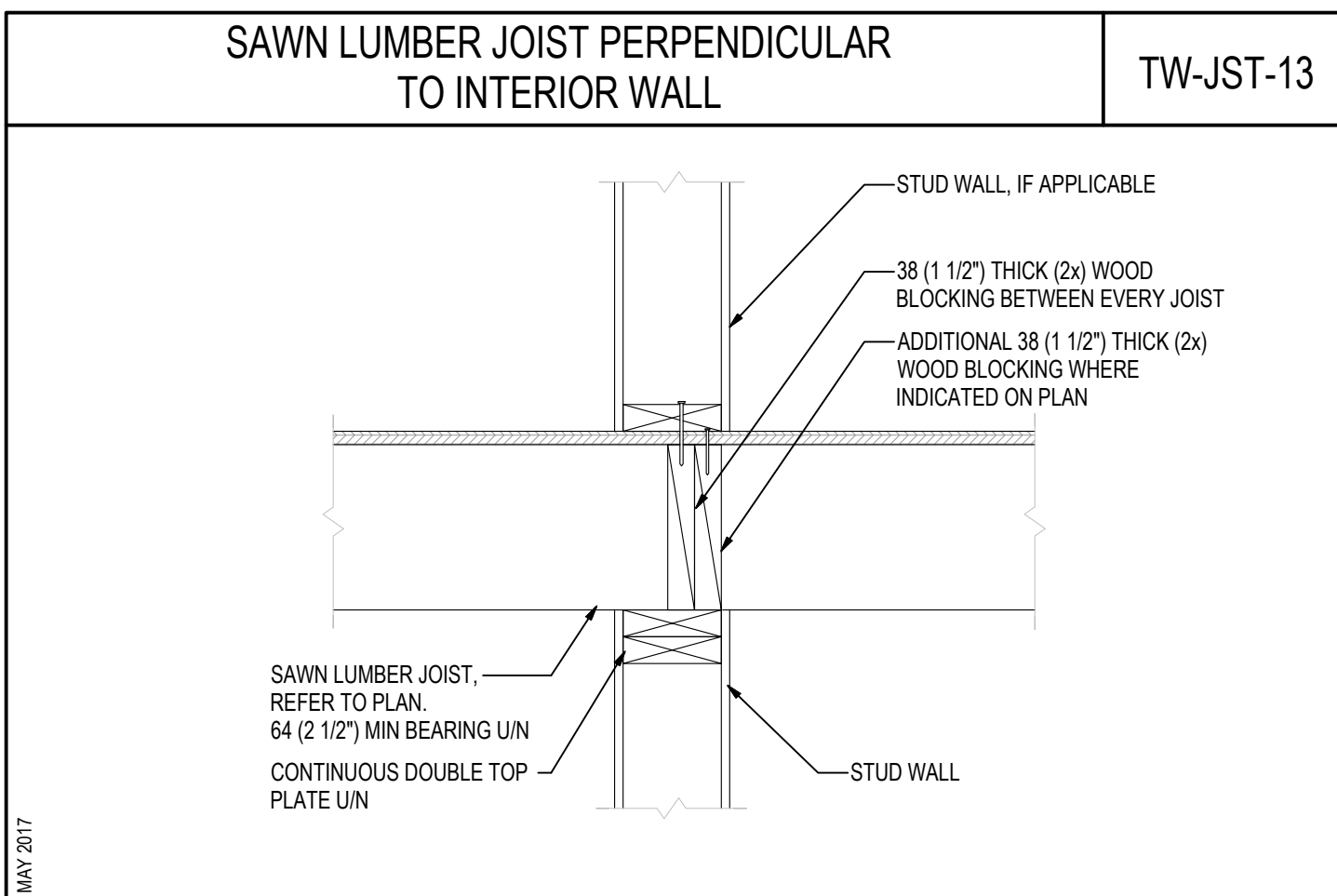
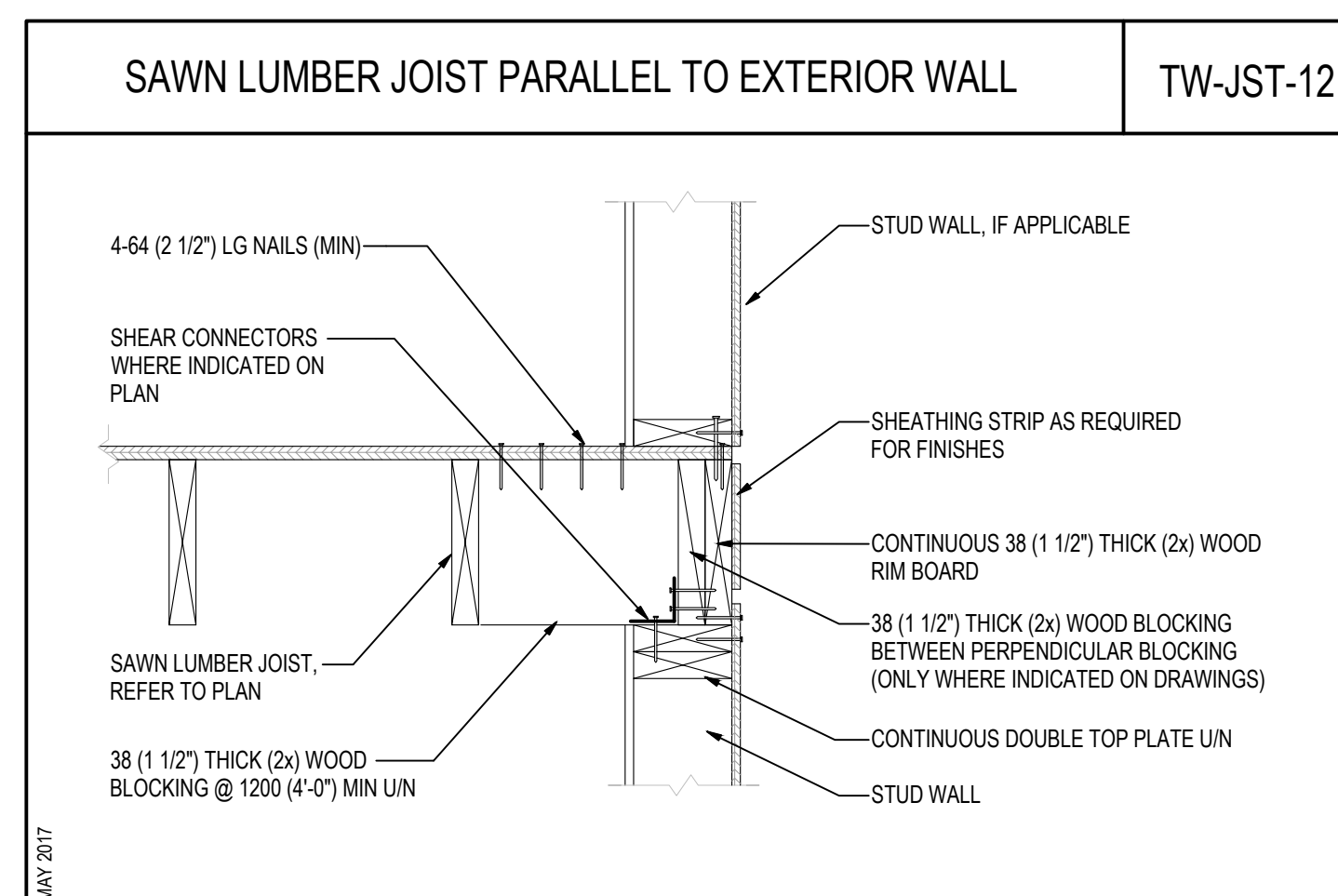
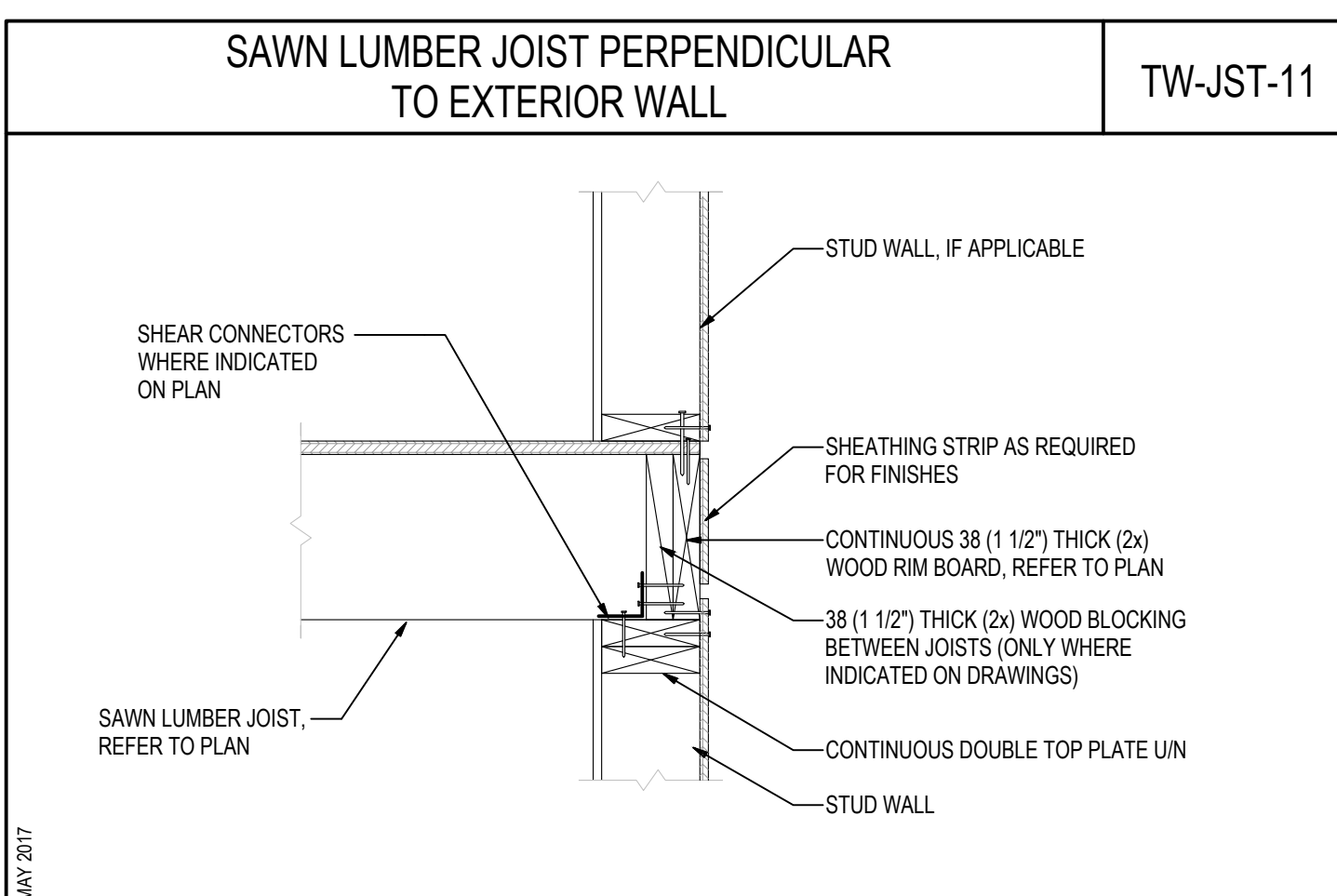
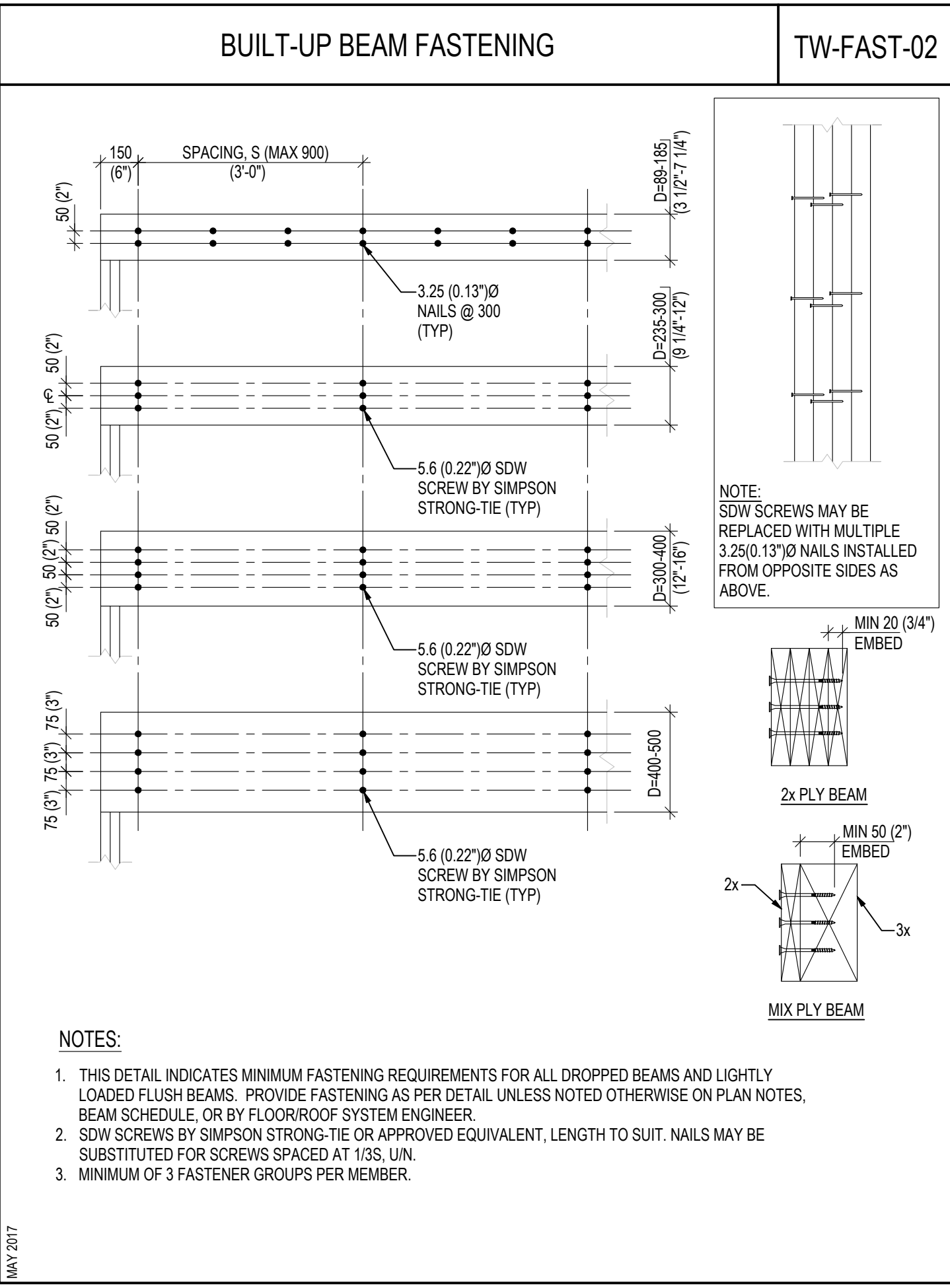
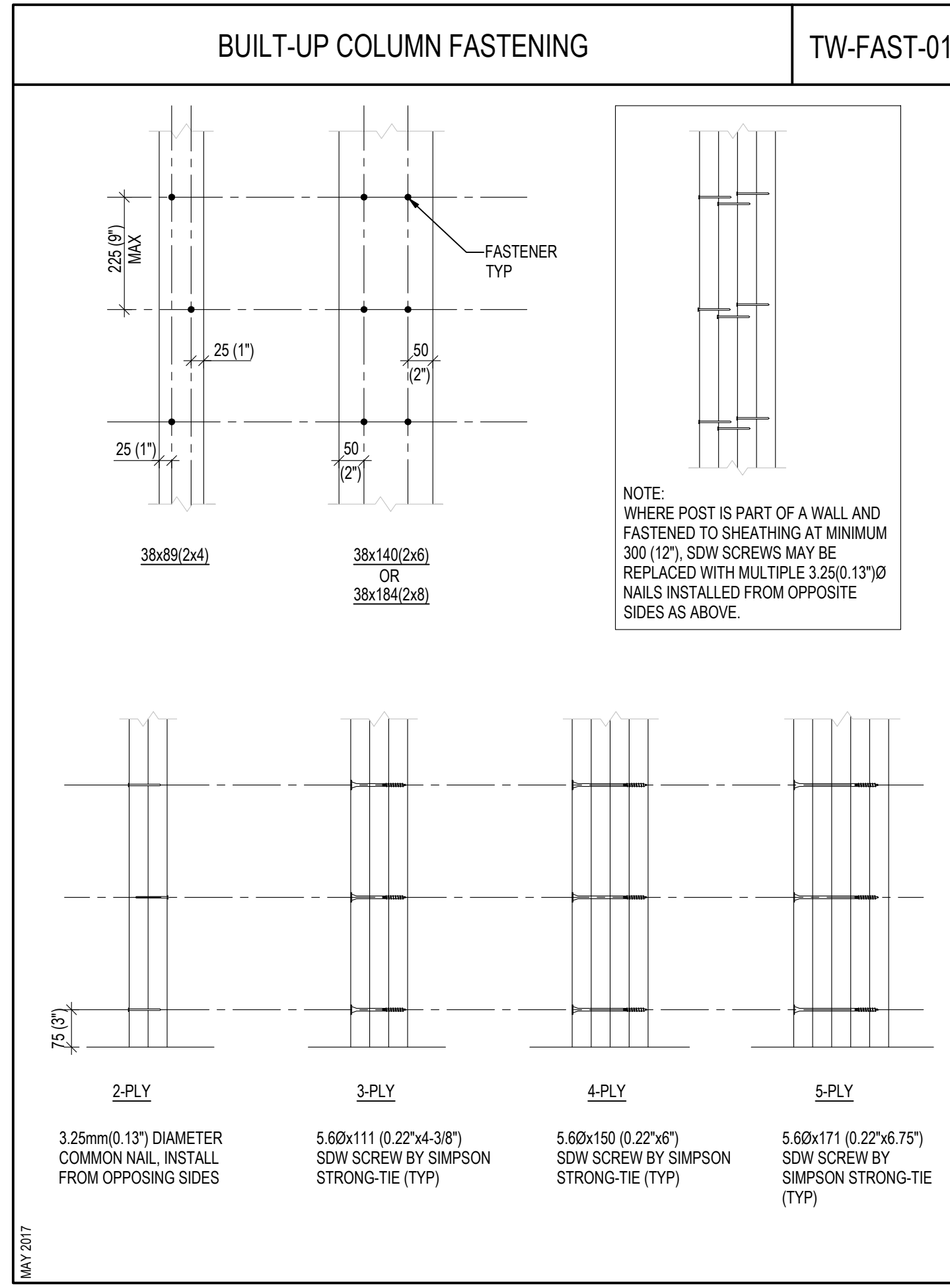
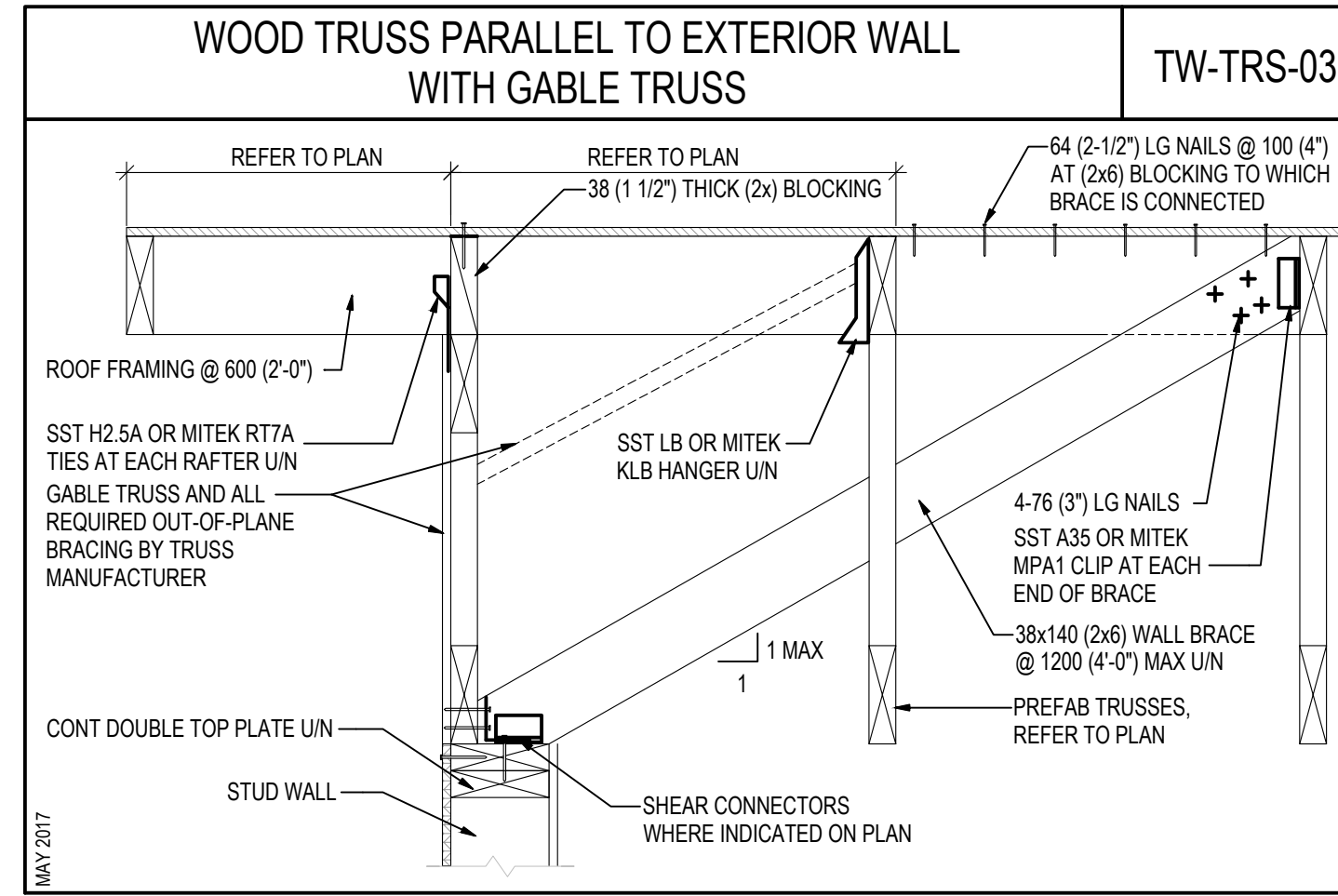
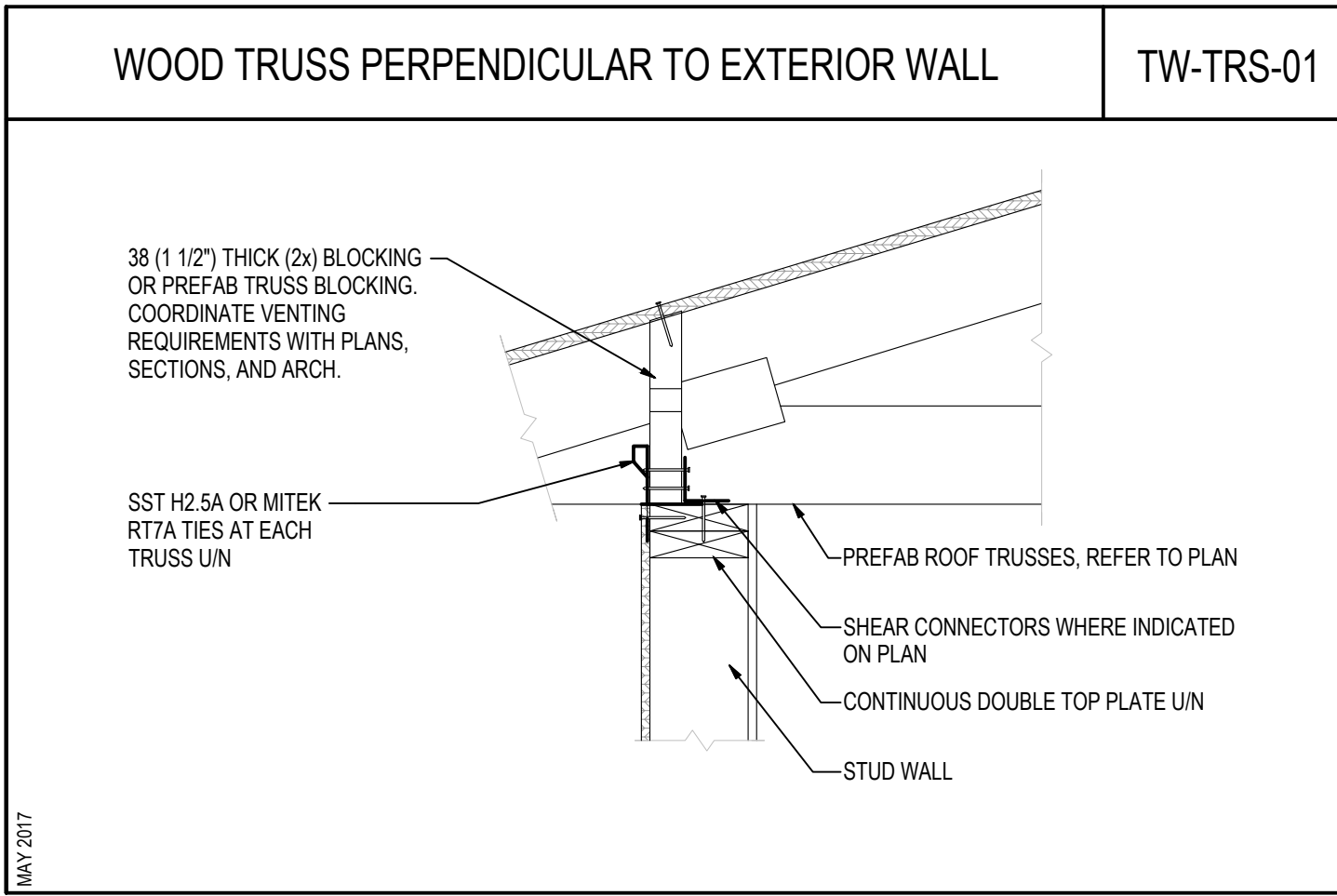
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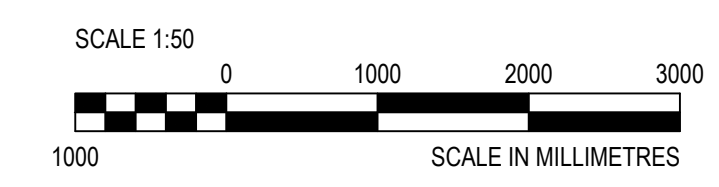
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TYPICAL DETAILS

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R.112456.001	S-1.03	3







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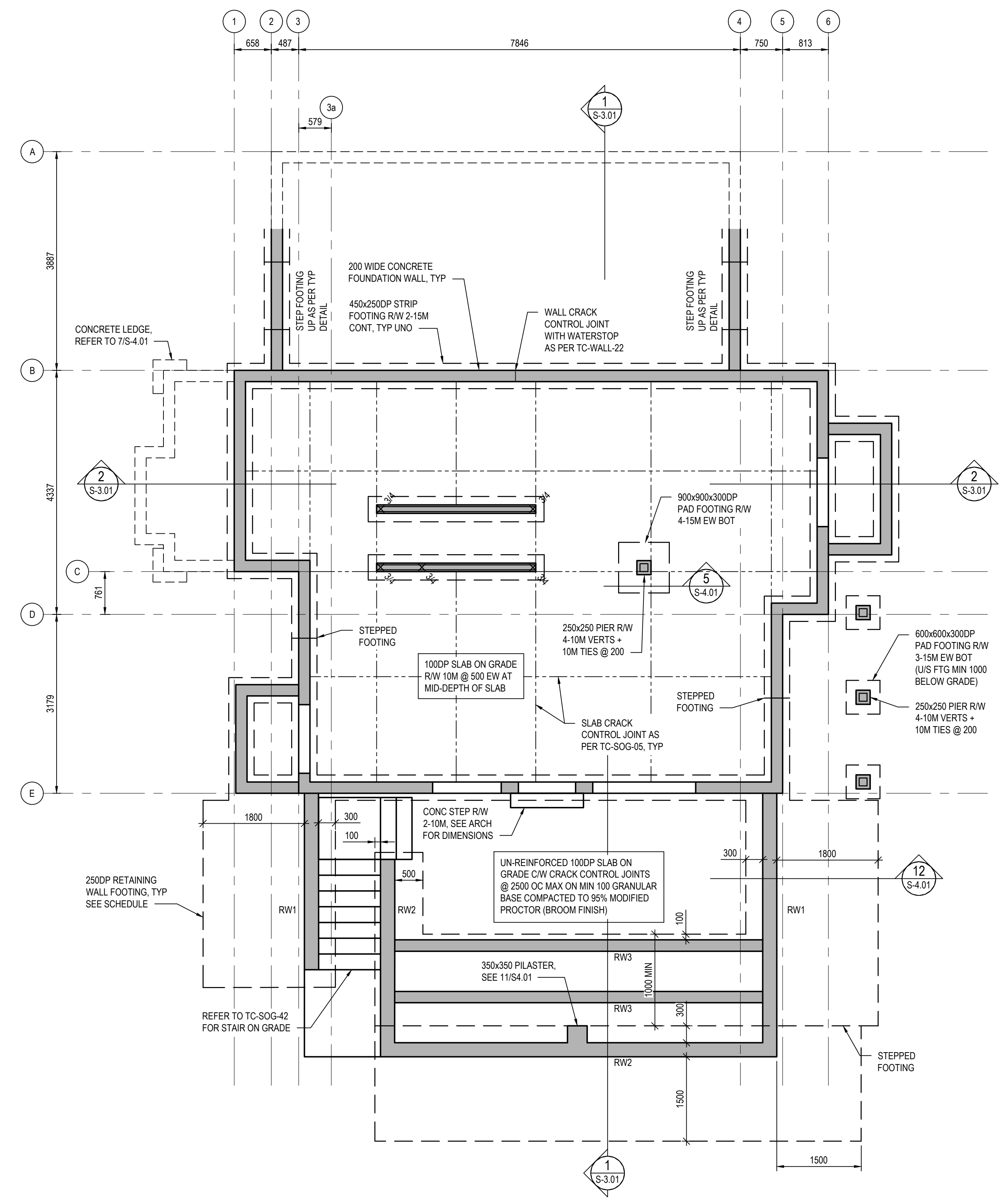
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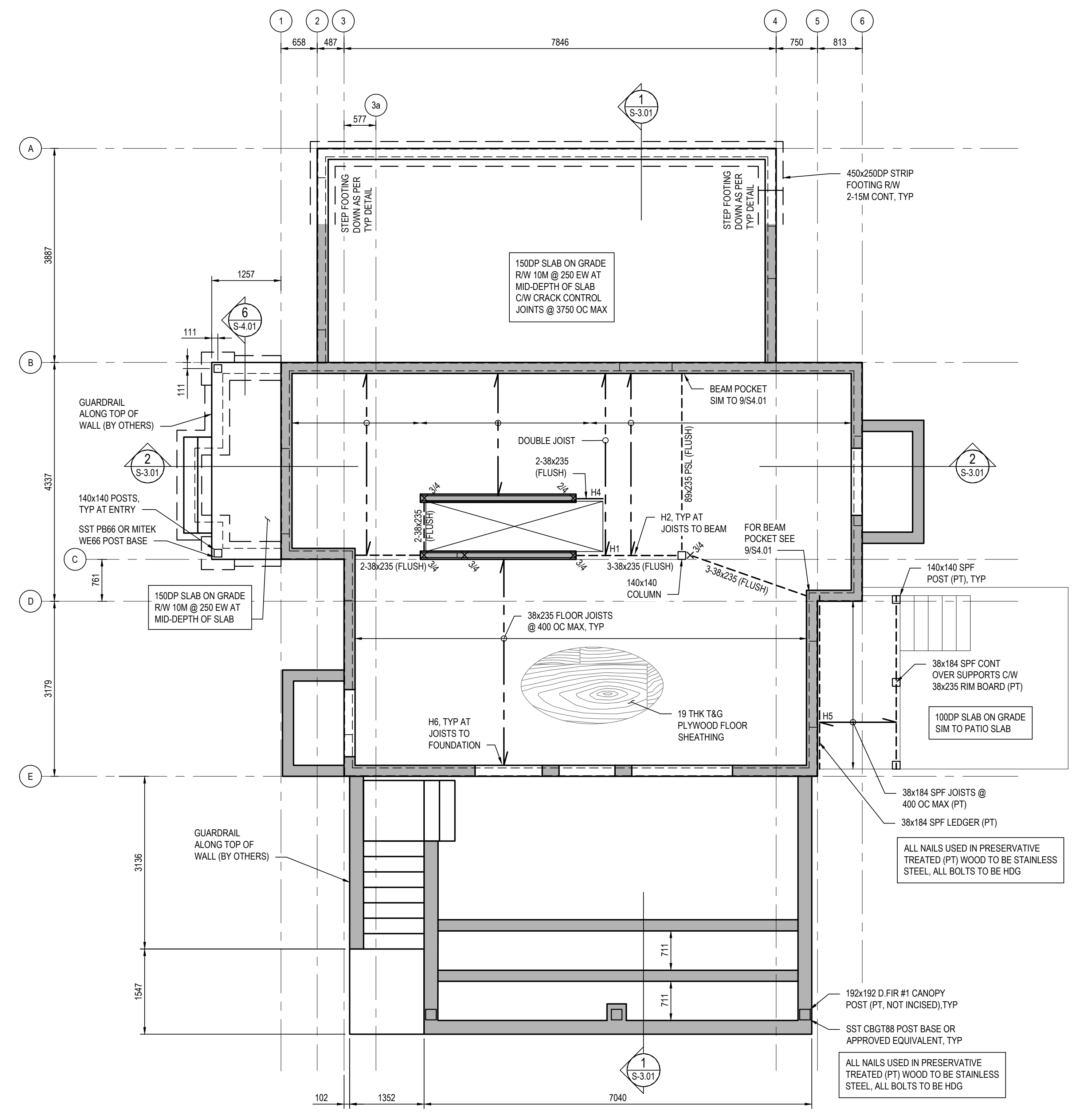
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 Drawn by/Dessiné par: **GINA MAJOR**  
 PWGSC Project Manager/Administrateur de Projets TPSGC: **PHILIP FUNG**  
 PWGSC Regional Manager, Architectural and Engineering Services / Gestionnaire régional, Services architecturaux et de génie, TPSGC: **PREETIPAL PAUL**

Drawing title/Titre du dessin:  
**NEW EMPLOYEE HOUSING SINGLE FAMILY HOUSE**  
**FOUNDATION PLAN AND MAIN FLOOR FRAMING PLAN**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
<b>R.112456.001</b>	<b>S-2.01</b>	<b>3</b>



**1 FOUNDATION / BASEMENT PLAN**  
 SCALE: 1:50



**2 BASEMENT PLAN SHOWING MAIN FLOOR FRAMING OVER**  
 SCALE: 1:50

**WOOD FRAMING LEGEND**

- WOOD BEAM
- WOOD FLOOR JOISTS
- PRE-ENGINEERED WOOD TRUSSES
- STUD WALLS

A = NO. OF PLYS IN BUILT-UP COL  
 B = NOMINAL STUD DEPTH (6 = 2x6)  
 A = NO. OF KING STUDS  
 B = NOMINAL STUD DEPTH (6 = 2x6)  
 XX = NO. OF CRIPPLES  
 [SC] = SINGLE CRIPPLE  
 [DC] = DOUBLE CRIPPLE  
 [TC] = TRIPLE CRIPPLE

**CONCRETE RETAINING WALL SCHEDULE**

MARK	WIDTH	WALL REINFORCING	FOOTING REINFORCING
RW1	250	15M@200 VOF 20M@200 VIF 10M@400 HEF	15M@400 BOT H1E 25M@200 TOP H2E
RW2	250	15M@300 VEF 10M@400 HEF	15M@400 BOT H1E 20M@250 TOP H2E
RW3	200	15M@400 VERT 10M@400 HORIZ	15M@400 BOT H1E 15M@400 TOP H2E

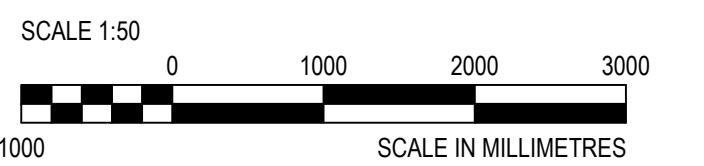
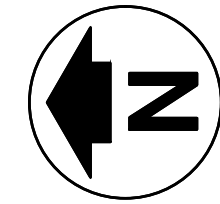
PROVIDE VERTICAL HOOKED DOWELS INTO FOOTING AT ALL VERTICAL WALL REINFORCING  
 SEE PLAN FOR FOOTING DIMENSIONS AND SEE SECTION FOR FURTHER DETAIL

**HANGER SCHEDULE**

MARK	HANGER	REMARKS
H1	SST LUS28-2 OR MITEK JUS28-2	6-16d NAILS TO SUPPORT 4-16d NAILS TO BEAM / JOIST
H2	SST HU610 OR MITEK HD610	16-16d NAILS TO SUPPORT 8-10d NAILS TO BEAM / JOIST 20-16d NAILS TO SUPPORT 10-16d NAILS TO BEAM / JOIST
H3	SST U210 OR MITEK SUH210	10-10d NAILS TO SUPPORT 6-10d@38LG NAILS TO BEAM / JOIST
H4	SST LUS28-2 OR MITEK JUS28-2	10d NAILS 16d NAILS
H5	SST LUS26 OR MITEK JUS26	10d@38LG NAILS TO SUPPORTING MEMBER
H6	SST .B210A OR MITEK HL210	4-10d@38LG NAILS TO NAILER

ALL STEEL OUTSIDE THE BUILDING ENVELOPE TO BE HOT-DIPPED GALVANIZED





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2	ISSUED FOR 100% REVIEW	2021-06-30
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 96% REVIEW	2021-05-03
Revision/Revisión	Description/Description	Date/Date

**Professional and Technical Services (PTS) PACIFIC REGION**

VANCOUVER, BC  
800 BURRARD ST.

Project title/Titre du projet

**New Residence, New Aiyansh, BC**

Consultant Signature Box Only

Designed by/Concept par  
**CHELSEA PATON, P.ENG**

Drawn by/Dessiné par  
**GINA MAJOR**

PWGSC Project Manager/Administrateur de Projets TPSGC

**PHILIP FUNG**  
PWGSC Regional Manager, Architectural and Engineering Services /  
Gestionnaire régionale, Services architecturaux et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin

**NEW EMPLOYEE HOUSING SINGLE FAMILY HOUSE**

**UPPER FLOOR AND ROOF FRAMING PLANS**

Project No./No. du projet

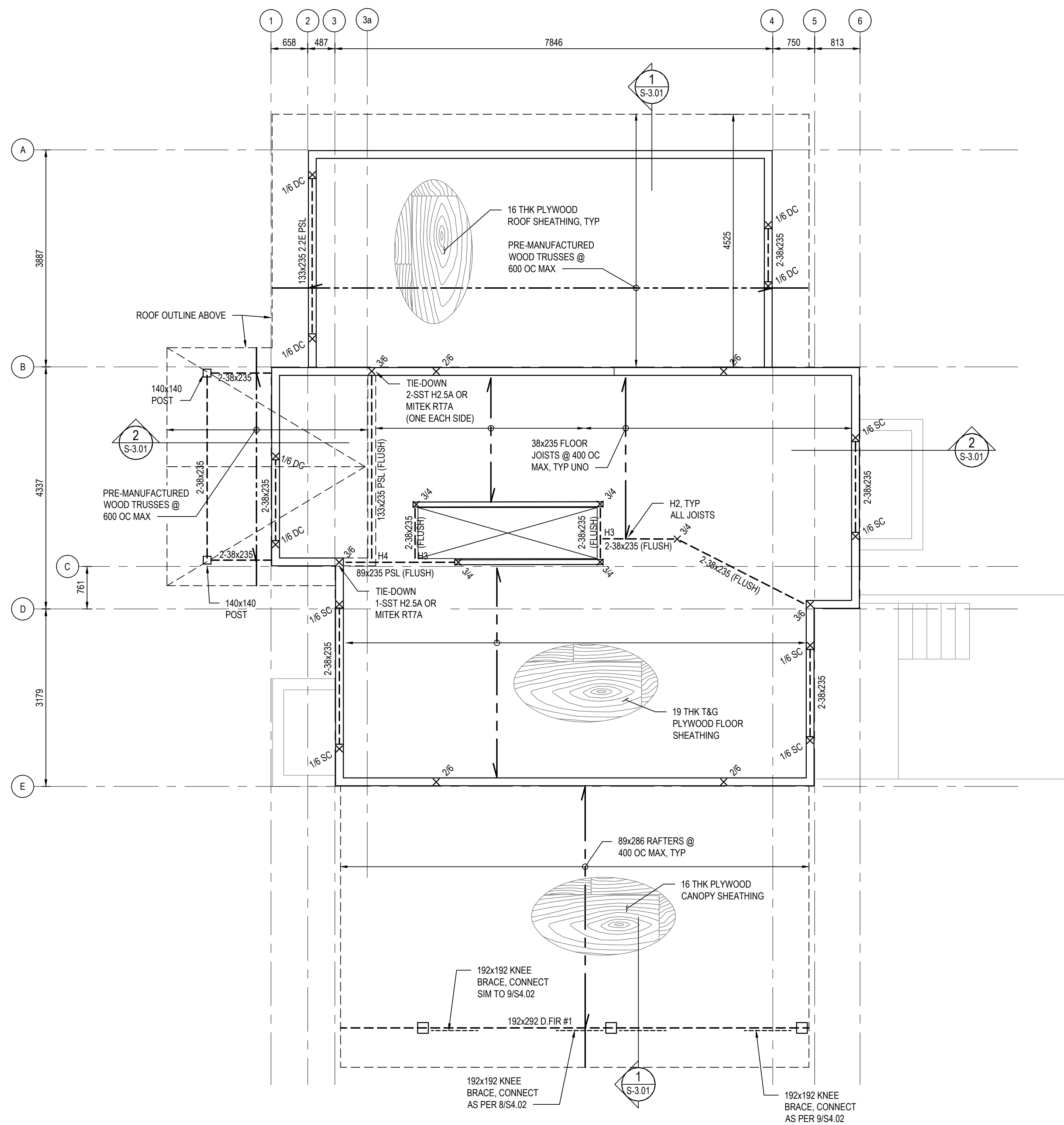
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Sheet/Feuille

**S-2.02**

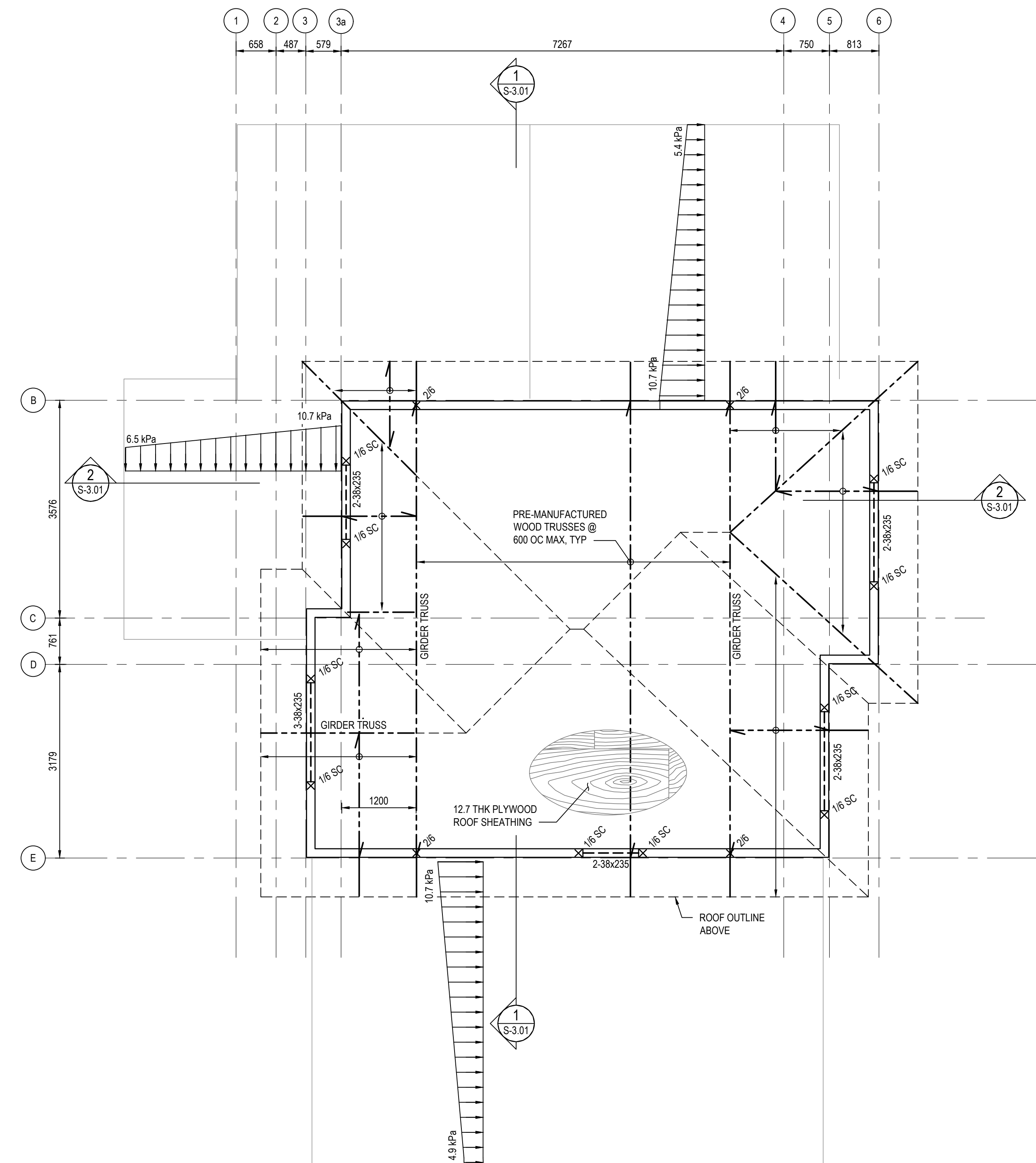
Revision no./  
La Révision  
no.

**3**



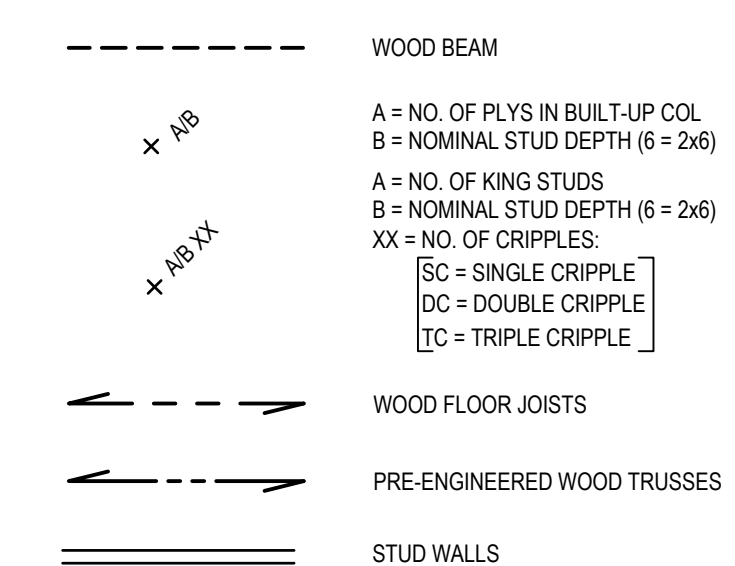
**1 MAIN FLOOR SHOWING UPPER FLOOR FRAMING OVER**  
SCALE: 1:50

ALL STEEL OUTSIDE THE BUILDING ENVELOPE TO BE HOT-DIPPED GALVANIZED



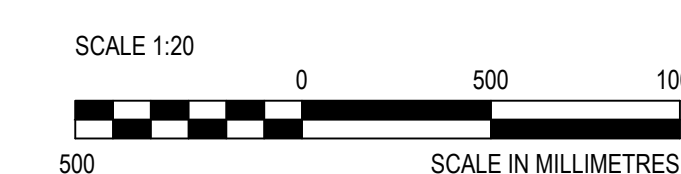
**2 UPPER FLOOR SHOWING ROOF FRAMING OVER**  
SCALE: 1:50

**WOOD FRAMING LEGEND**



HANGER SCHEDULE		
MARK	HANGER	REMARKS
H1	SST LUS28-2 OR MITEK JUS28-2	6-16d NAILS TO SUPPORT 4-16d NAILS TO BEAM / JOIST
H2	SST HU610 OR MITEK HD610	16-16d NAILS TO SUPPORT 8-10d NAILS TO BEAM / JOIST 20-16d NAILS TO SUPPORT 10-16d NAILS TO BEAM / JOIST
H3	SST U210 OR MITEK SUH210	16-16d NAILS TO SUPPORT 6-10dx38LG NAILS TO BEAM / JOIST
H4	SST LUS28-2 OR MITEK JUS28-2	16d NAILS 16d NAILS
H5	SST LUS26 OR MITEK JUS26	10dX38LG NAILS TO SUPPORTING MEMBER
H6	SST JB210A OR MITEK HL210	4-10dX38LG NAILS TO NAILER





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**Professional and Technical  
Services (PTS)  
PACIFIC REGION**

**VANCOUVER, BC  
800 BURRARD ST.**

Project title/Titre du projet

**New Residence,  
New Aiyansh, BC**

Consultant Signature Box Only

Designed by/Concept par  
**CHELSEA PATON, P.ENG**

Drawn by/Dessiné par  
**GINA MAJOR**

PWSSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**

PWSSC Regional Manager, Architectural and Engineering Services/  
Gestionnaire régionale, Services d'architecture et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin

**NEW EMPLOYEE HOUSING  
SINGLE FAMILY HOUSE**

**BUILDING SECTION**

Project No./No. du projet

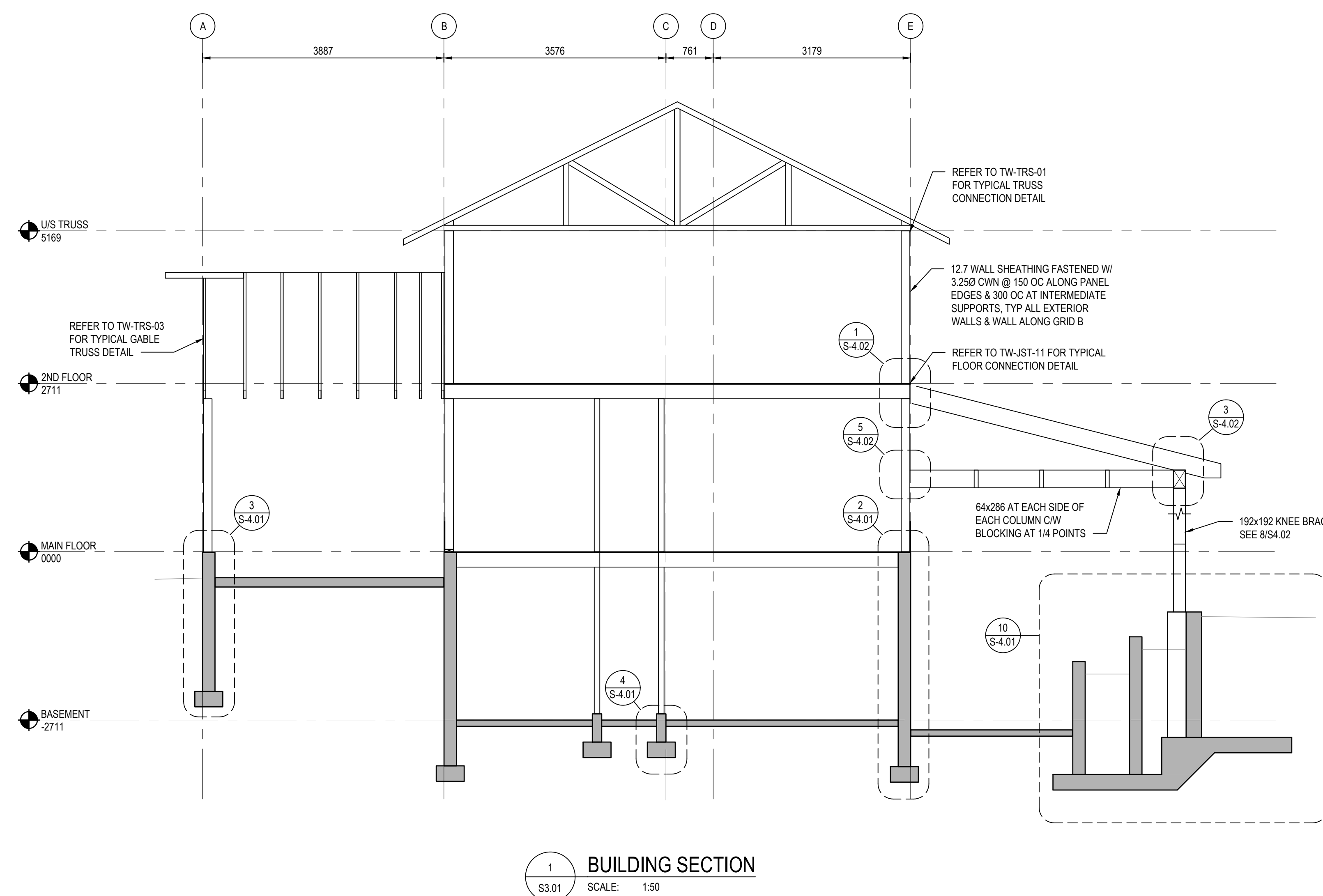
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Sheet/ Feuille

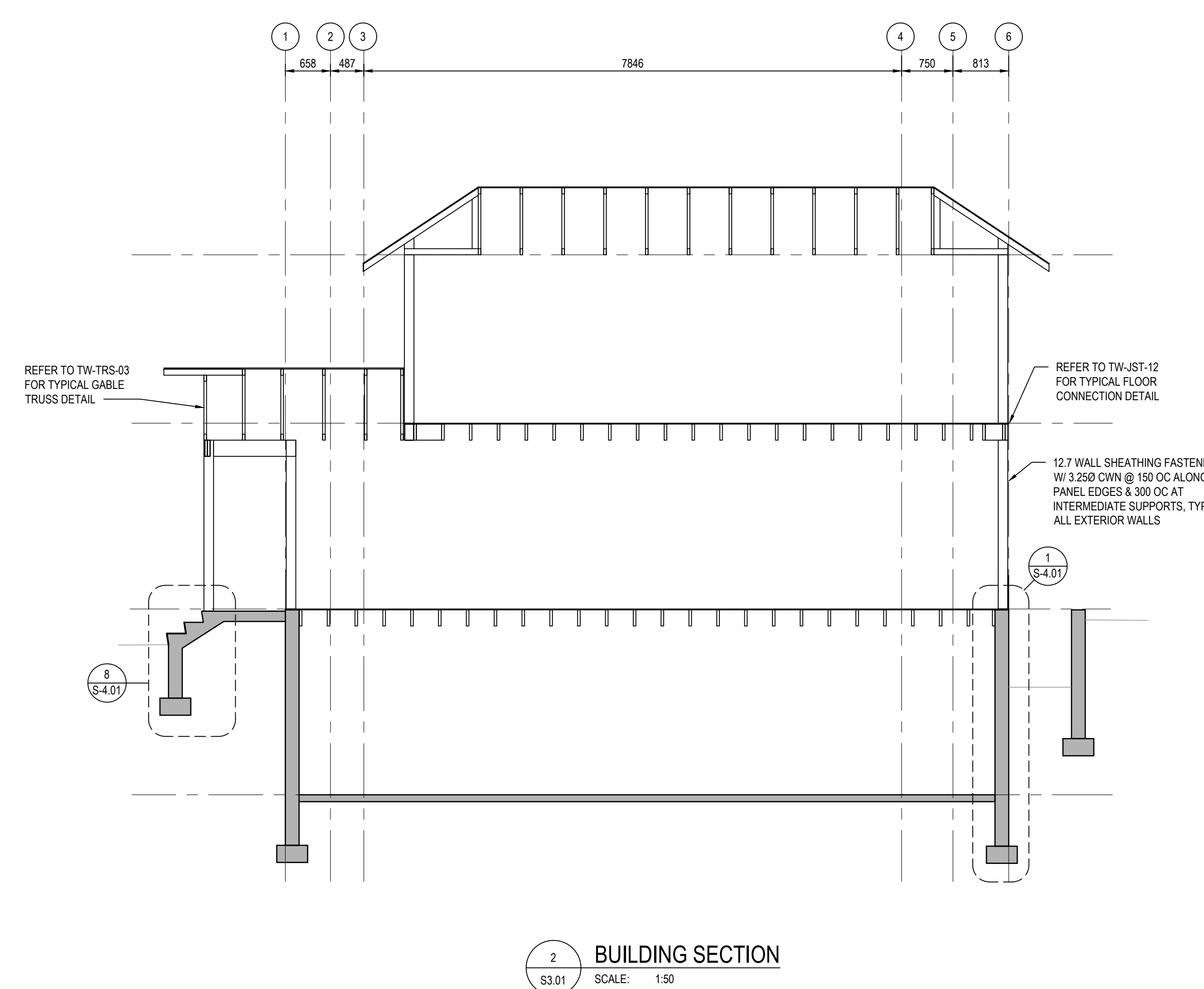
**S-3.01**

Revision no./  
La Révision  
no.

**3**

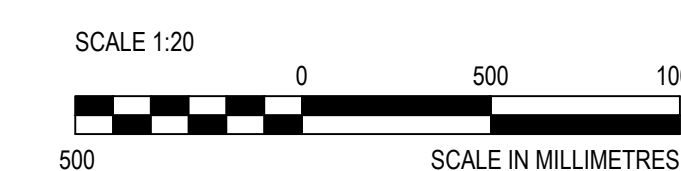


**1 BUILDING SECTION**  
S3.01 SCALE: 1:50



**2 BUILDING SECTION**  
S3.01 SCALE: 1:50





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**Professional and Technical Services (PTS)  
PACIFIC REGION**

VANCOUVER, BC  
800 BURRARD ST.

Project title/Titre du projet

**New Residence,  
New Aiyansh, BC**

Consultant Signature Box Only

Designed by/Concept par  
**CHELSEA PATON, P. ENG.**

Drawn by/Dessiné par  
**GINA MAJOR**

PWGS/C Project Manager/Administrateur de Projets TPS/GC

**PHILIP FUNG**  
PWGS/C Regional Manager, Architectural and Engineering Services/  
Gestionnaire régional, Services architecturaux et de génie, TPS/GC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin

**NEW EMPLOYEE HOUSING  
SINGLE FAMILY HOUSE**

**FOUNDATION SECTIONS**

Project No./No. du projet

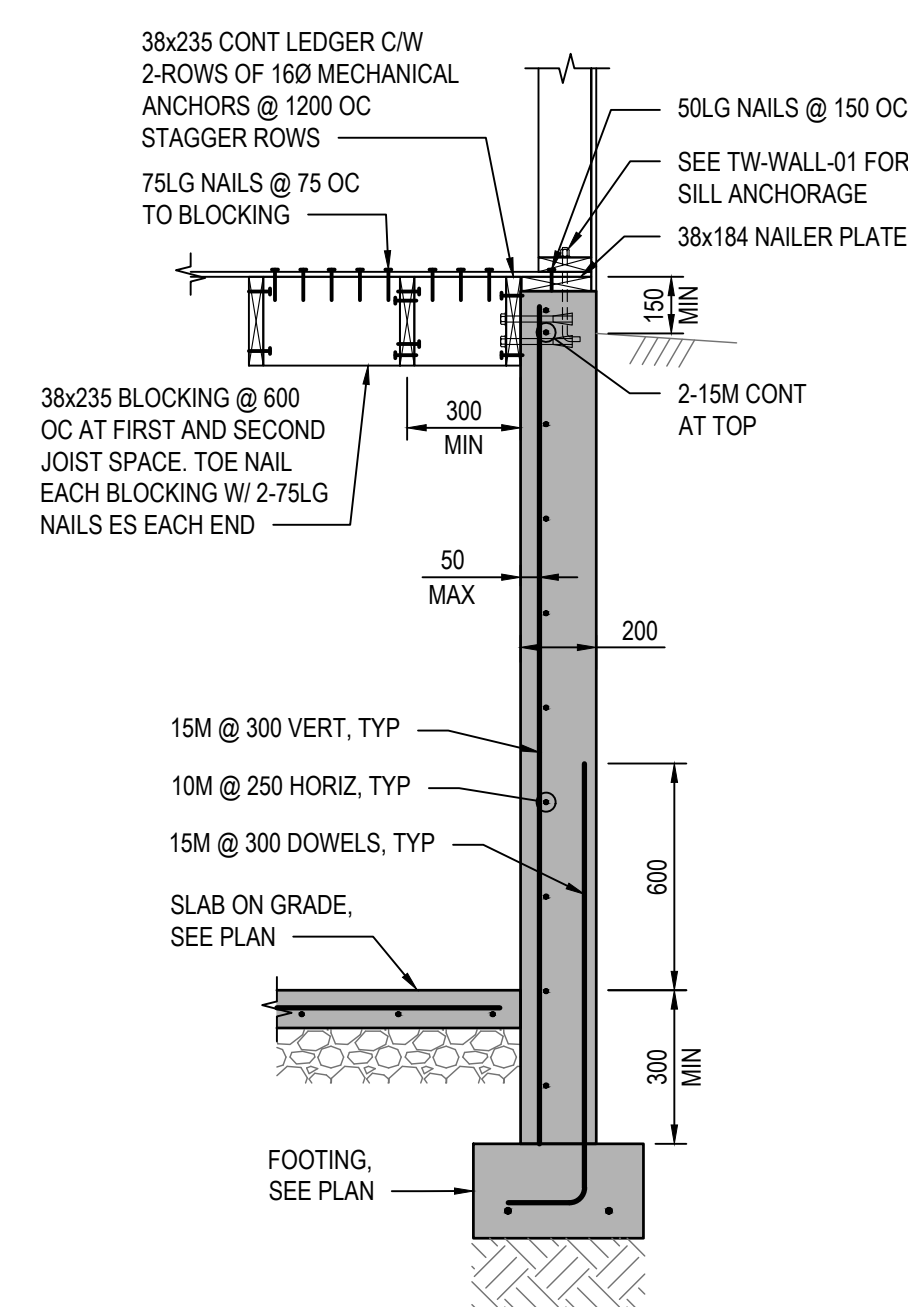
**R.112456.001**

Sheet/ Feuille

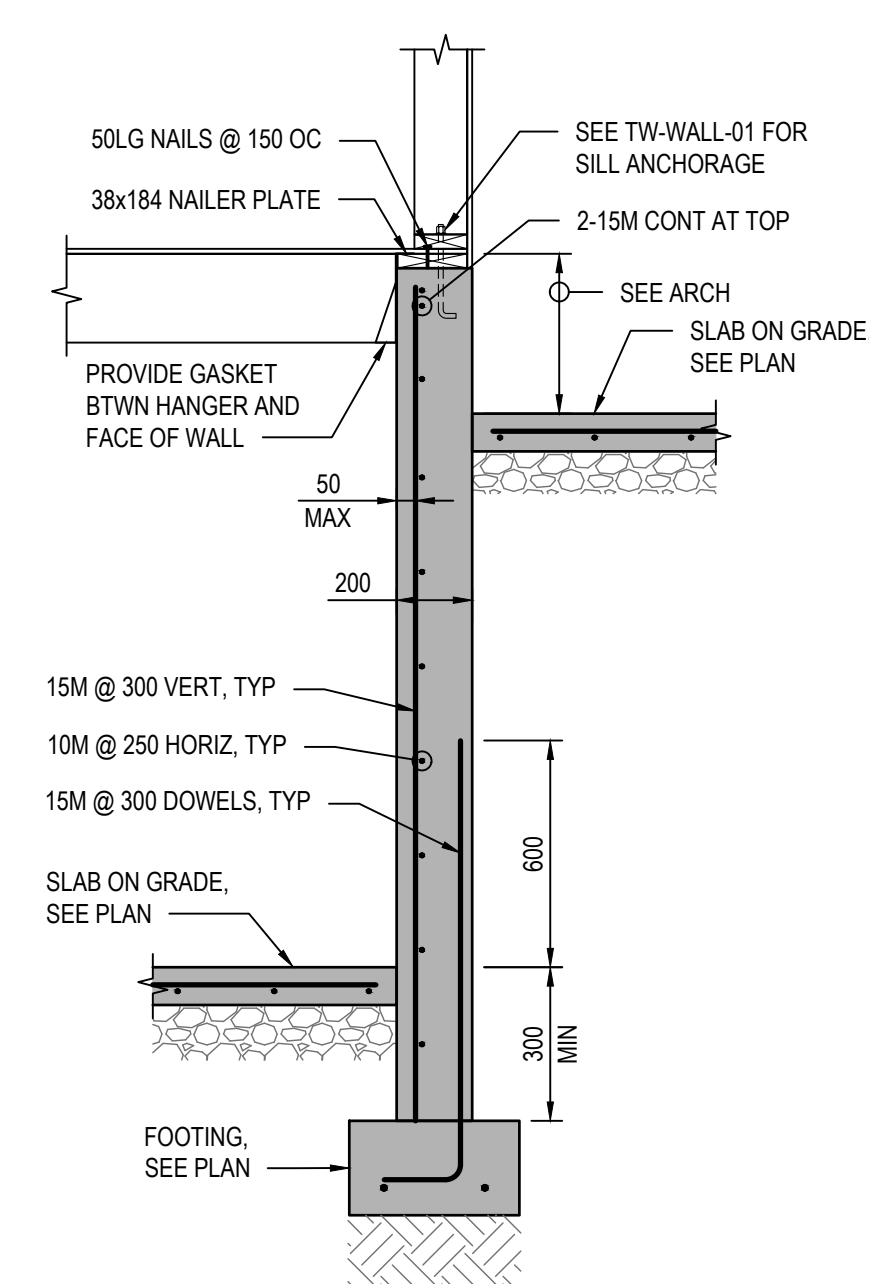
**S-4.01**

Revision no./  
La Révision  
no.

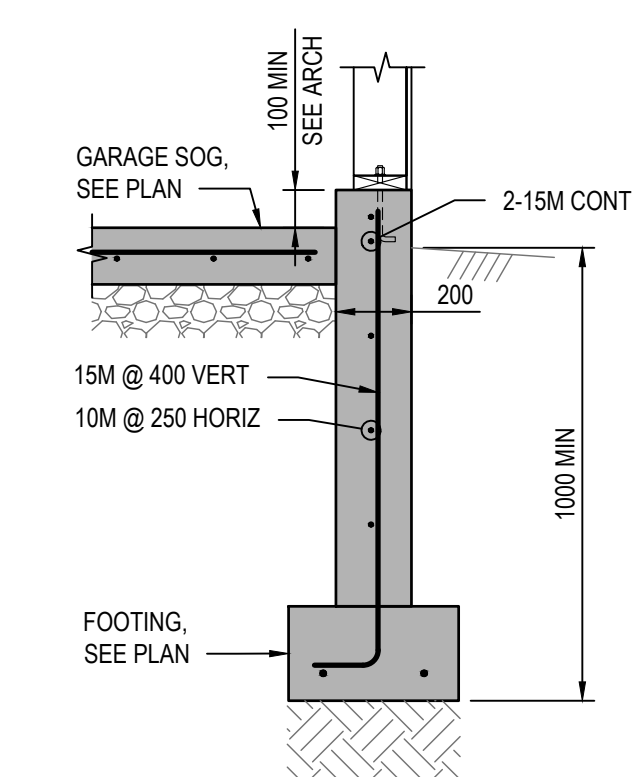
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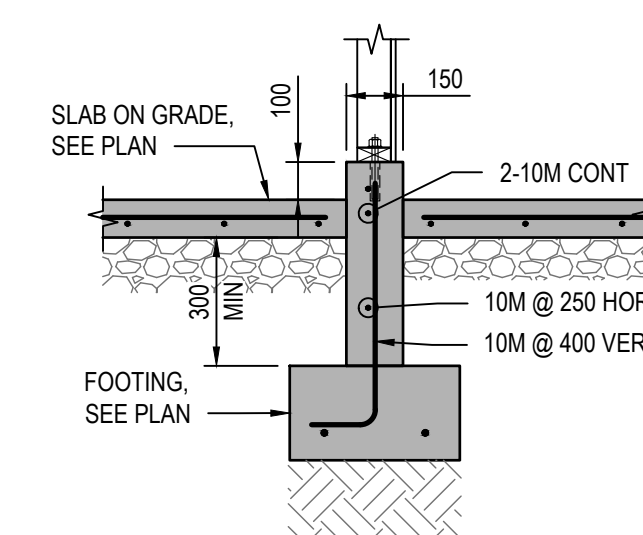
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S-4.01 SCALE: 1:20



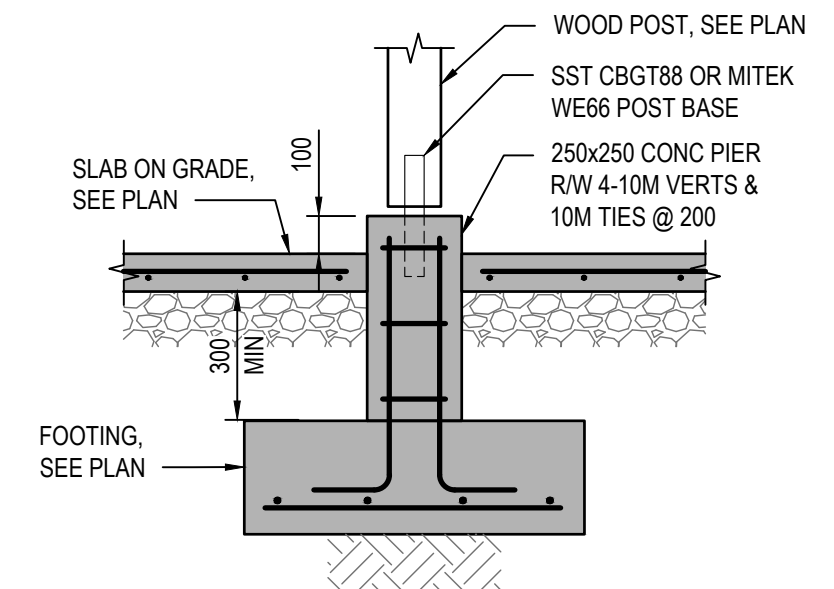
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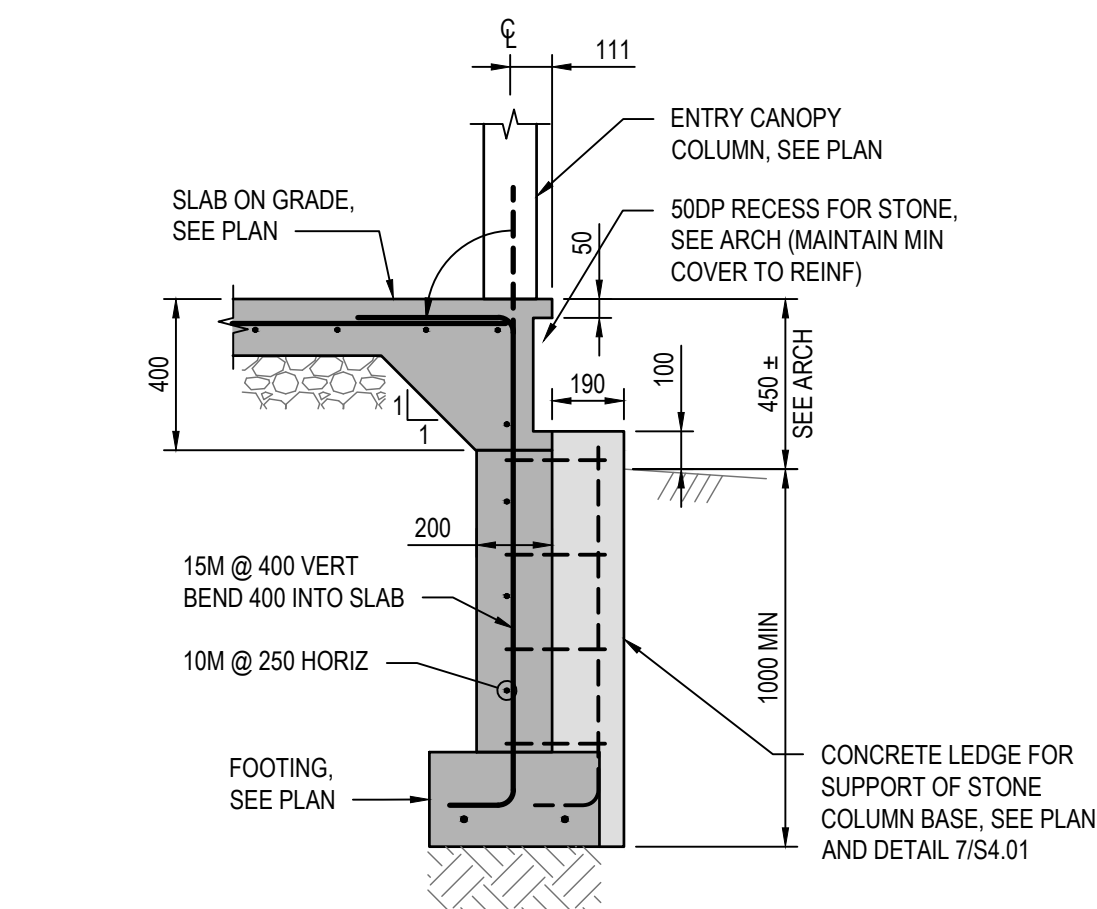
**3 SECTION**  
S-4.01 SCALE: 1:20



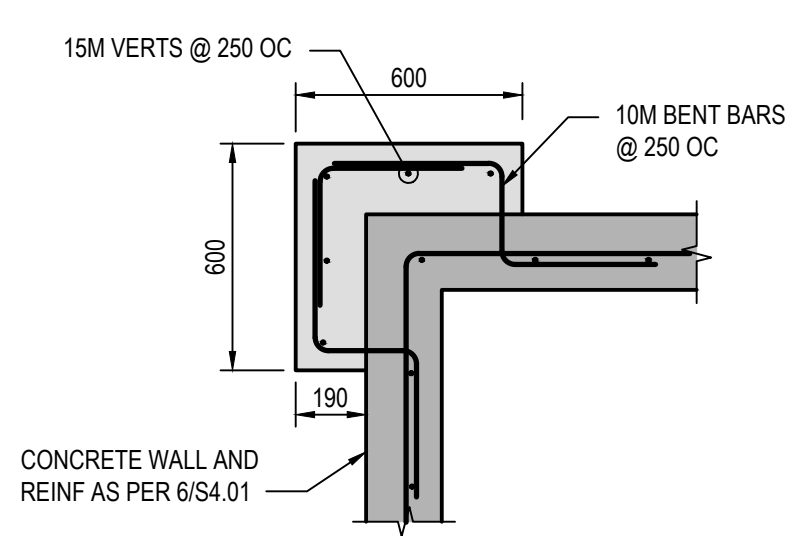
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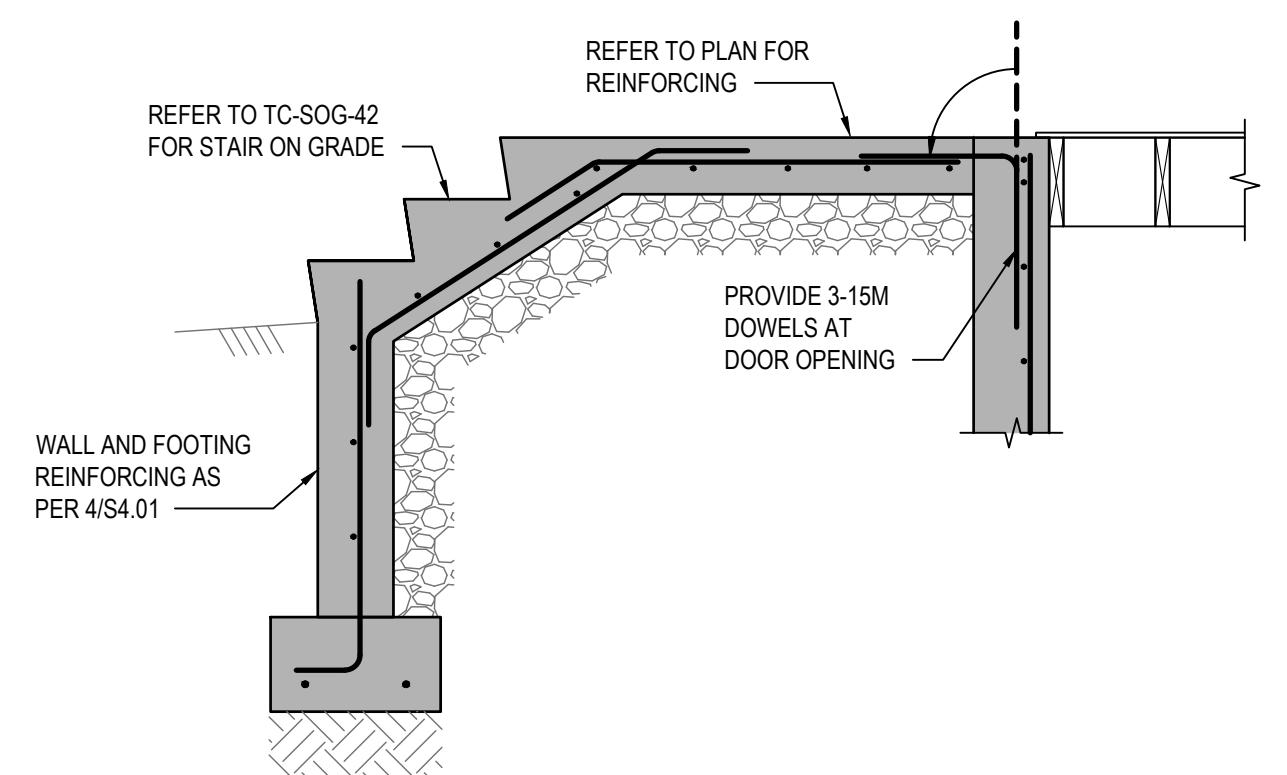
**5 SECTION**  
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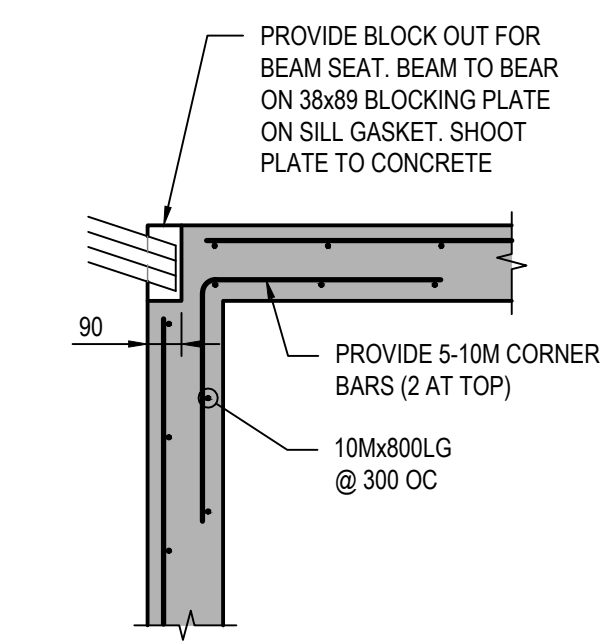
**6 SECTION AT FRONT ENTRY COLUMN**  
S-4.01 SCALE: 1:20



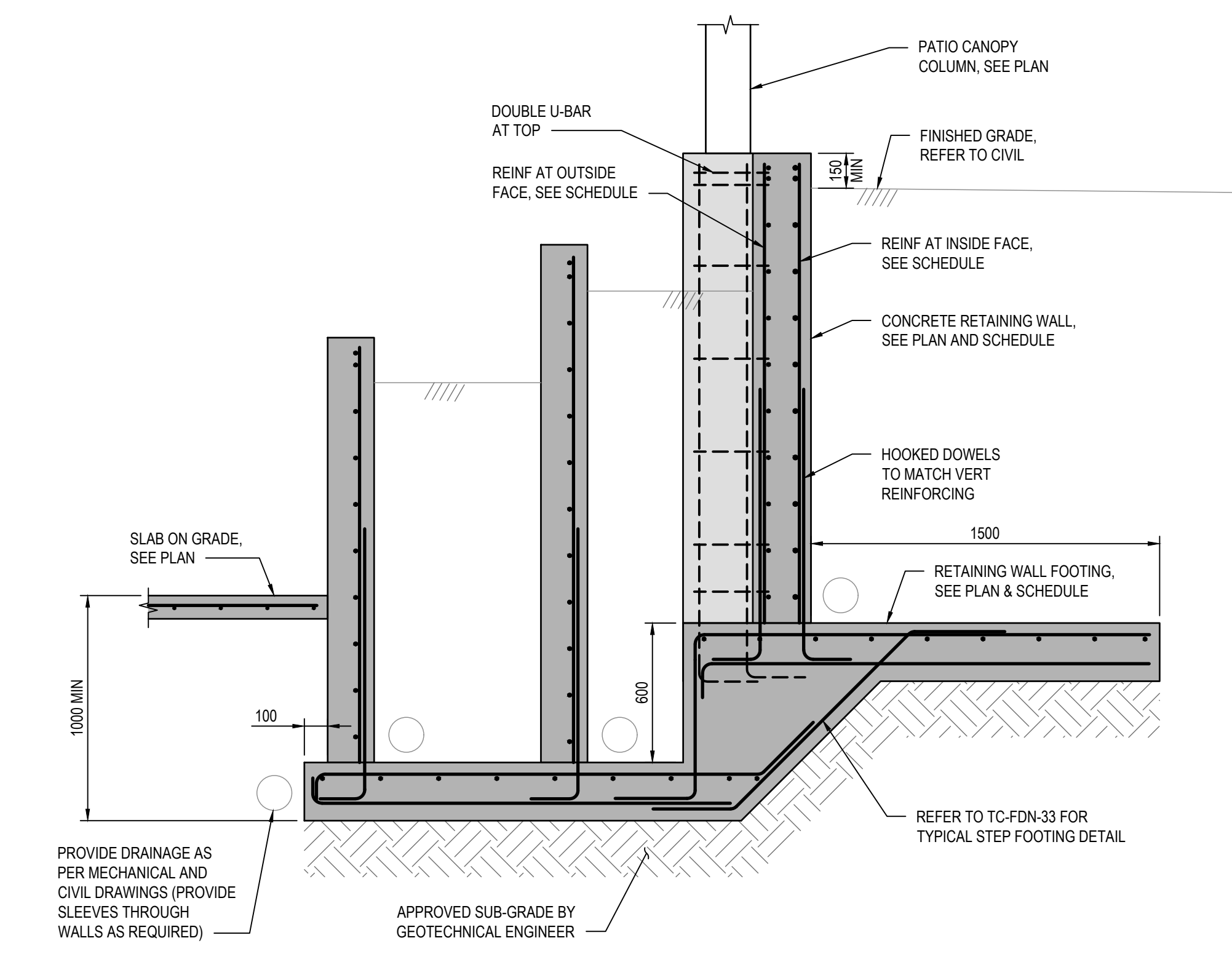
**7 PLAN DETAIL**  
S-4.01 SCALE: 1:20



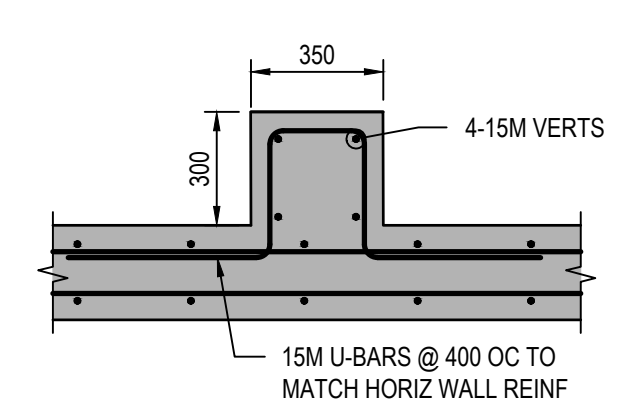
**8 SECTION AT FRONT ENTRY STAIR**  
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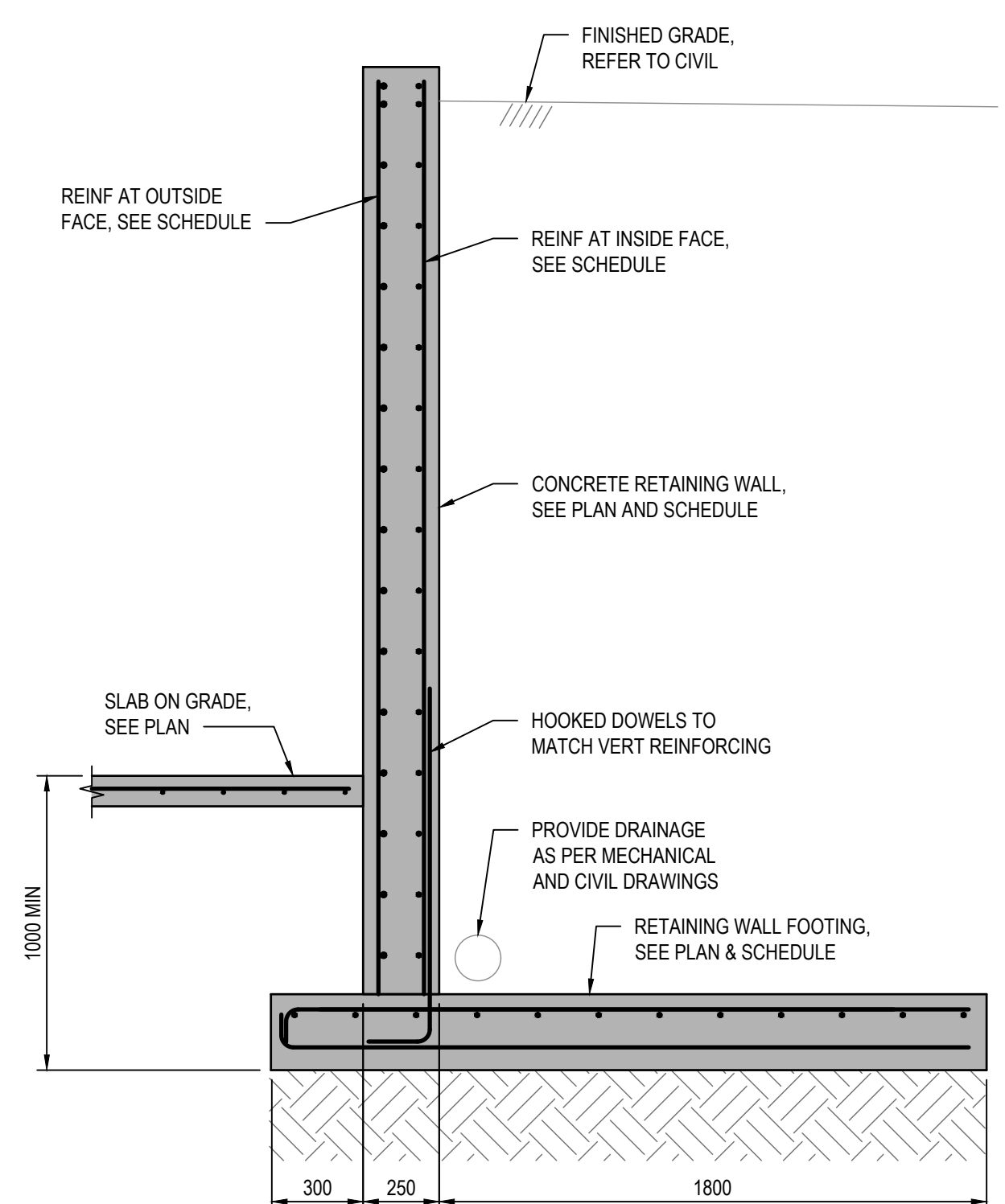
**9 BEAM POCKET**  
S-4.01 SCALE: 1:20



**10 SECTION**  
S-4.01 SCALE: 1:20

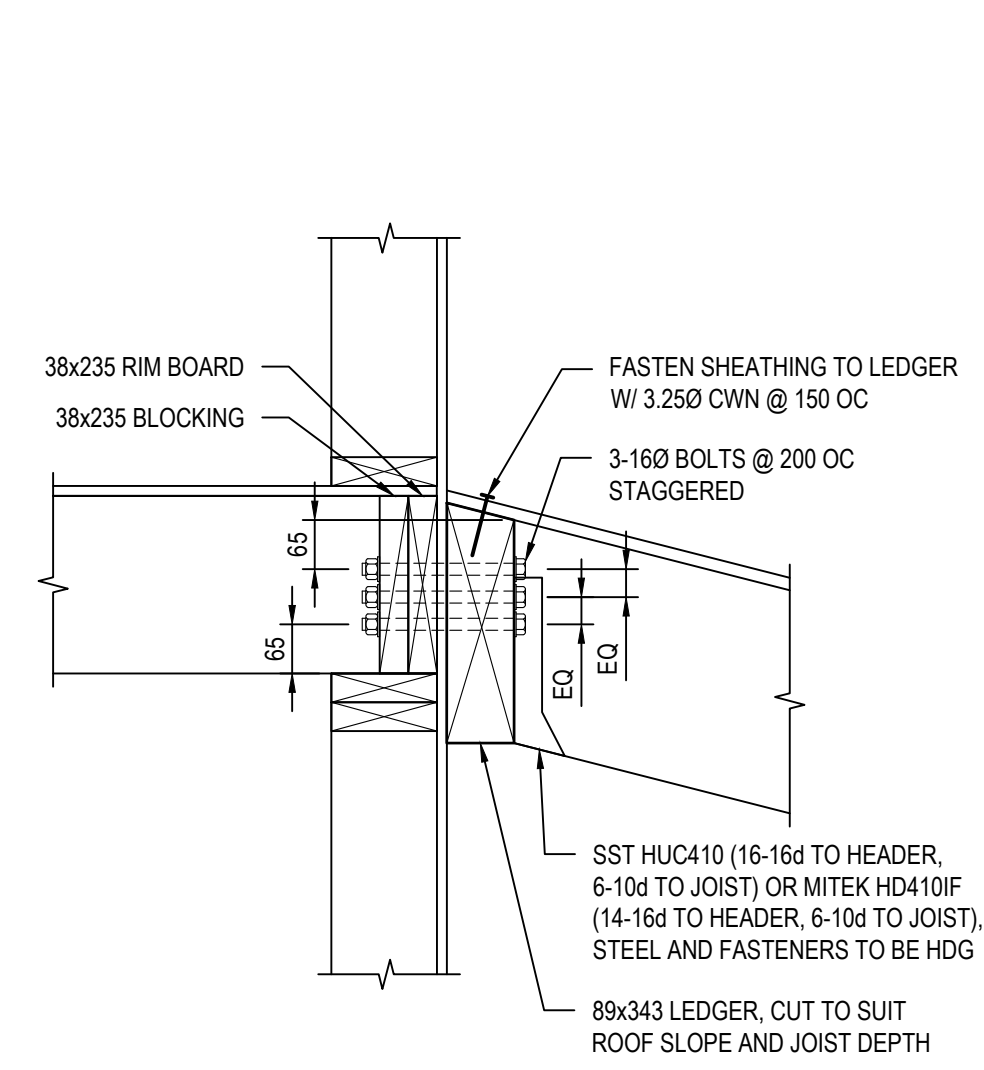


**11 PILASTER PLAN DETAIL**  
S-4.01 SCALE: 1:20

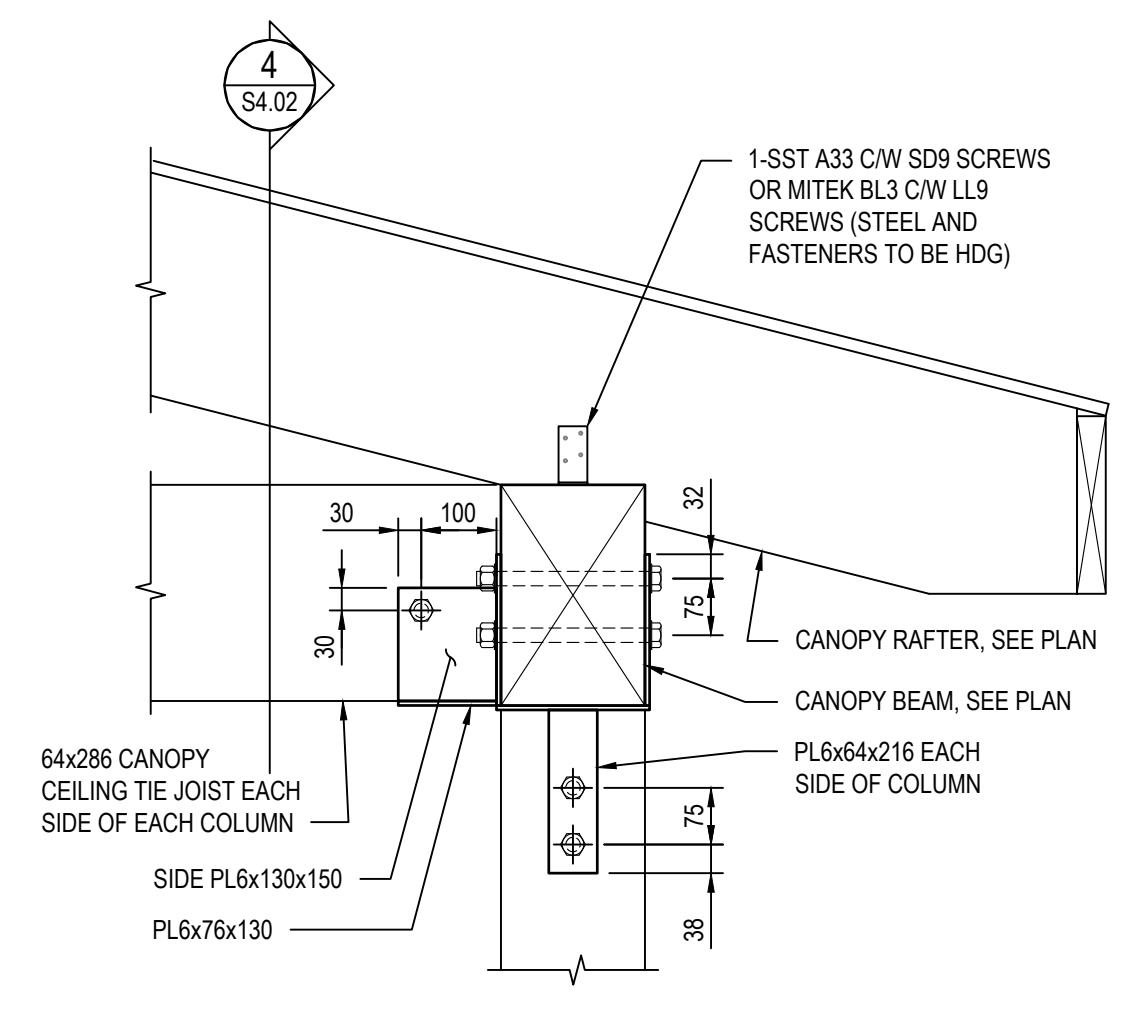


**12 SECTION**  
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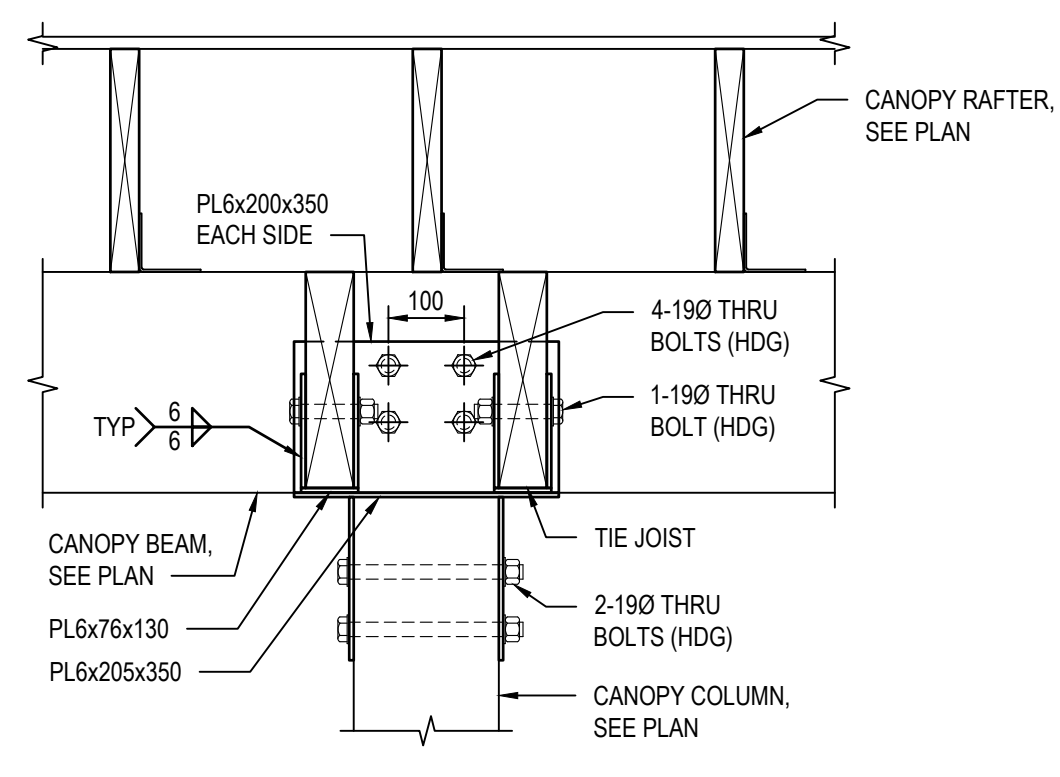




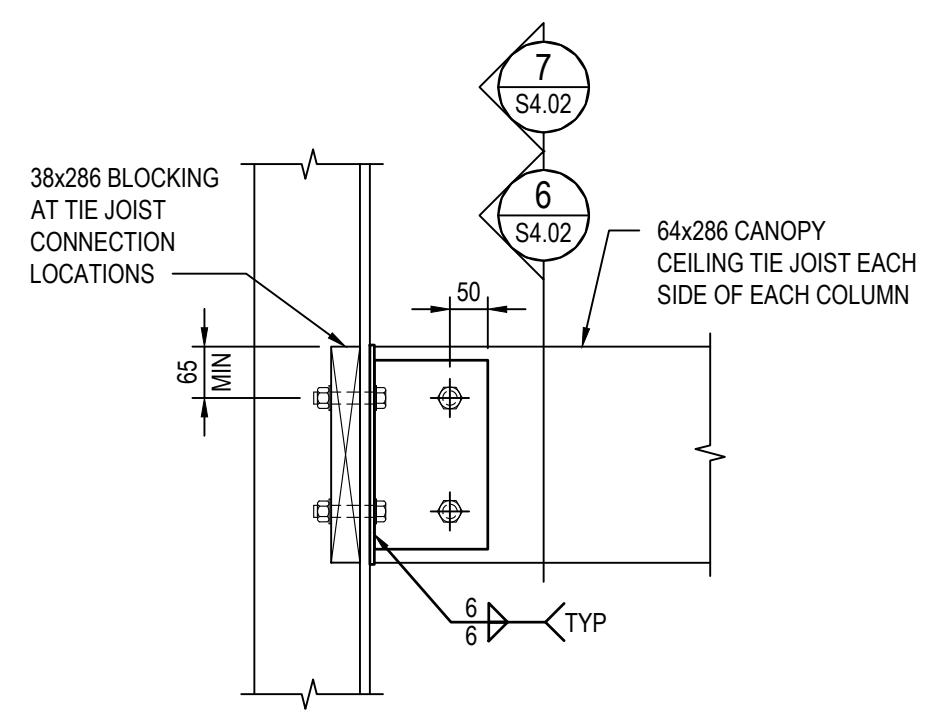
1 CANOPY RAFTER AT WALL  
S4.02 SCALE: 1:10



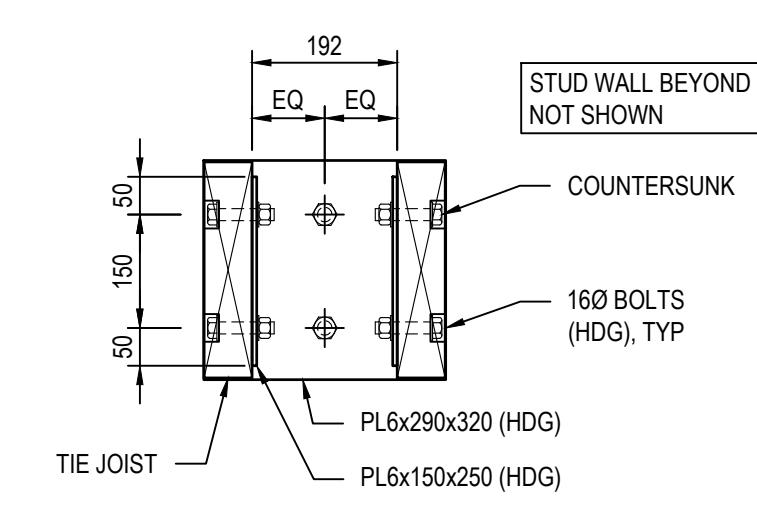
3 CANOPY SECTION AT COLUMN  
S4.02 SCALE: 1:10



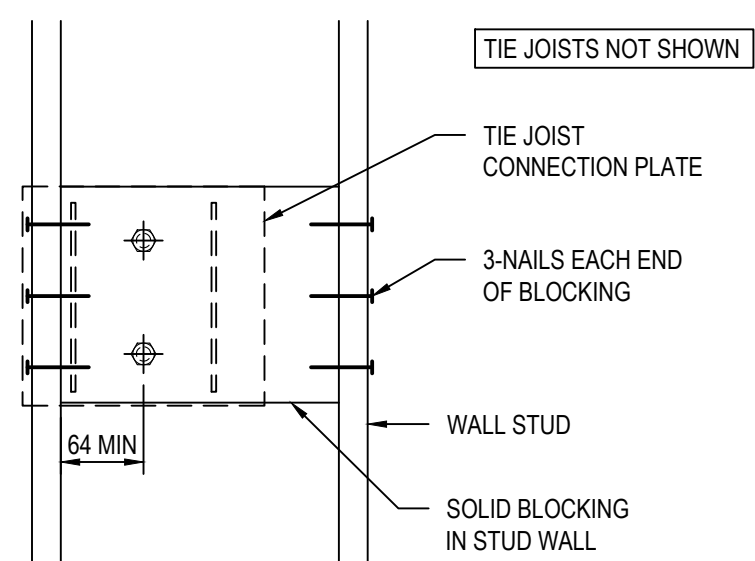
4 CANOPY SECTION  
S4.02 SCALE: 1:10



5 CANOPY TIE JOIST  
S4.02 SCALE: 1:10

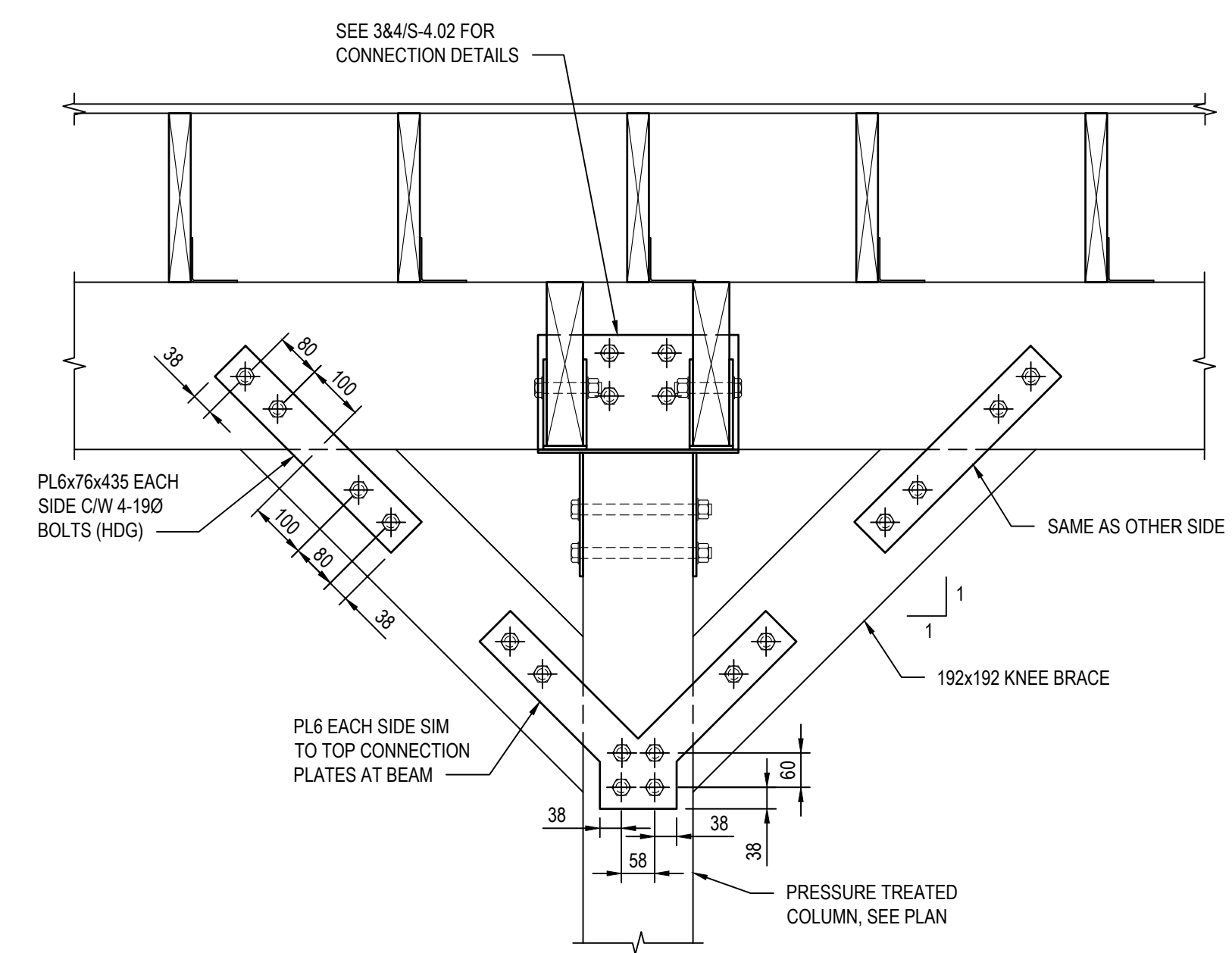


6 CANOPY TIE JOIST  
S4.02 SCALE: 1:10

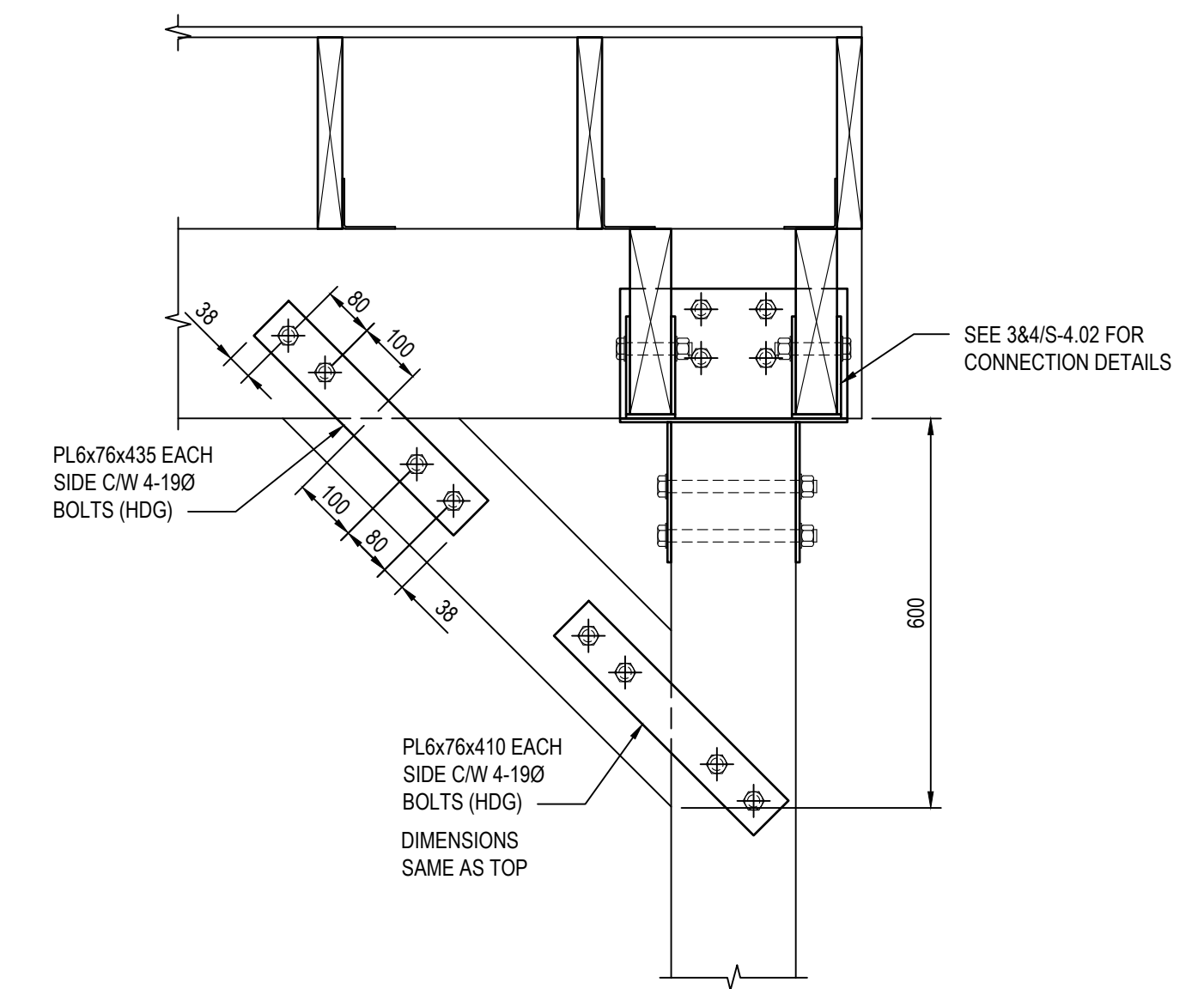


7 CANOPY TIE JOIST  
S4.02 SCALE: 1:10

ALL STEEL AND FASTENERS OUTSIDE THE BUILDING ENVELOPE TO BE HOT-DIPPED GALVANIZED  
ALL NAILS USED IN PRESERVATIVE TREATED (PT) WOOD TO BE STAINLESS STEEL



8 KNEE BRACE CONNECTION  
S4.02 SCALE: 1:10



9 KNEE BRACE CONNECTION  
S4.02 SCALE: 1:10



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Professional and Technical Services (PTS) PACIFIC REGION  
VANCOUVER, BC  
800 BURRARD ST.

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**  
Consultant Signature Box Only  
Designed by/Concept par  
**CHELSEA PATON, P.ENG**  
Drawn by/Dessiné par  
**GINA MAJOR**  
PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC Regional Manager, Architectural and Engineering Services / Gestionnaire régionale, Services d'architecture et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**NEW EMPLOYEE HOUSING SINGLE FAMILY HOUSE**  
**WOOD FRAMING SECTIONS**

Project No./No. du projet <b>R.112456.001</b>	Sheet/ Feuille <b>S-4.02</b>	Revision no./ La Révision no. <b>3</b>
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**Public Services and Procurement Canada (PSPC)**  
**VANCOUVER, BC**  
**800 BURREARD ST.**

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

Consultant Signature Box Only

Designed by/Concept par  
**CH**

Drawn by/Dessiné par  
**HCP**

PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC, Regional Manager, Architectural and Engineering Services /  
Gestionnaire régional, Services d'architectural et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**LEGEND, DRAWING LIST & SCHEDULES**

Project No./No. du projet <b>R.112456.001</b>	Sheet / Feuille <b># M0.1</b>	Revision no./ La Révision no. <b>3</b>
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**PLUMBING LEGEND**

**DRAWING SYMBOLS:**

	HOSE BIBB
	FLOOR DRAIN
	HUB DRAIN
	AREA DRAIN
	P-TRAP (UNDER SINK)
	P-TRAP (UNDER FLOOR)
	CLEANOUT TO GRADE
	CLEANOUT
	COLD WATER
	HOT WATER
	HOT WATER RECIRCULATION
	SANITARY PIPING UNDER FLOOR
	SANITARY PIPING ABOVE FLOOR
	STORM PIPING UNDER FLOOR
	STORM PIPING ABOVE FLOOR
	PERIMETER DRAIN
	PLUMBING VENT
	VENT TO ROOF

**ABBREVIATIONS:**

AD	AREA DRAIN
B OR BT	BATHTUB
C	COLD WATER
CB	CATCH BASIN
CI	CAST IRON
CO	CLEANOUT
COTG	CLEANOUT TO GRADE
FD	FLOOR DRAIN
H	HOT WATER
HWT	HOT WATER TANK
HB	HOSE BIBB
HD	HUB DRAIN
INV.	INVERT
JS	KITCHEN SINK
L or LB	LAVATORY BASIN
MH	MANHOLE
R	HOT WATER RECIRCULATION
RWL	RAIN WATER LEADER
RWP	RAIN WATER PIPE
S	SINK
SAN	SANITARY PIPING
SH	SHOWER
SS	STAINLESS STEEL
VTR	VENT TO ROOF
WC	WATER CLOSET

**DRAWING SYMBOLS:**

	RECTANGULAR DUCT, SIDE FACING x DEPTH
	ROUND DUCT
	BRANCH DUCT, SIZE AS NOTED
	SUPPLY AIR DUCT, TOWARD, AWAY
	RETURN AIR, TOWARD, AWAY
	EXHAUST AIR, TOWARD, AWAY
	OUTDOOR AIR, TOWARD, AWAY
	ROUND DUCT, TOWARD, AWAY
	ROUND DUCT TAKEOFF TO ROUND, SIDE
	BALANCE DAMPER
	CONCEALED BALANCE DAMPER
	DUCT BREAK
	RETURN GRILLE
	EXHAUST GRILLE
	SIDEWALL GRILLE
	THERMOSTAT
	FLOW DIRECTION
	CONTROL WIRING
	DUCT HEATER
	REFRIGERANT LIQUID
	REFRIGERANT SUCTION
	DIFFUSER TAG
	AIRFLOW (L/s)
	NECK/GRILLE SIZE (mm)
	NUMBER OF
	EXHAUST FAN W/GRILLE
	RANGE HOOD

**ABBREVIATIONS:**

AC or ACU	AIR CONDITIONING UNIT
BD	BALANCE DAMPER
CD	CONTROL DAMPER
CFM	CUBIC FEET / MINUTE
DG	DOOR GRILLE
E/A	EXHAUST AIR
EF	EXHAUST FAN
EG	EXHAUST GRILLE
ER	EXHAUST REGISTER
FD	FIRE DAMPER
HC	HEATING COIL
HP	HEAT PUMP
L/s	LITRES PER SECOND
O/A	OUTDOOR AIR
R/A	RETURN AIR
RF	RETURN FAN
RG	REFRIGERANT GAS
RG	RETURN GRILLE
RL	REFRIGERANT LIQUID
RR	RETURN REGISTER
S/A	SUPPLY AIR
SF	SUPPLY FAN
SG	SUPPLY GRILLE
SS	STAINLESS STEEL
T/A	TRANSFER AIR
TG	TRANSFER GRILLE
TSTAT	THERMOSTAT

**GENERAL SYMBOLS:**

	PIPE CONNECTION		REDUCER (PIPE OR DUCT)		GLOBE VALVE		PRESSURE REGULATING VALVE
	PIPE TEE DOWN		FLANGE		FLOW SWITCH		65 ANGLE HOSE GATE VALVE
	PIPE OFFSET UP		UNION		PRESSURE SWITCH		PUMP
	PIPE OFFSET DOWN		ISOLATION VALVE		PRESSURE GAUGE		DRAWING NOTE
	PIPE CAP		CHECK VALVE		THERMOMETER		
	PIPE CONTINUES		STRAINER		PRESSURE RELIEF VALVE		
			BALANCING VALVE		AUTOMATIC AIR VENT		
			FLOW MEASURING BALANCING VALVE		CONTROL VALVE CW TAMPER SWITCH		
	SECTION CALLOUT		EQUIPMENT TAG		REFERENCE CALLOUT		
			TYPE OF EQUIPMENT				
			EQUIPMENT NUMBER				

**GENERAL ABBREVIATIONS:**

AD	ACCESS DOOR	NTS	NOT TO SCALE
AP	ACCESS PANEL	Re	REMOVE EXISTING
AFF	ABOVE FINISHED FLOOR	R	RELOCATED ITEM
CTE	CONNECT TO EXISTING	ReRe	REMOVE AND RELOCATE
EX	EXISTING ITEM	T.R.	TO REMAIN
N	NEW ITEM	U.O.N.	UNLESS OTHERWISE NOTED
NIC	NOT IN CONTRACT		

**MECHANICAL DRAWING LIST**

DRAWING NO.	DRAWING NAME	SCALE
M0.1	LEGEND, DRAWING LIST & SCHEDULES	N/A
M1.1	MAIN AND BASEMENT FLOOR PLANS PLUMBING	1:50
M1.2	UPPER AND ROOF PLANS PLUMBING	1:50
M2.1	MAIN AND BASEMENT FLOOR PLANS HVAC	1:50
M2.2	UPPER AND ROOF PLANS HVAC	1:50
M3.0	DETAILS	AS NOTED





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Public Services and Procurement Canada (PSPC)  
VANCOUVER, BC  
800 BARRARD ST.

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New Residence, New Aiyansh, BC

Consultant Signature Box Only

Designed by/Concept par CH

Drawn by/Dessiné par HCP

PWGSC Project Manager/Administrateur de Projets TPSPGC

PHILIP FUNG

PWGSC, Regional Manager, Architectural and Engineering Services / Gérant régional, Services d'architecture et de génie, TPSPGC

PREETIPAL PAUL

Drawing title/Titre du dessin

MAIN AND BASEMENT FLOOR PLANS PLUMBING

Project No./No. du projet

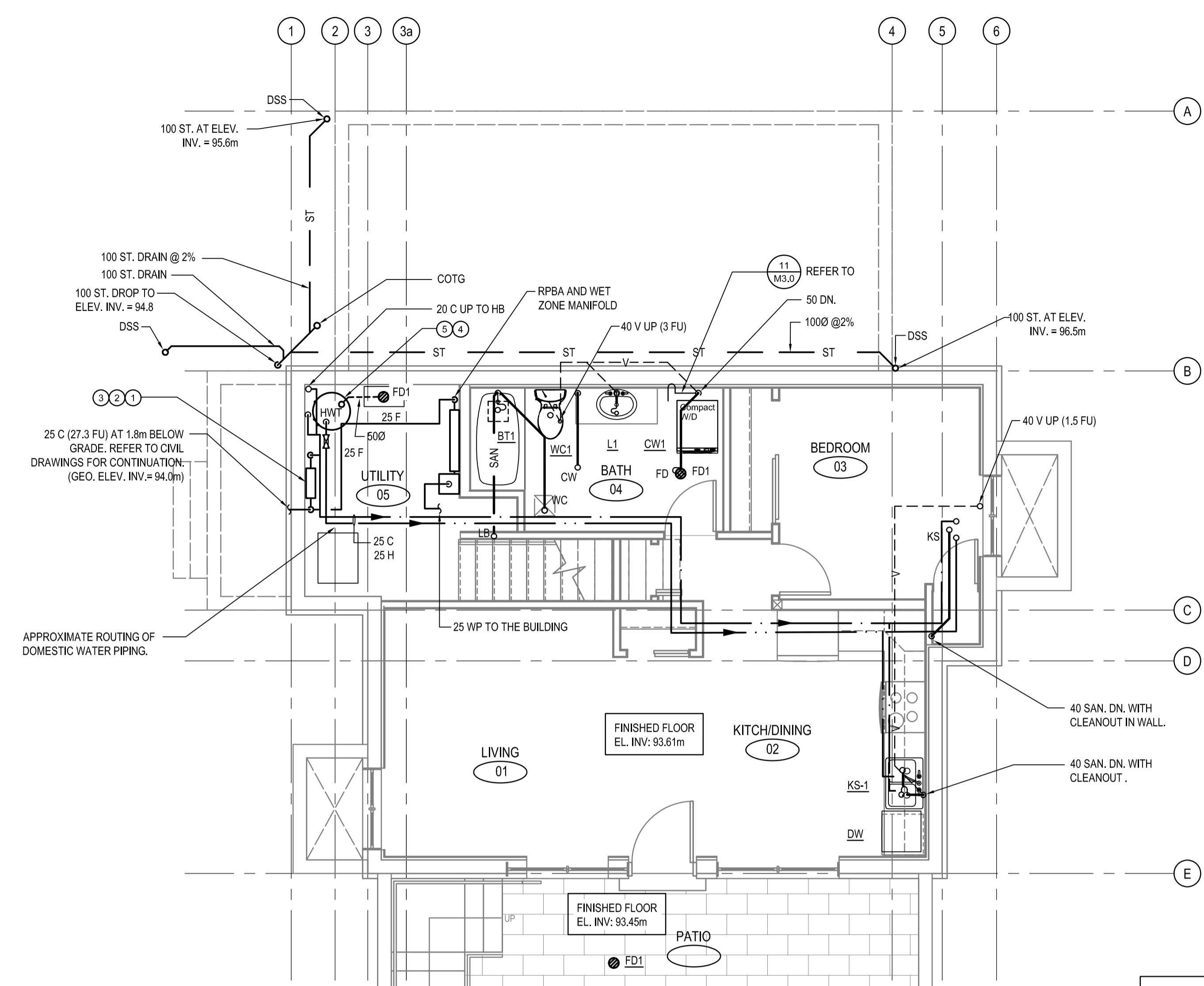
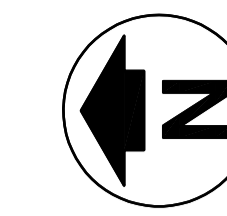
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Sheet/ Feuille

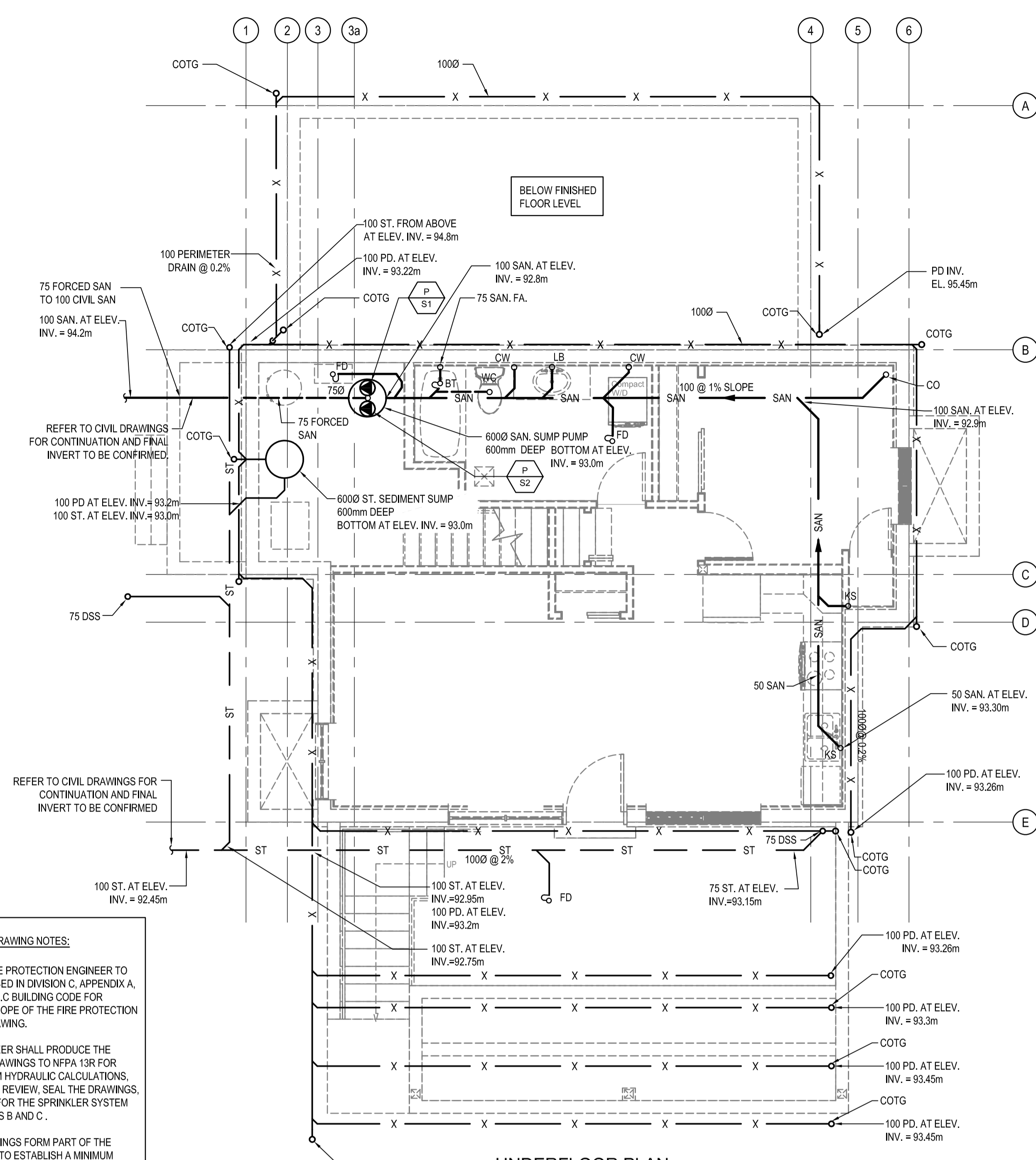
M1.1

Revision no./ La Révision no.

3



2 BASEMENT PLAN- PLUMBING  
M1.1 SCALE: 1:50



1 UNDERFLOOR PLAN- PLUMBING  
M1.1 SCALE: 1:50

**FIRE PROTECTION DRAWING NOTES:**

1. RETAIN THE SERVICES OF A FIRE PROTECTION ENGINEER TO PROVIDE SERVICES AS DESCRIBED IN DIVISION C, APPENDIX A, SCENARIO 2 OF THE CURRENT B.C. BUILDING CODE FOR SPRINKLER DESIGN FOR THE SCOPE OF THE FIRE PROTECTION SYSTEM AS SHOWN ON THE DRAWING.
2. THE SPRINKLER DESIGN ENGINEER SHALL PRODUCE THE WORKING FIRE PROTECTION DRAWINGS TO NFPA 13R FOR SPRINKLER SYSTEMS, PERFORM HYDRAULIC CALCULATIONS, SUBMIT DESIGN DRAWINGS FOR REVIEW, SEAL THE DRAWINGS, ASSUME FULL RESPONSIBILITY FOR THE SPRINKLER SYSTEM DESIGN AND SUBMIT SCHEDULES B AND C.
3. THESE FIRE PROTECTION DRAWINGS FORM PART OF THE PERFORMANCE SPECIFICATION TO ESTABLISH A MINIMUM STANDARD OF EQUIPMENT, DESIGN AND INSTALLATION ONLY.
4. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO PLACE SPRINKLER HEADS AS PER NFPA 13R AND COORDINATE WITH THE ARCHITECT.
5. DRY WALL SPRINKLER HEADS SHALL BE USED IN THE GARAGE AS IT IS AN UNHEATED SPACE.

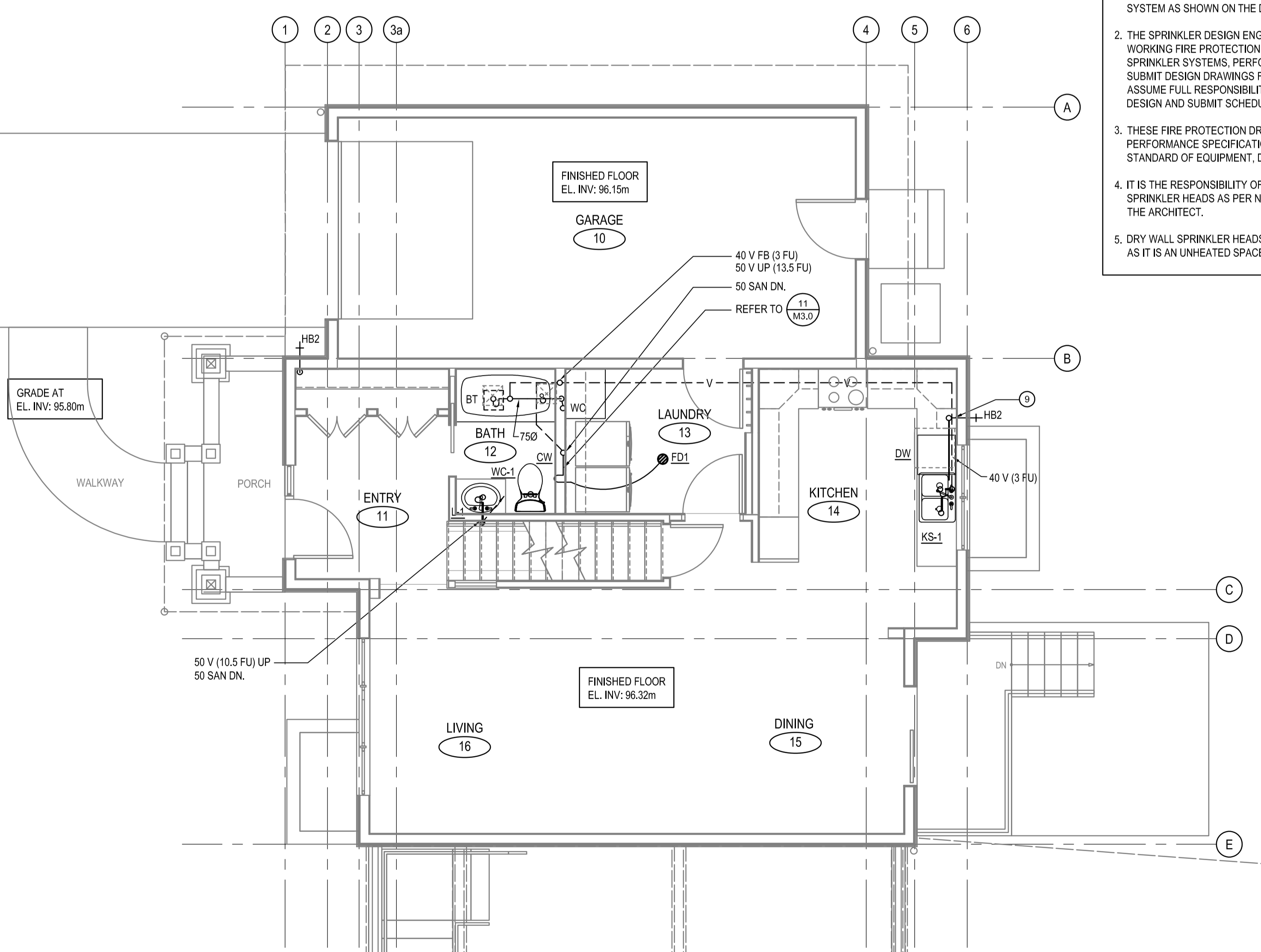
FIXTURE ROUGH-IN SCHEDULE  
ROUGH-IN FIXTURE PIPING CONNECTIONS IN ACCORDANCE WITH THE FOLLOWING TABLE OF MINIMUM SIZES.

FIXTURE	COLD WATER	HOT WATER	HOT WATER RECIRC.	TEMP. WATER	SANITARY	VENT	HYDRAULIC LOADS PRIVATE	
							C	H
FLOOR DRAIN	-	-	-	-	75	40	-	-
HOSE BIBB (20mm)	20	-	-	-	-	-	3	2.5
LAVATORY BASIN (8.3 LPM <math>\leq</math>)	12	12	-	-	40	30	0.7	0.7
KITCHEN SINK DOUBLE (8.3 LPM <math>\leq</math>)	20	20	-	-	50	40	1.4	1.4
WATER CLOSET (TANK 6LPM <math>\leq</math>)	12	-	-	-	75	50	3	-
CLOTHES WASHER (3.5KG)	12	12	-	-	40	30	1.4	1.4
DISHWASHER	-	12	-	-	40	30	-	1.4
SHOWER/BATH TUB	12	12	-	-	50	40	1.4	1.4

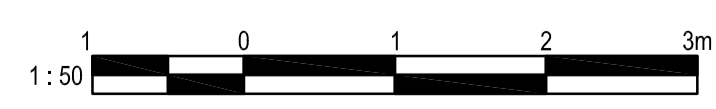
NOTE: \* SIZE TO BE CONFIRMED BY MANUFACTURER OF OWNER SUPPLIED EQUIPMENT.

- DRAWING NOTES:**
1. COMBINED 25mm FIRE & DOMESTIC WATER ENTRY SUPPLY.
  2. DOMESTIC WATER ENTRY, REFER TO (6) M3.0
  3. FIELD RUN DOMESTIC WATER PIPING CONCEALED IN WOOD FRAMING - NO SURFACE MOUNTING. REFER TO PIPING SCHEMATIC FOR PIPE SIZING. (6) M3.0
  4. DOMESTIC HOT WATER HEATER, REFER TO (8) M3.0
  5. FIELD RUN DOMESTIC HOT WATER PIPING CONCEALED IN WOOD FRAMING - NO SERVICE MOUNTING. REFER TO PIPING SCHEMATIC FOR PIPE SIZING. (9) M3.0
  6. DROP BOTH 75 SAN DOWN AND CONNECT TO 75 SAN UNDER FLOOR AND ROUTE TO 100 SAN.
  7. CONNECT 50 HWT PAN DRAIN TO FLOOR DRAIN TRAP RISER.
  8. BACKWATER ACCESS VALVE W/ ACCESS BOX.
  9. PROVIDE SHUT OFF VALVE BENEATH SINK WITH DRAIN VALVE FOR SEASONAL DRAIN DOWN OF HOSE BIBB.

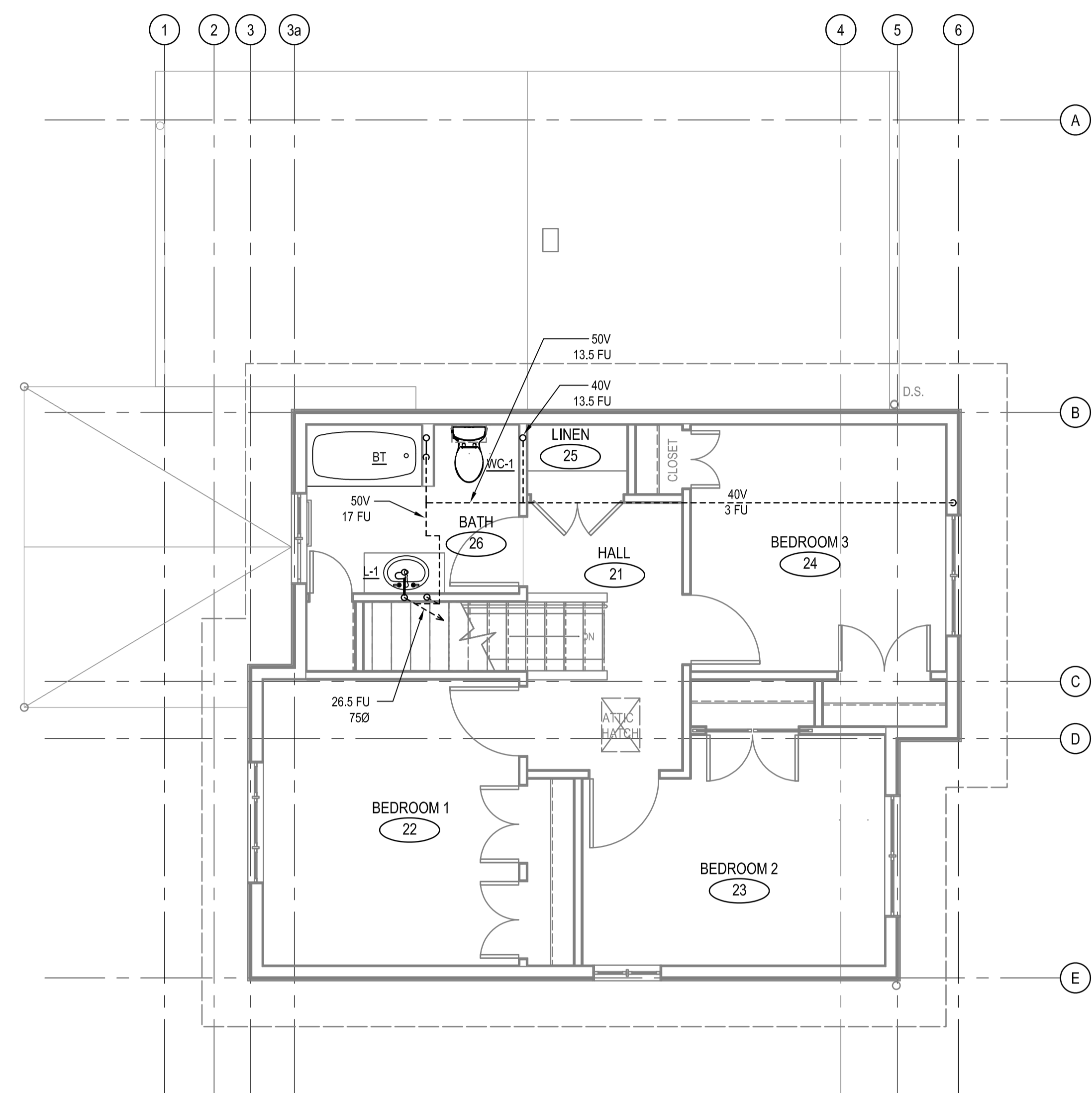
- GENERAL NOTES:**
1. FOR CLEANOUT TO GRADE IN LANDSCAPE AREAS REFER TO (1) M3.0
  2. FOR CLEANOUT TO GRADE IN FINISHED AREAS REFER TO (5) M3.0
  3. DSS DETAIL REFER TO (2) M3.0
  4. FOR PERIMETER DRAINAGE DETAIL REFER TO (3) M3.0
  5. FOR STORM DRAINAGE INSTALLATION REFER TO (4) M3.0
  6. SANITARY AND STORM SEWER SERVICES: CONFIRM INVERTS AND ENSURE THESE CAN BE CONNECTED WITH SLOPE FOR DRAINAGE AND COVER TO AVOID FREEZING.
  7. FOR SEDIMENT SUMP REFER TO DRAWING DETAIL (12) M3.0
  8. FOR SANITARY AND STORM SUMP PUMPS REFER TO DRAWING DETAIL (13) M3.0
  9. SANITARY SHALL SLOPE AT 2% UNLESS OTHERWISE NOTED.



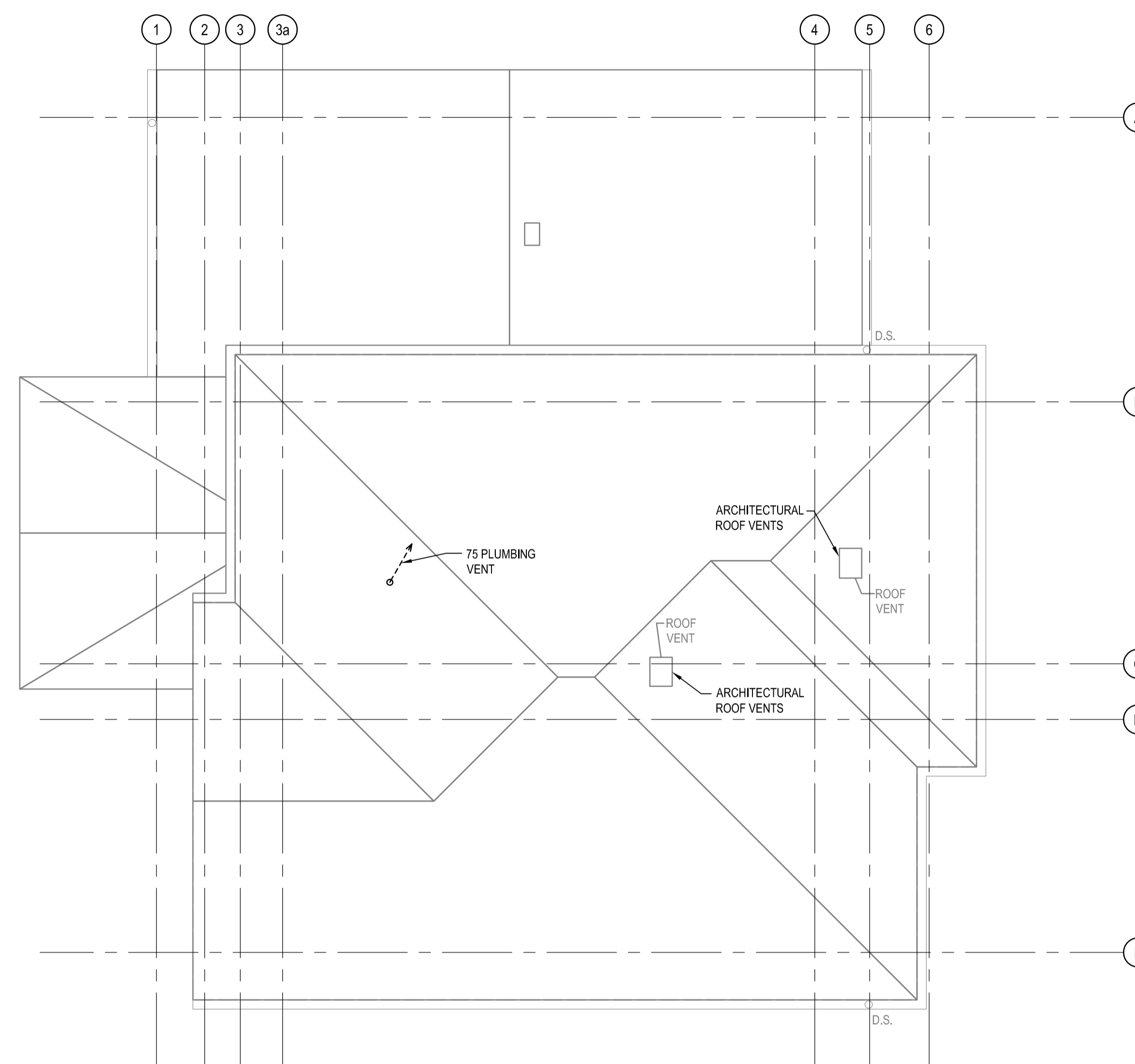
3 MAIN FLOOR PLAN - PLUMBING  
M1.1 SCALE: 1:50







**1 UPPER PLAN - PLUMBING**  
M1.2 SCALE: 1:50



**2 ROOF PLAN - PLUMBING**  
M1.2 SCALE: 1:50

Revision/Revision	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 86% REVIEW	2021-05-03

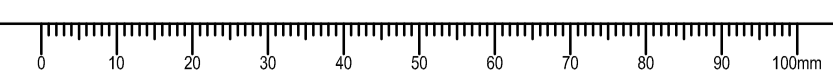
Client/Client  
**Public Services and Procurement Canada (PSPC)**  
VANCOUVER, BC  
800 BARRARD ST.

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

Consultant Signature Box Only  
Designed by/Concept par  
**CH**  
Drawn by/Dessiné par  
**HCP**  
PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC, Regional Manager, Architectural and Engineering Services/  
Gestionnaire régional, Services d'architectural et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**UPPER AND ROOF PLAN PLUMBING**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Revision no.
R.112456.001	<b>M1.2</b>	<b>3</b>







Revision	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 90% REVIEW	2021-06-01
0	ISSUED FOR 60% REVIEW	2021-05-03

Client/Client: **Public Services and Procurement Canada (PSPC)**  
**VANCOUVER, BC**  
**800 BURRARD ST.**

Project title/Titre du projet: **New Residence, New Aiyansh, BC**

Consultant Signature Box Only

Designed by/Concept par: **CH**

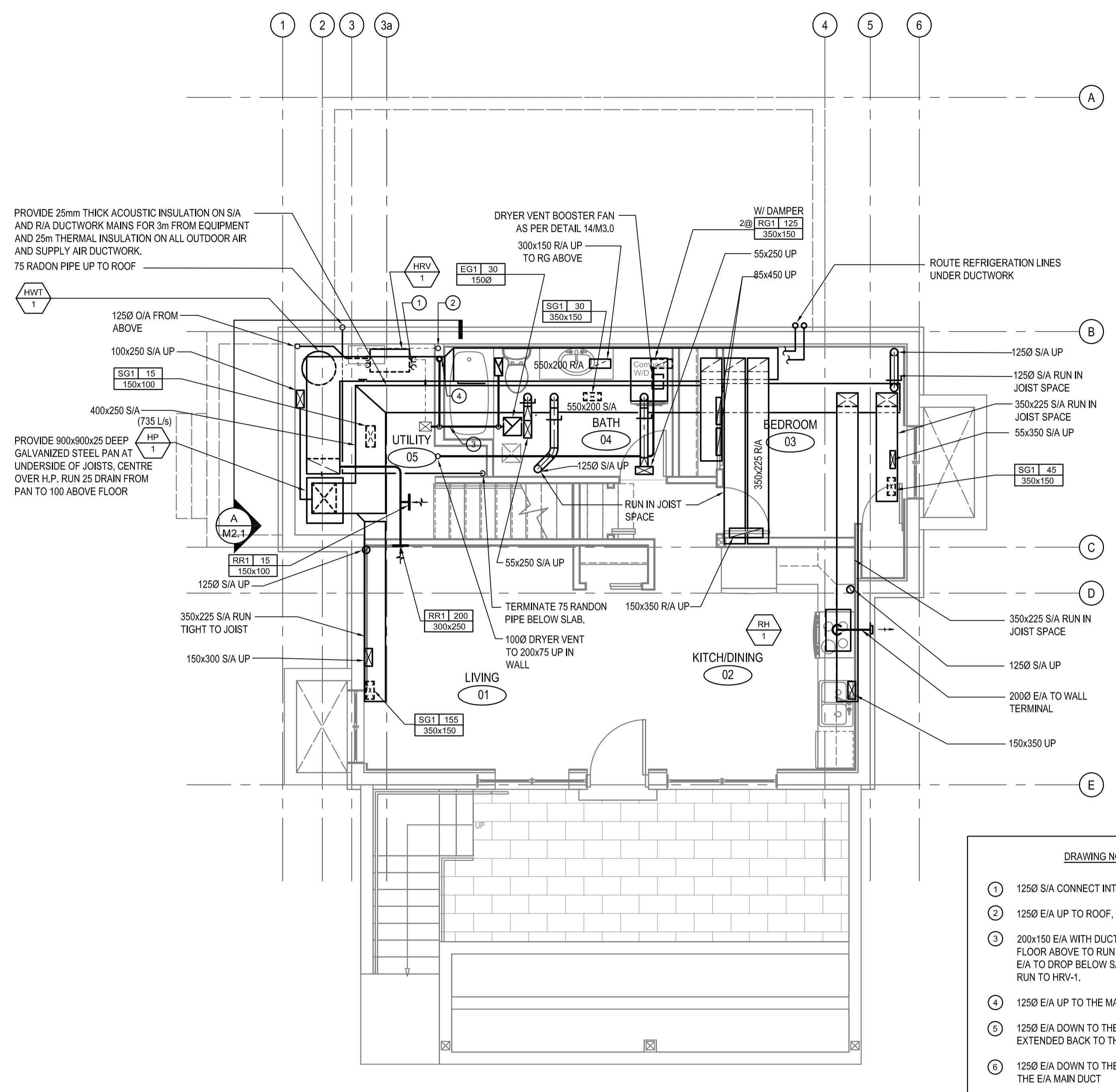
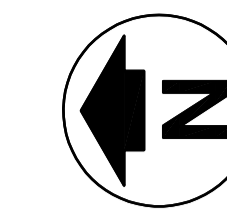
Drawn by/Dessiné par: **HCP**

PWGSC Project Manager/Administrateur de Projets TPSGC: **PHILIP FUNG**

PWGSC, Regional Manager, Architectural and Engineering Services / Gérant régional, Services d'architecture et de génie, TPSGC: **PREETIPAL PAUL**

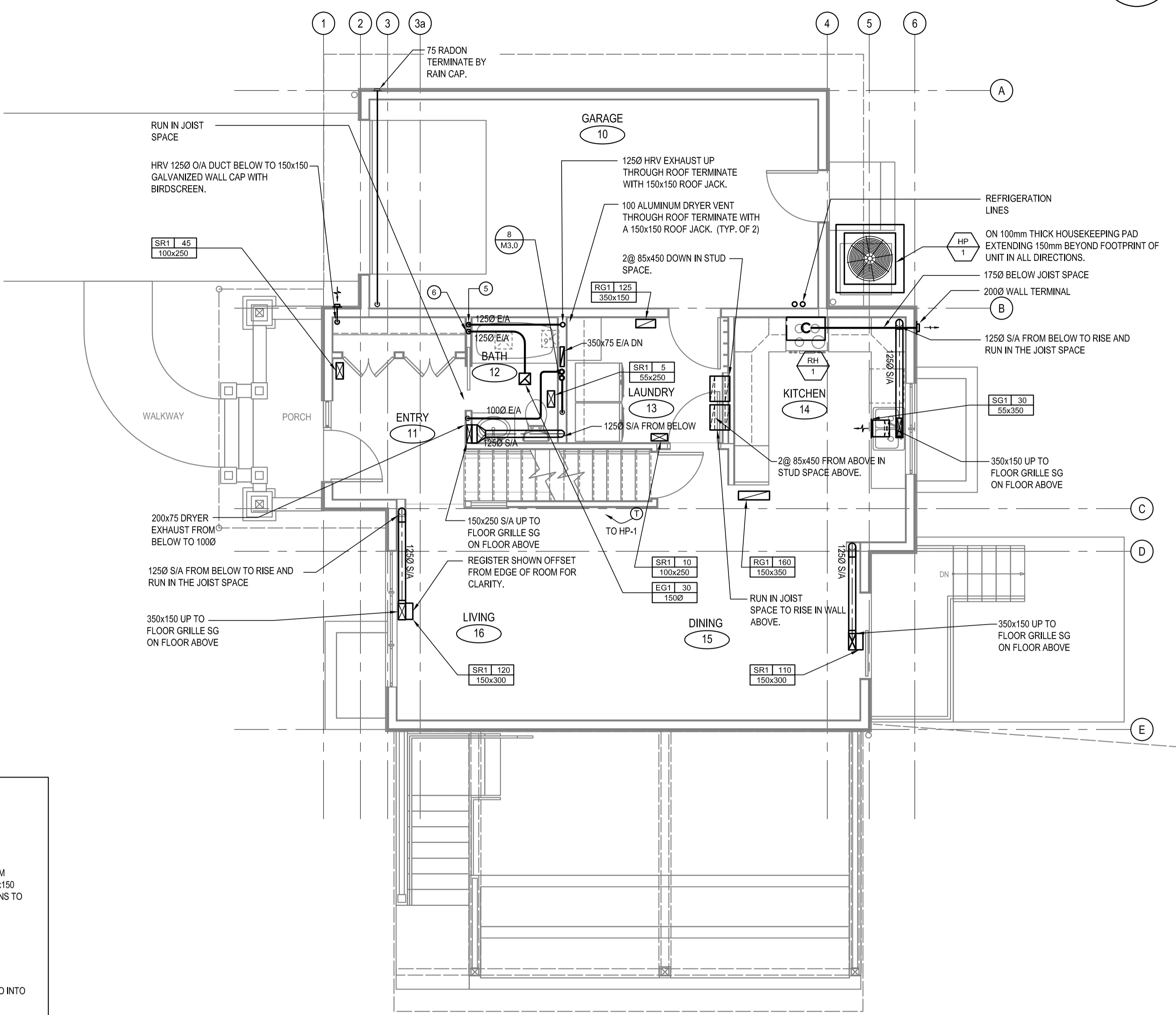
Drawing title/Titre du dessin: **MAIN AND BASEMENT FLOOR PLANS HVAC**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
R.112456.001	M2.1	3

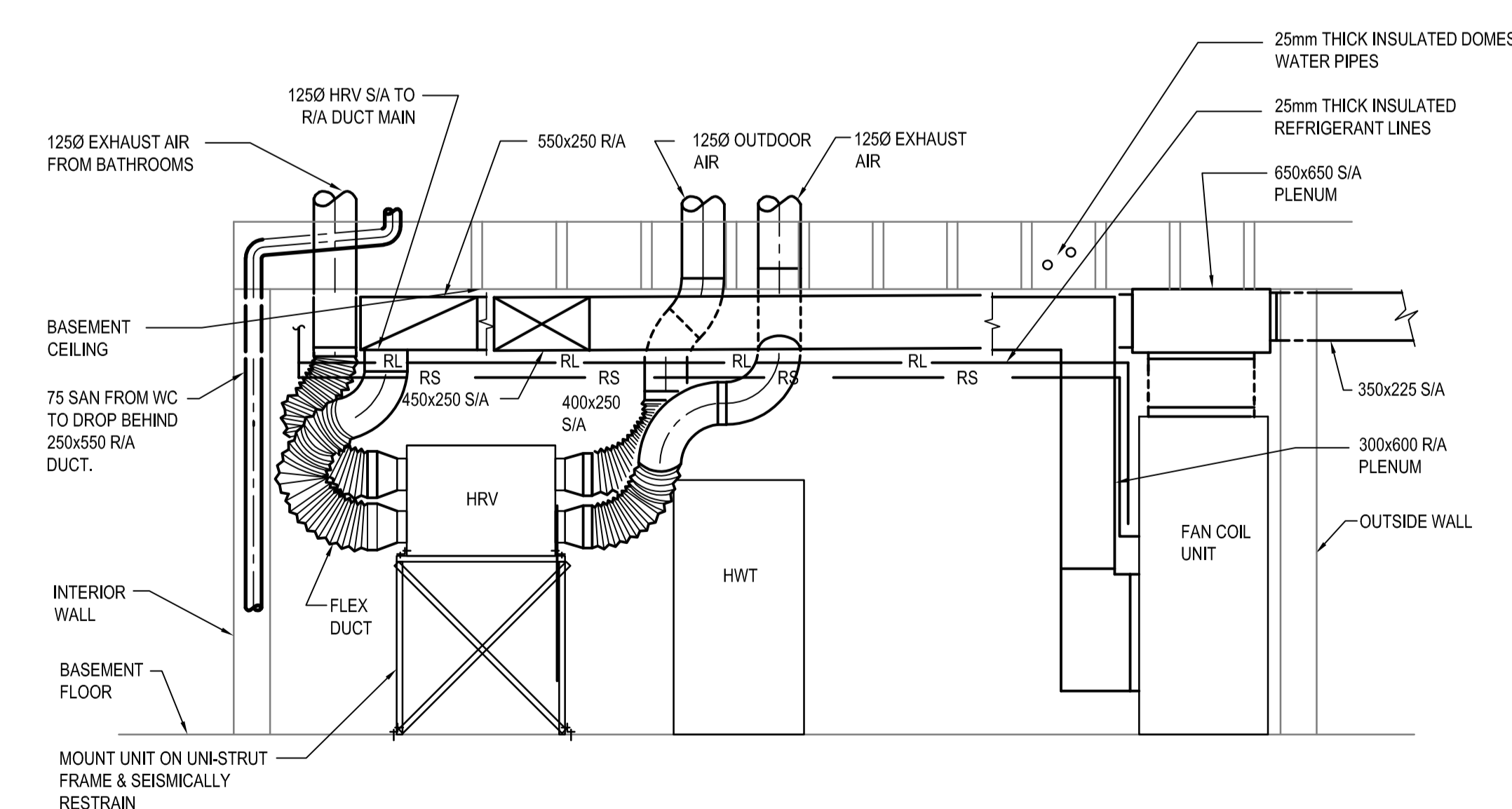


1 BASEMENT PLAN - HVAC  
 M2.1 SCALE: 1:50

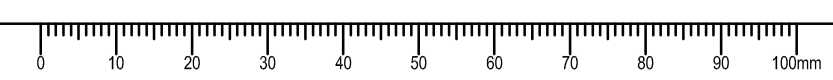
- DRAWING NOTES:**
- ① 1250 S/A CONNECT INTO R/A DUCT
  - ② 1250 E/A UP TO ROOF, RUN BELOW HRV.
  - ③ 200x150 E/A WITH DUCT CONNECTIONS FROM FLOOR ABOVE TO RUN IN JOIST SPACE. 200x150 E/A TO DROP BELOW S/A AND R/A DUCT MAINS TO RUN TO HRV-1.
  - ④ 1250 E/A UP TO THE MAIN FLOOR
  - ⑤ 1250 E/A DOWN TO THE BASEMENT AND EXTENDED BACK TO THE HRV UNIT.
  - ⑥ 1250 E/A DOWN TO THE BASEMENT AND TIED INTO THE E/A MAIN DUCT



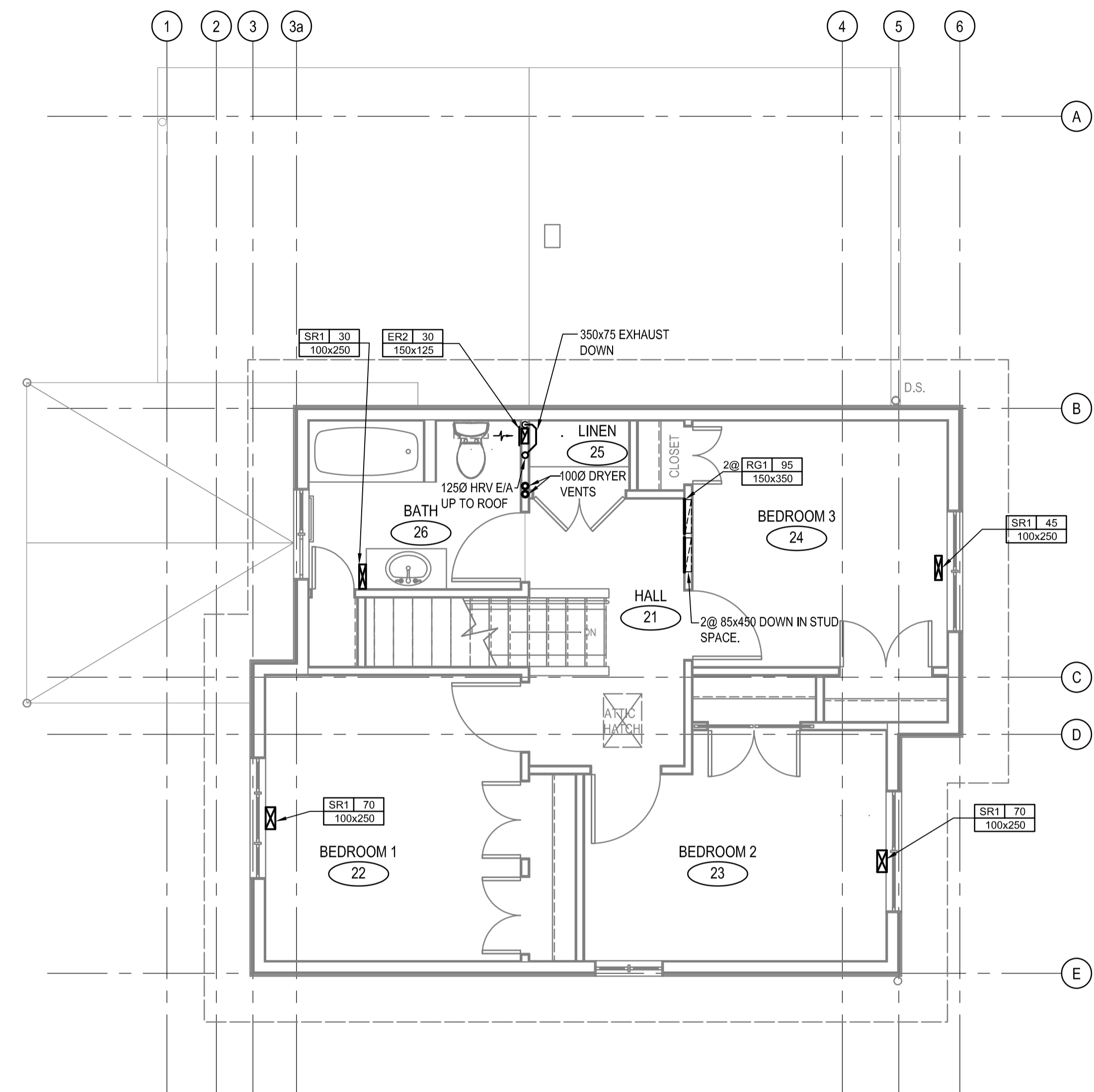
2 MAIN FLOOR PLAN - HVAC  
 M2.1 SCALE: 1:50



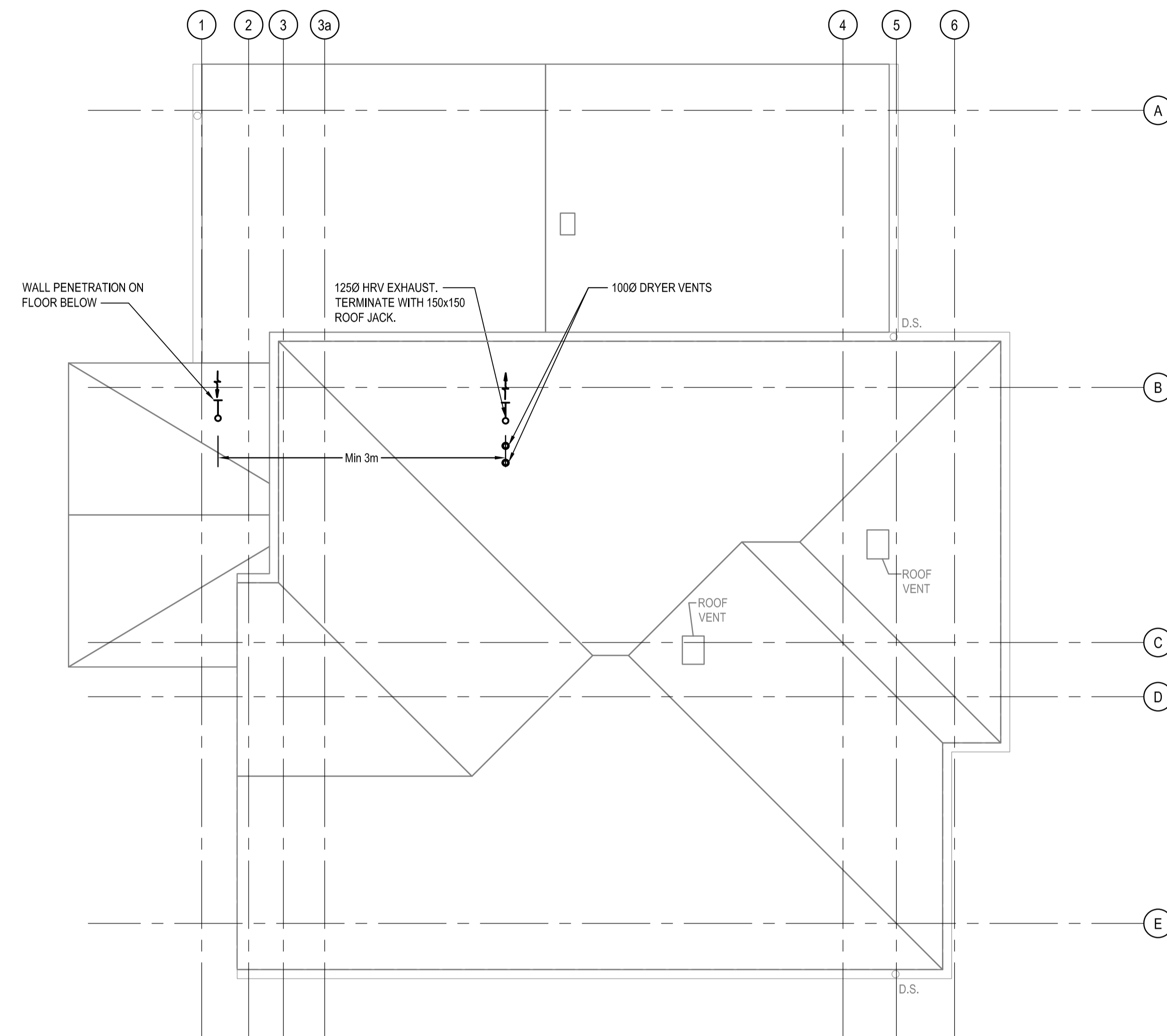
A SECTION  
 M2.1 SCALE: 1:25







**1** UPPER PLAN - HVAC  
M2.2 SCALE: 1:50



**2** ROOF PLAN - HVAC  
M2.2 SCALE: 1:50

3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 86% REVIEW	2021-05-03
Revision	Description	Date

Client/Client  
**Public Services and Procurement Canada (PSPC)**  
VANCOUVER, BC  
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Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

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PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC, Regional Manager, Architectural and Engineering Services /  
Gestionnaire régional, Services d'architectural et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**UPPER AND ROOF PLANS HVAC**

Project No./No. du projet <b>R.112456.001</b>	Sheet/ Feuille <b>M2.2</b>	Revision no./ La Révision no. <b>3</b>
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Revision	Description	Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-09-25
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 96% REVIEW	2021-05-03

Public Services and Procurement Canada (PSPC)  
VANCOUVER, BC  
800 BURRARD ST.

Project title/Titre du projet

New Residence,  
New Aiyansh, BC

Consultant Signature Box Only

Designed by/Concept par

CH

Drawn by/Dessiné par

HCP

PWGSC Project Manager/Administrateur de Projets TPSGC

PHILIP FUNG

PWGSC, Regional Manager, Architectural and Engineering Services /  
C'estmoyens régionaux, Services d'architecture et de génie, TPSGC

PREETIPAL PAUL

Drawing title/Titre du dessin

DETAILS

Project No./No. du projet

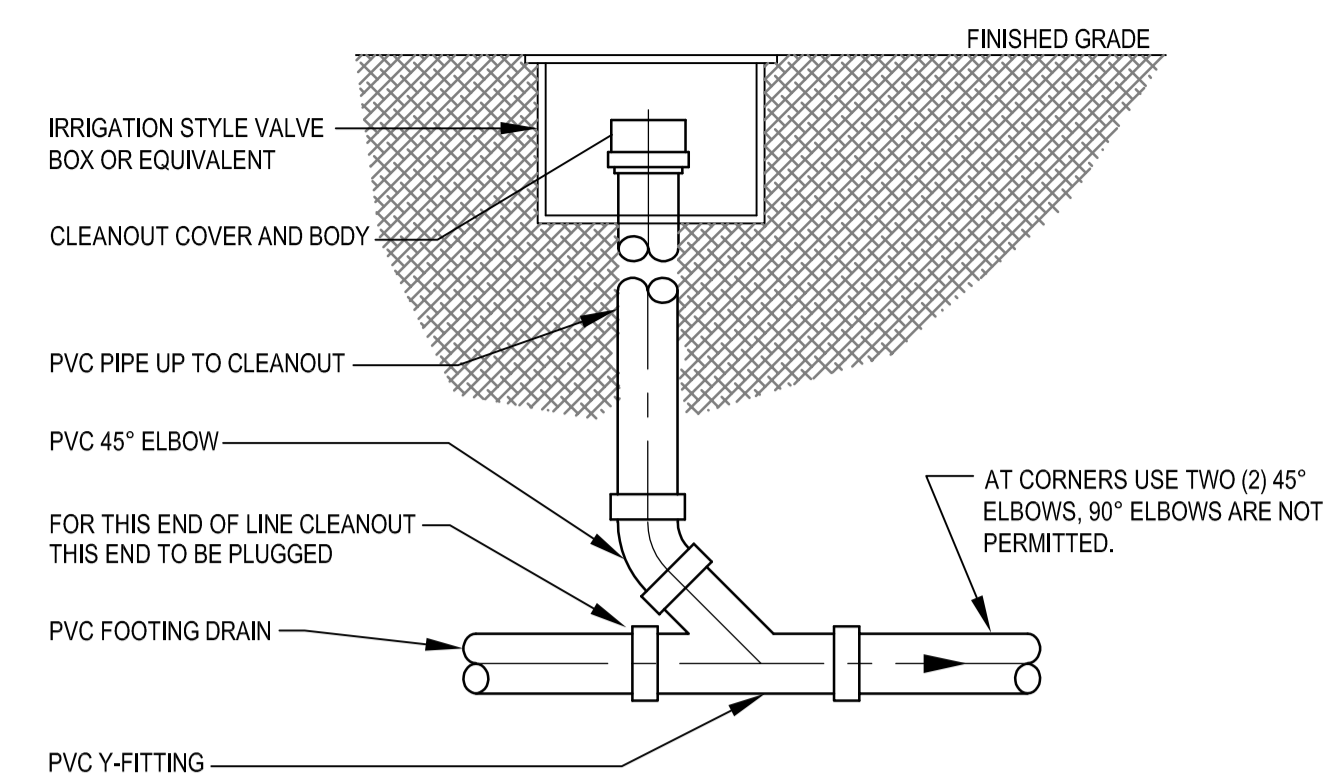
R.112456.001

Sheet / Feuille

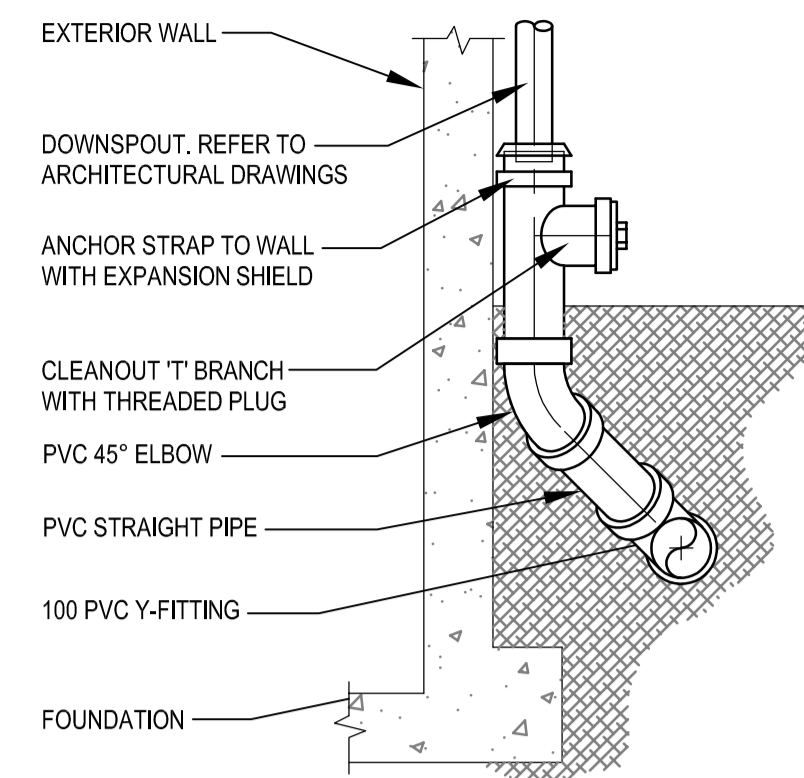
M3.0

Revision no./  
La Révision no.

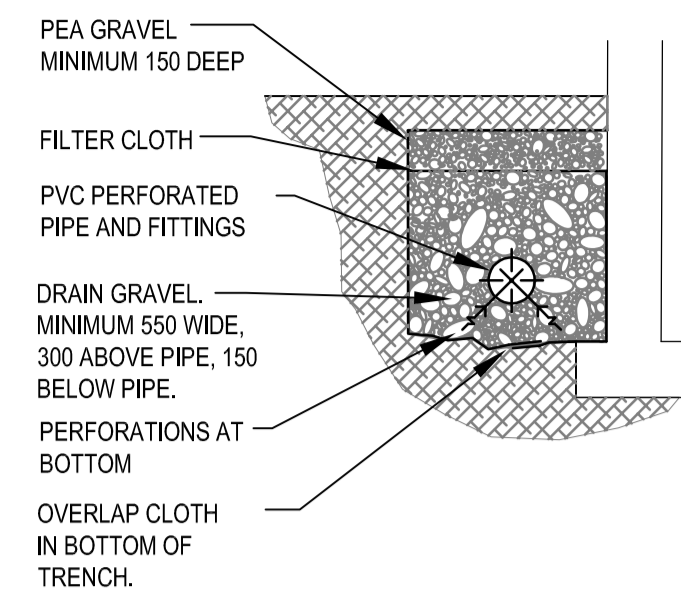
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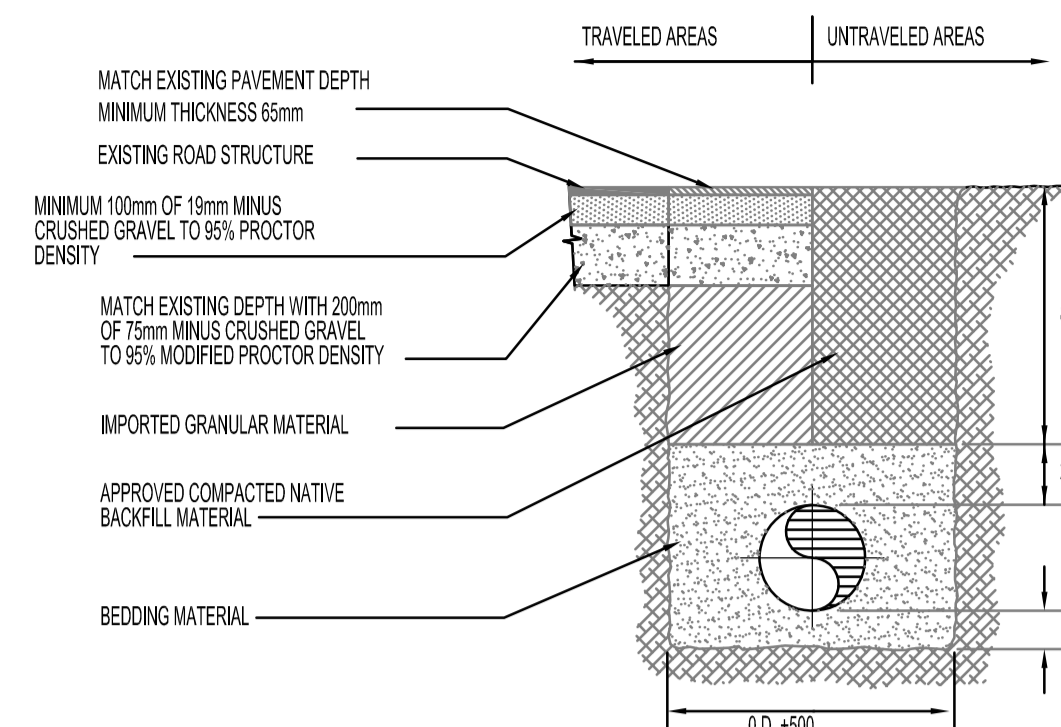
1 LANDSCAPED AREA CLEAN OUT TO GRADE  
M3.0 NTS



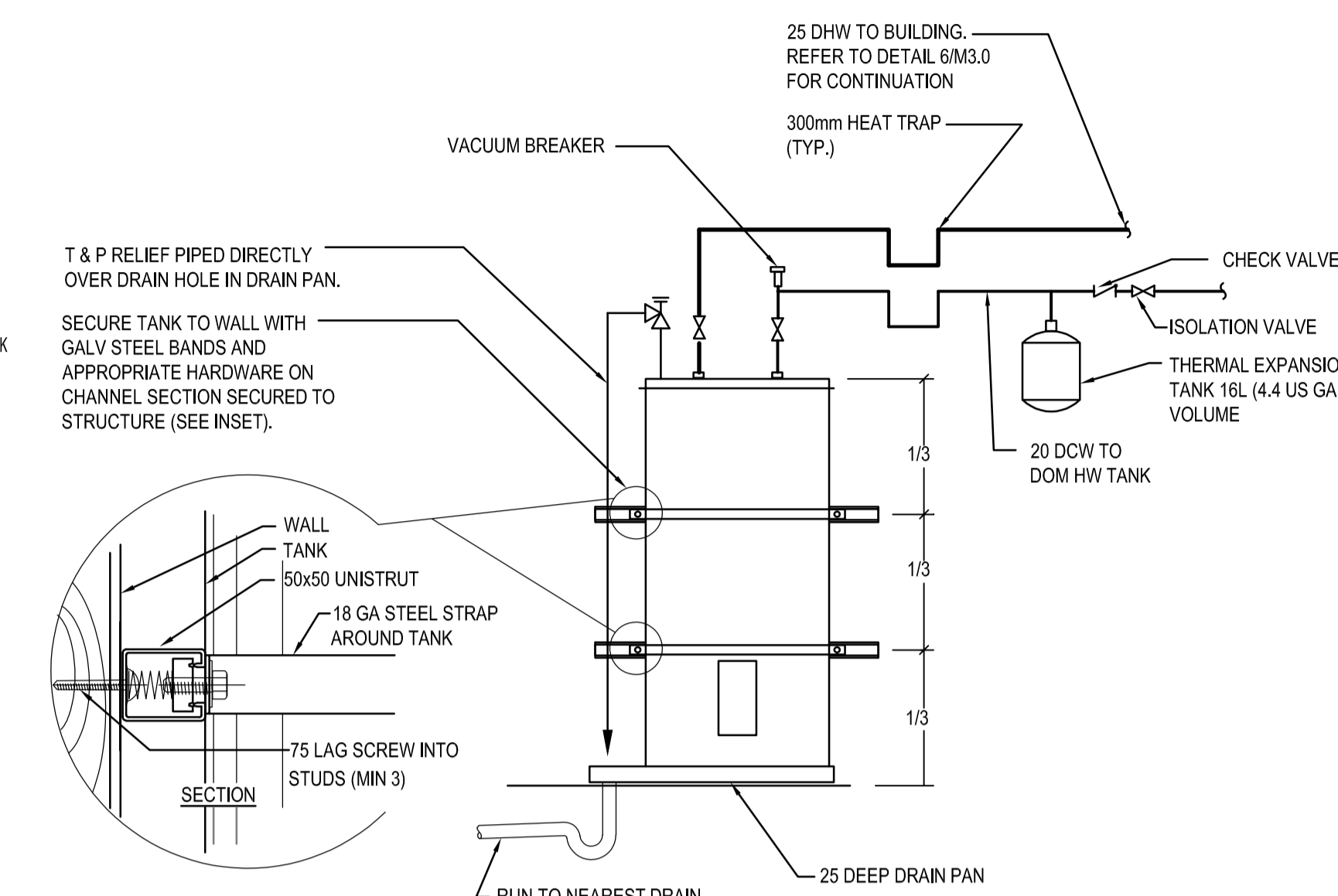
2 DOWNSPOUT SHOE  
M3.0 NTS



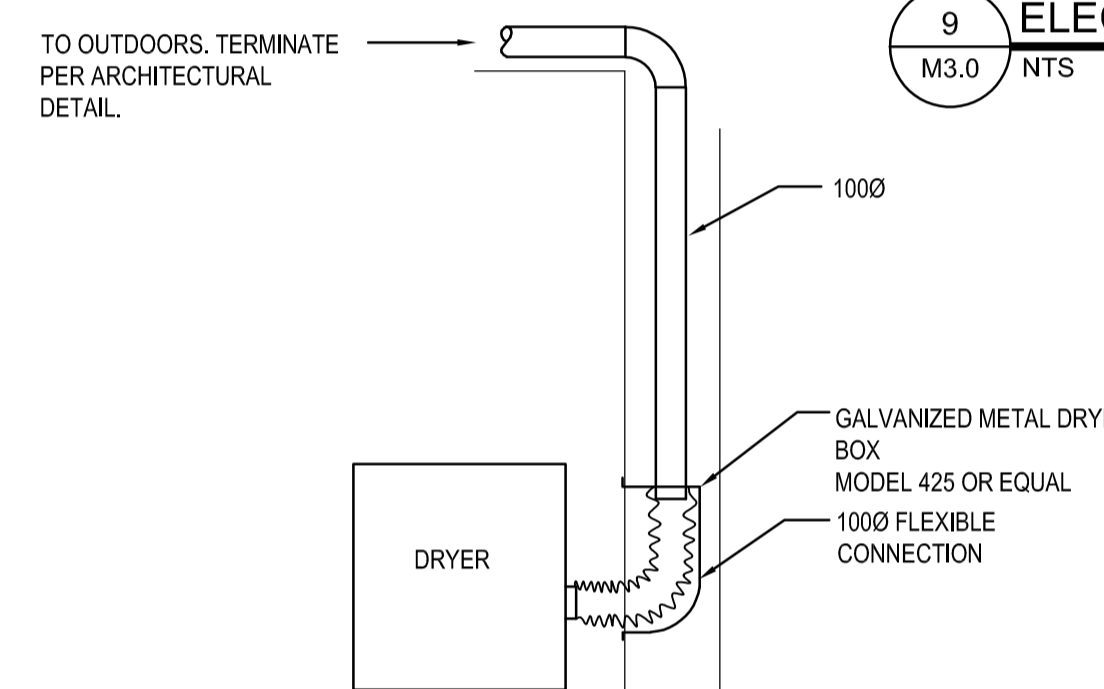
3 PERIMETER DRAIN  
M3.0 NTS



4 STORM DRAIN TRENCH  
M3.0 NTS

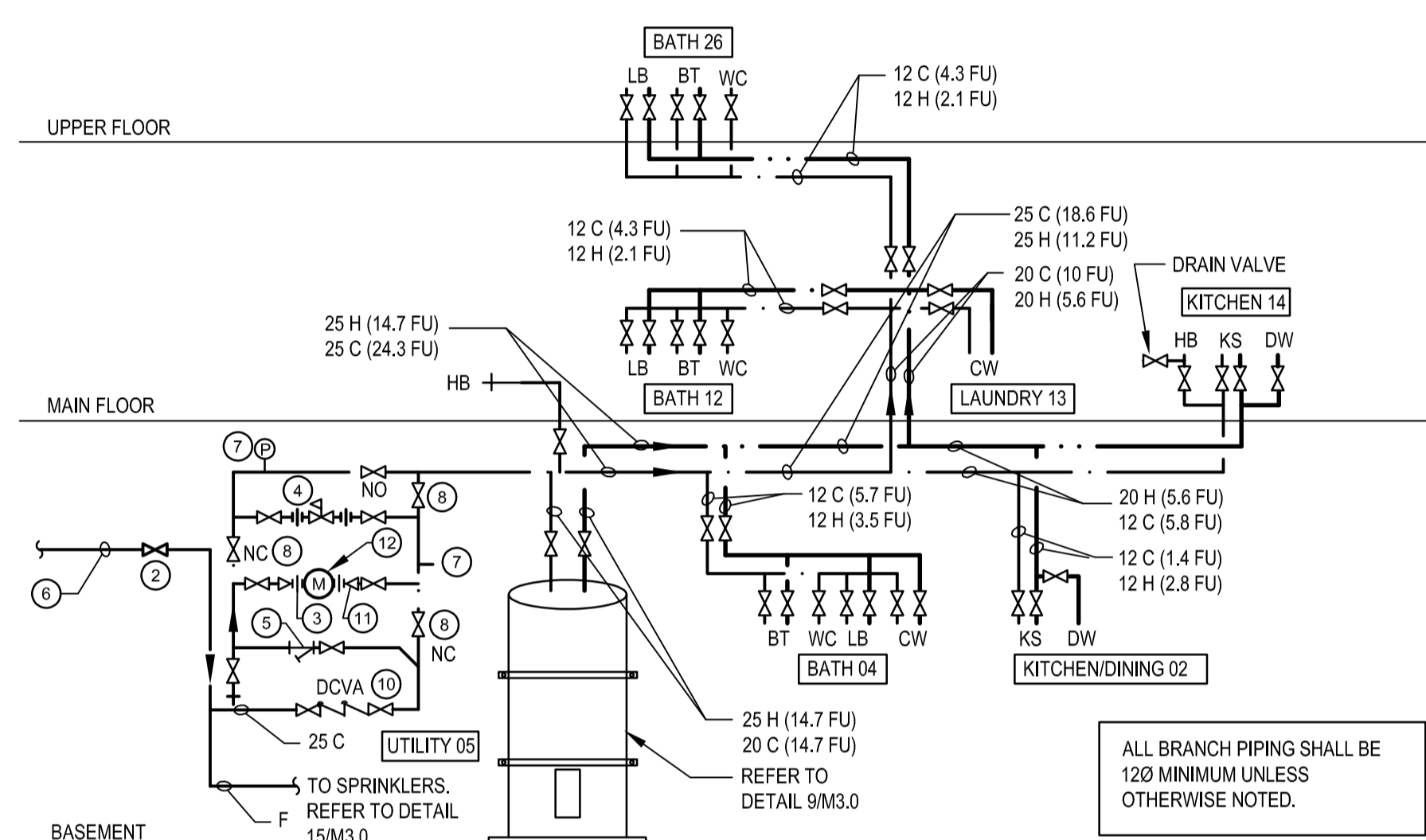


9 ELECTRIC DHW TANK WITH SEISMIC BRACING  
M3.0 NTS

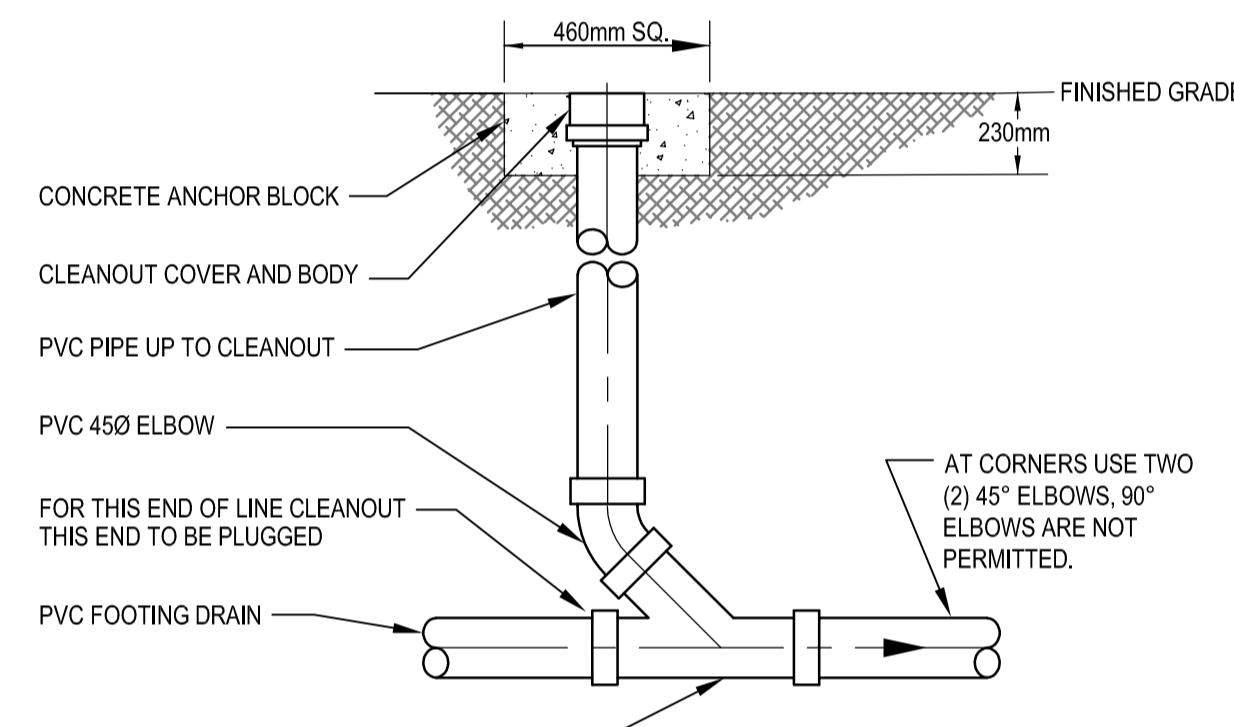


8 DRYER DETAIL  
M3.0 NTS

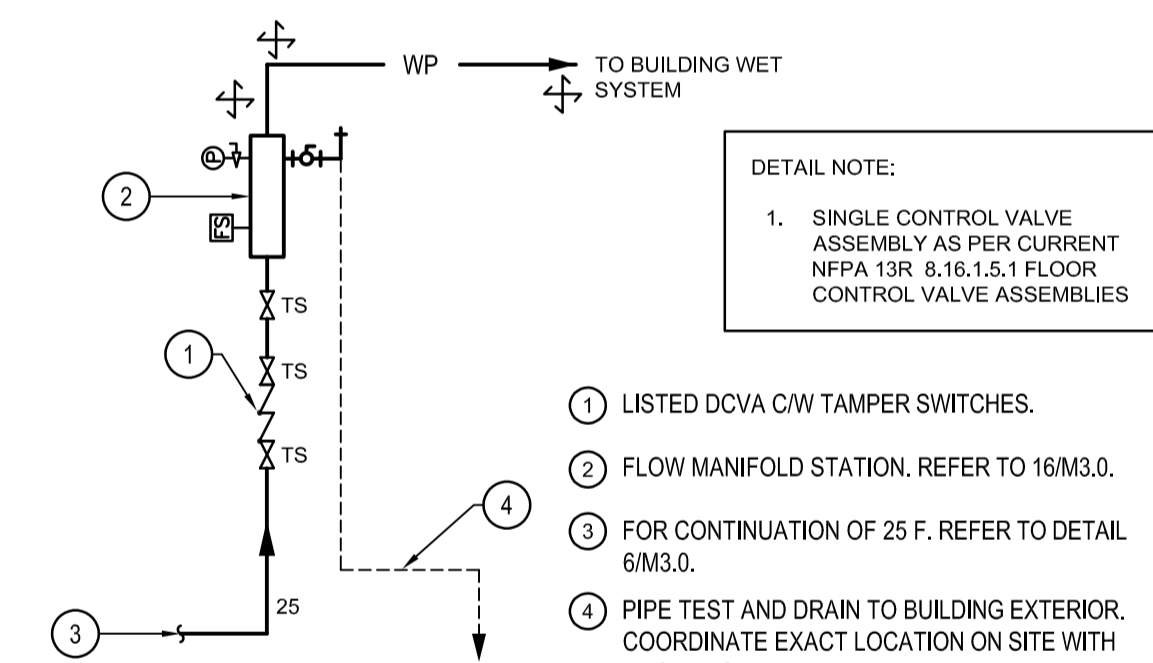
- DETAIL NOTES:
- 25 C DOMESTIC COLD WATER SYSTEM, OFF OF COMBINED 75C
  - ISOLATION VALVE
  - UNION
  - PRESSURE REDUCING VALVE
  - STRAINER
  - INCOMING COMBINED DOMESTIC WATER/FIRE PROTECTION WATER SERVICE
  - PRESSURE GAUGE WITH COCK
  - GLOBE VALVE (NORMALLY CLOSED)
  - NOT USED
  - DOUBLE CHECK VALVE BACKFLOW PREVENTER
  - REDUCER
  - WATER METER



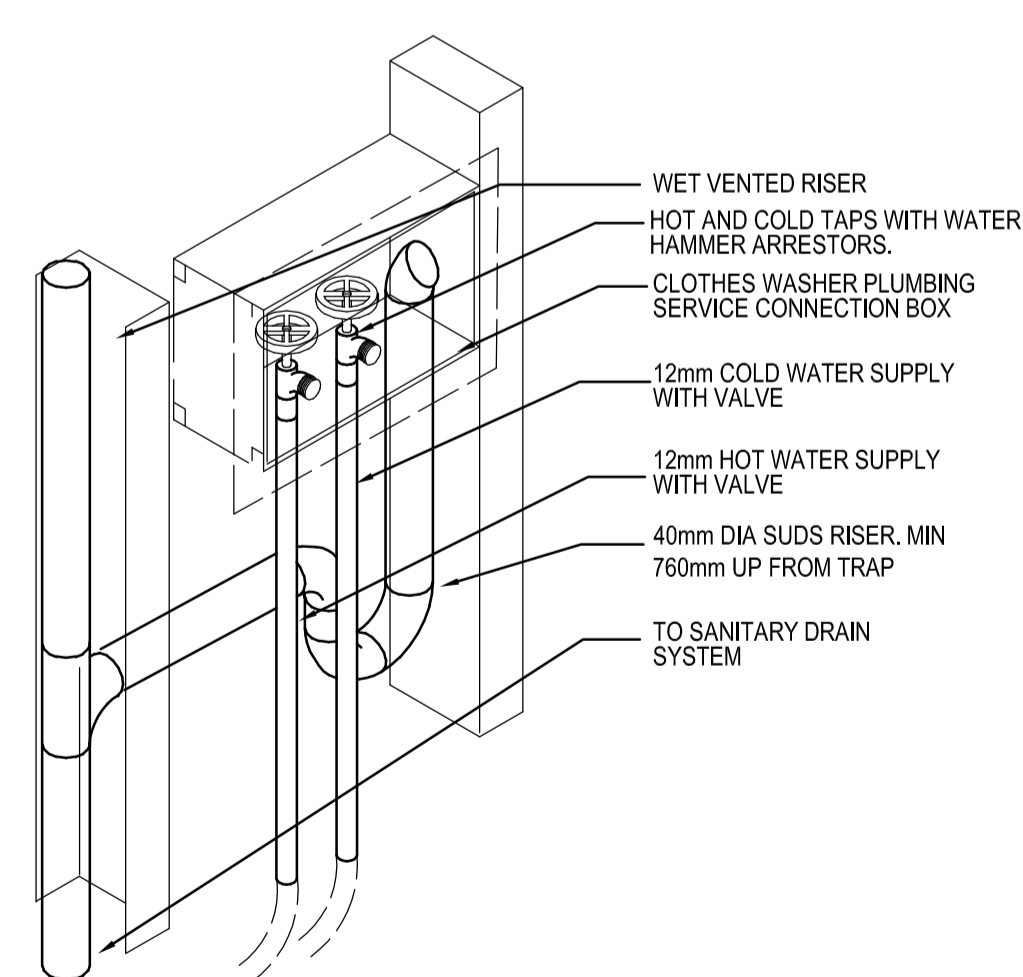
6 DOMESTIC WATER SCHEMATIC  
M3.0 NTS



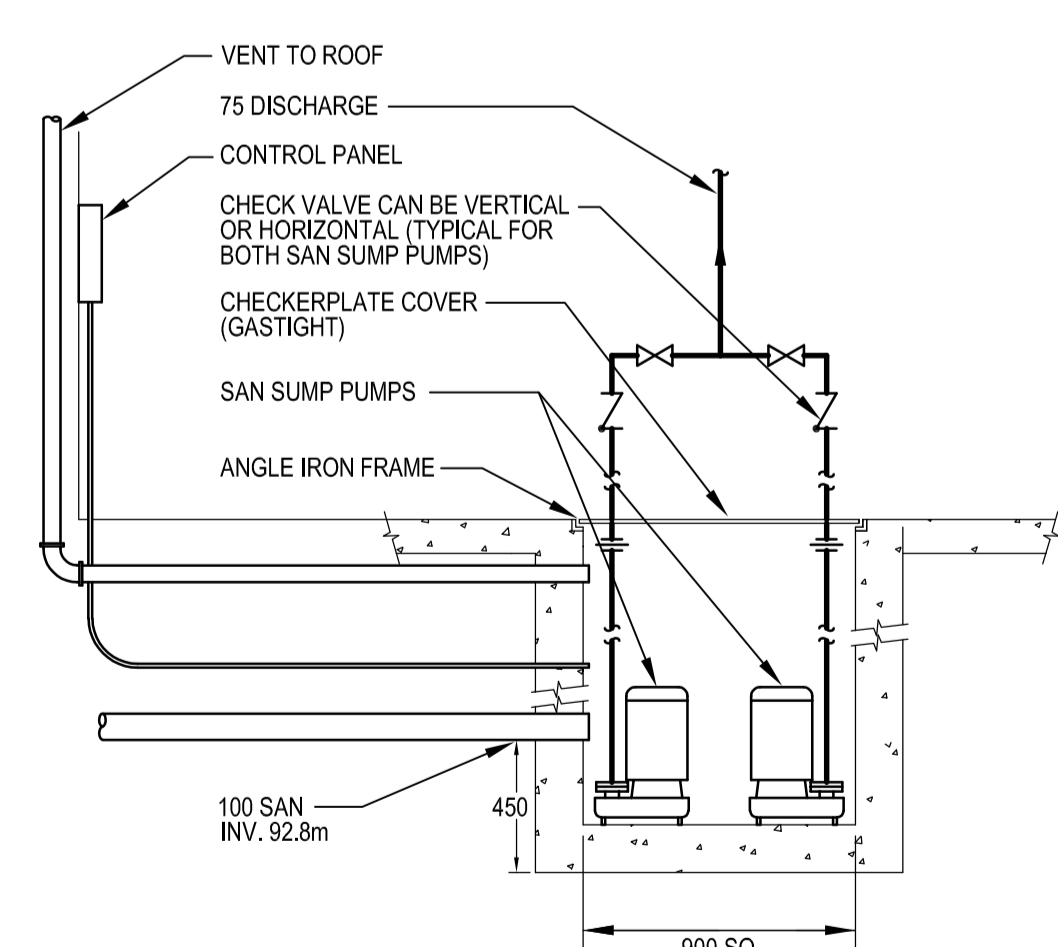
5 CLEAN OUT TO GRADE  
M3.0 NTS



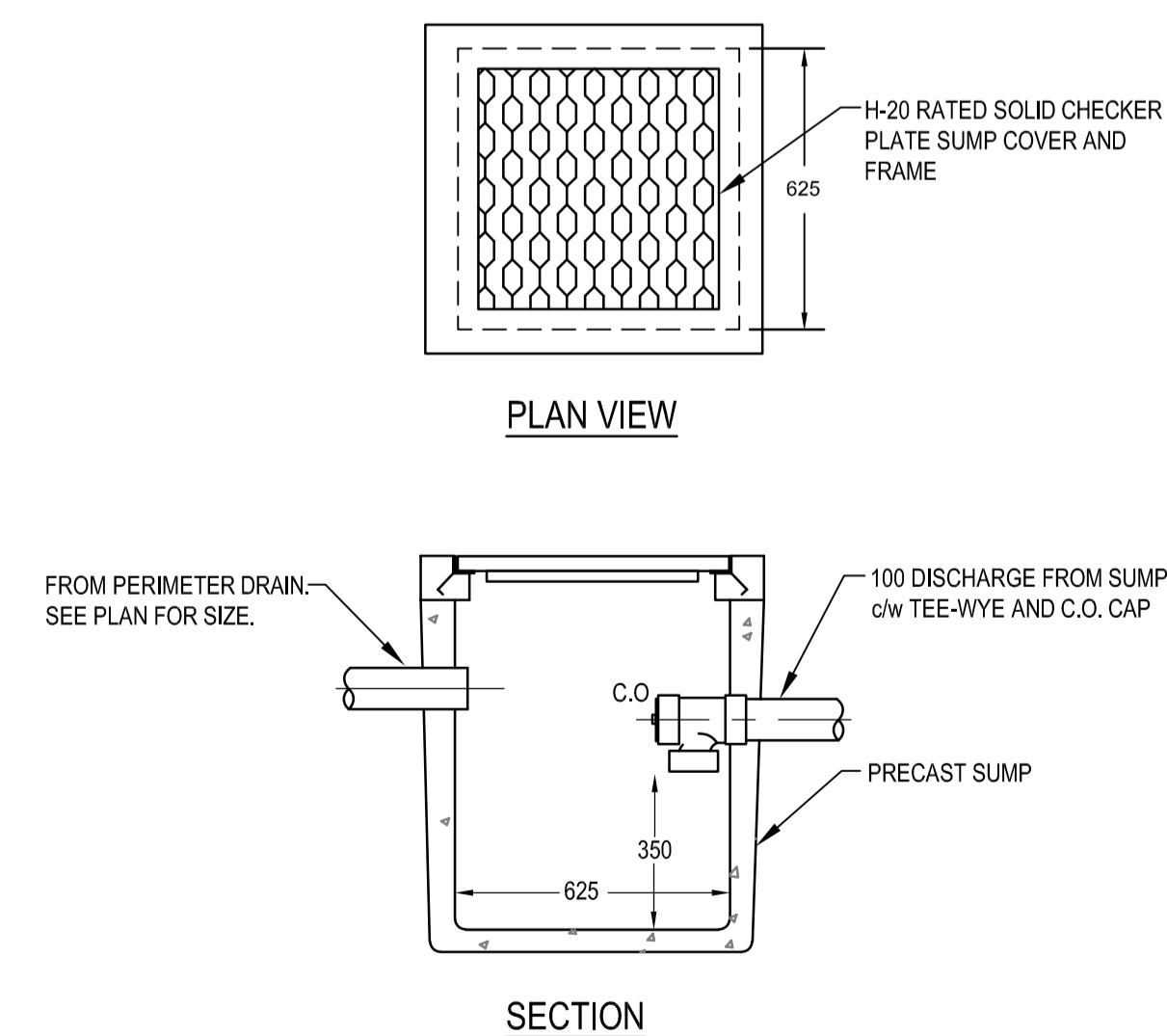
15 FIRE WATER ENTRY SCHEMATIC  
M3.0 NTS



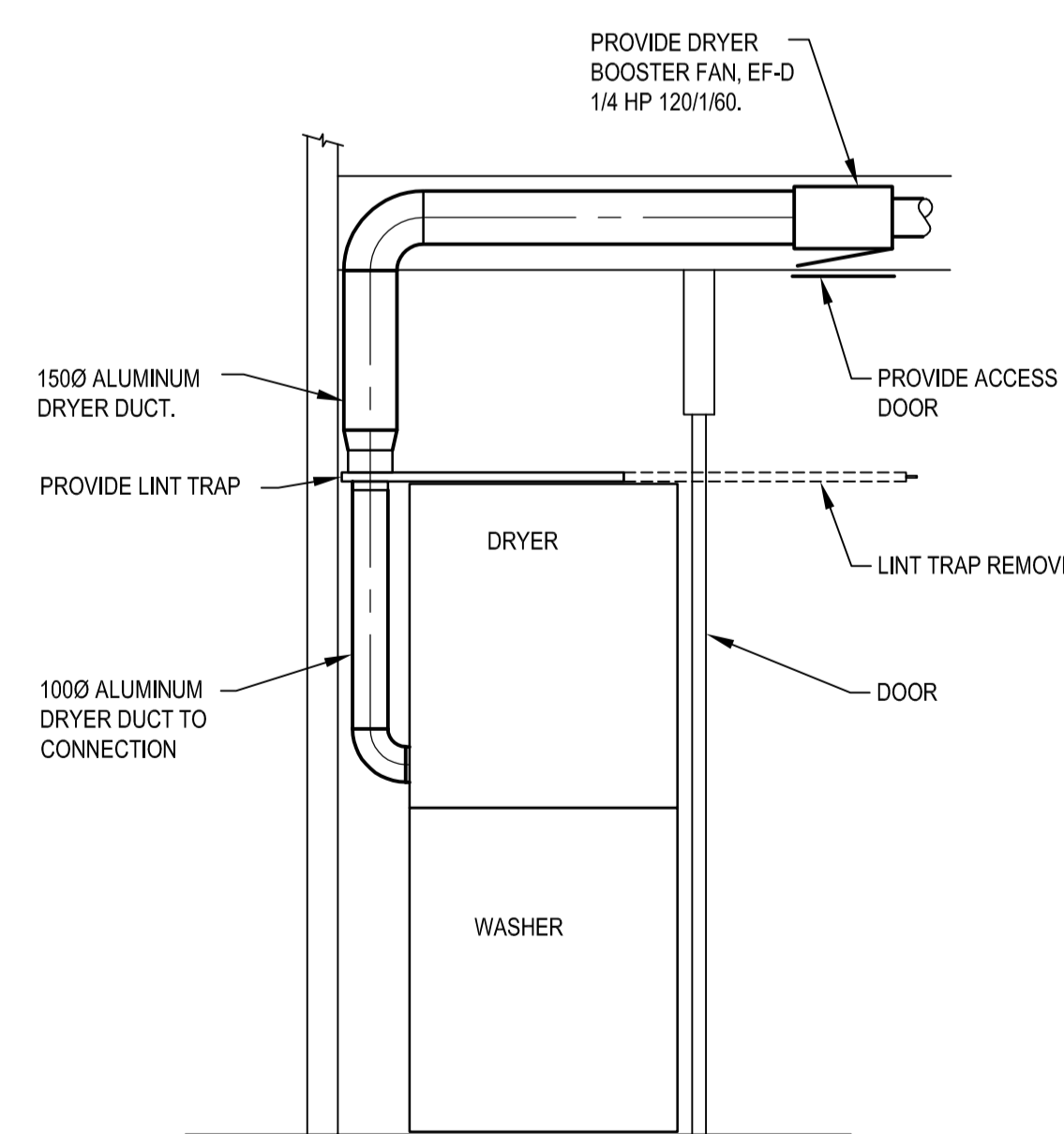
11 CLOTHES WASHER CONNECTION BOX DETAIL  
M3.0 NTS



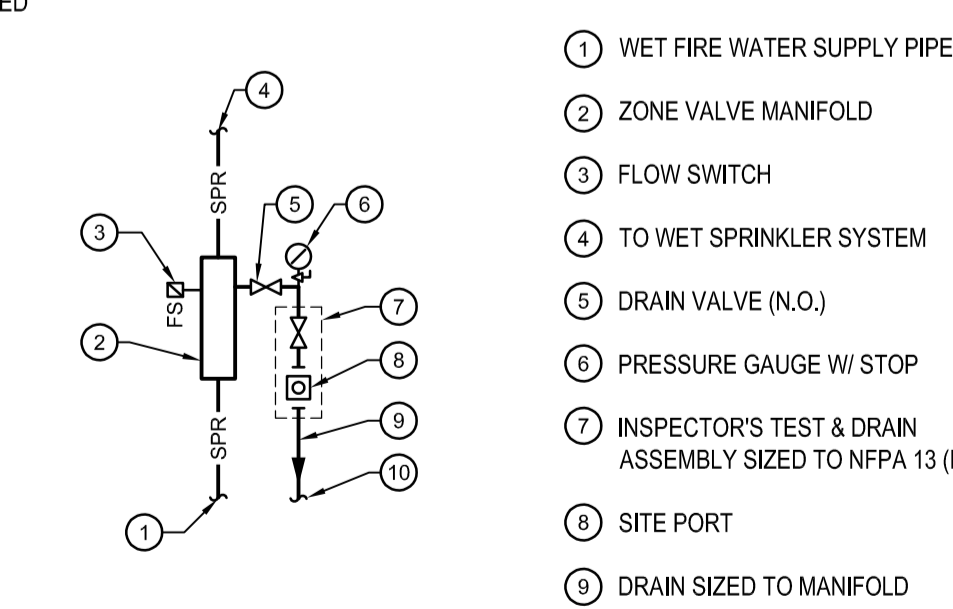
12 SANITARY LIFT STATION  
M3.0 NTS



13 PERIMETER DRAIN SUMP  
M3.0 NTS

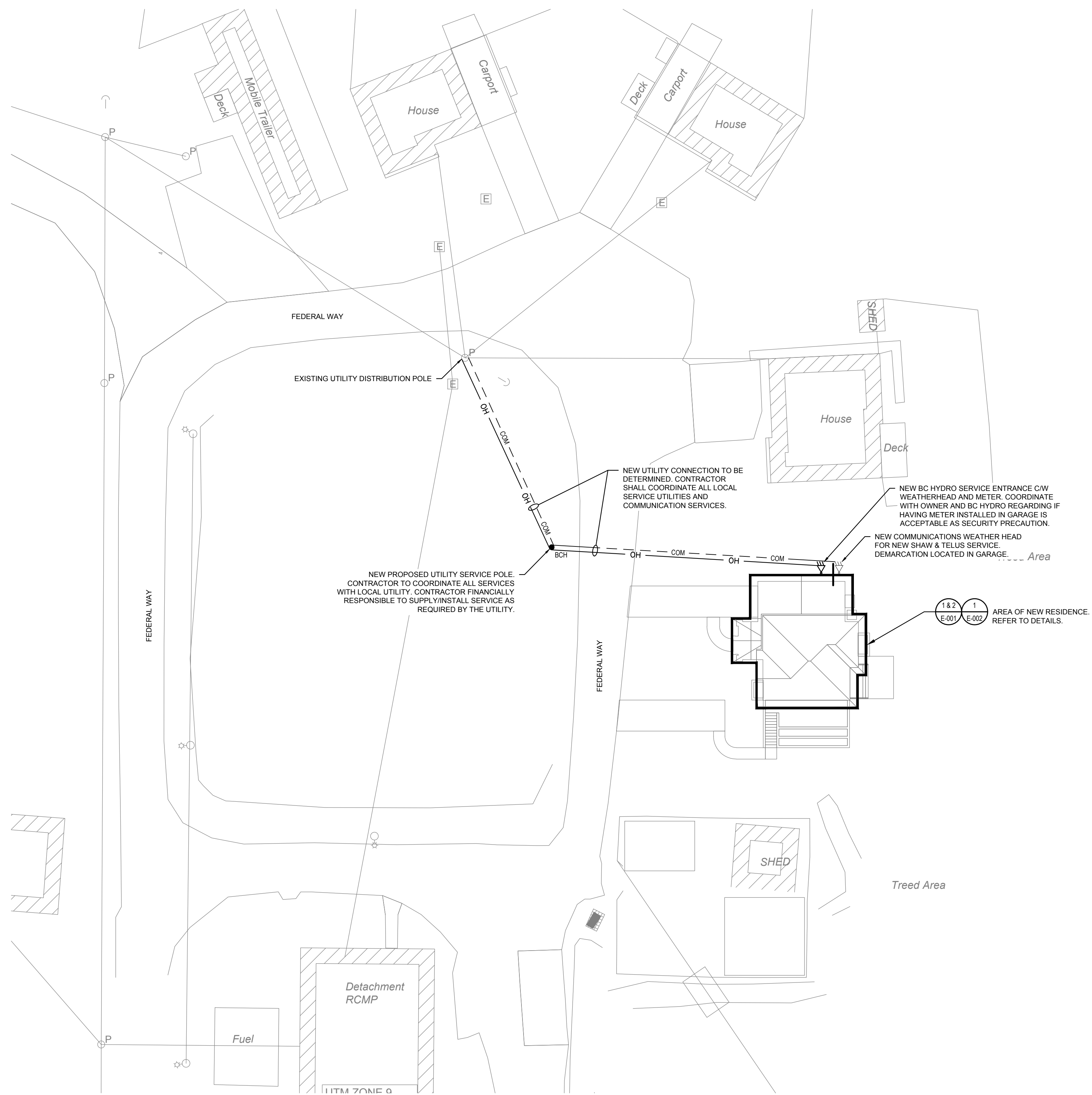


14 DRYER VENT DETAIL  
M3.0 NTS



16 TYPICAL WET ZONE VALVE ALARM STATION  
M3.0 NTS





**1 ELECTRICAL KEYPLAN**  
SCALE: 1:250

**GENERAL NOTES:**

- CONTRACTOR SHALL READ ELECTRICAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL AND CIVIL DRAWINGS IN ORDER TO PROVIDE A COMPLETE AND ACCURATE TENDER BID.
- CONTRACTOR SHALL PROVIDE ALL SEISMIC BRACING, RESTRAINTS, AND ASSOCIATED HARDWARE, AS REQUIRED. ENGAGE A STRUCTURAL ENGINEER TO ADVISE AND REVIEW SEISMIC ANCHORAGE AND RESTRAINT OF NEW ELECTRICAL EQUIPMENT/DEVICES.
- EXISTING INFORMATION WITHIN THESE DRAWINGS IS BASED ON INFORMATION PROVIDED BY OTHERS, EXTRACTED FROM HISTORICAL RECORDS AND SITE OBSERVATION.
- ALL CONDUITORS SHALL BE RUN IN CONDUIT SUITABLE FOR THE APPLICATION IN ACCORDANCE WITH THE LATEST EDITION OF CEC.
- CONTRACTOR TO FIELD LOCATE THE EXACT ROUTING OF ALL FEEDERS AND PROVIDE AN INSTALLATION THAT IS THE LEAST OBTRUSIVE AND DISRUPTIVE TO THE FACILITY.
- ALL CONDUITS CROSSING A SEISMIC GAP OR EXPANSION JOINT SHALL ALLOW UP TO 150mm MOVEMENT IN ALL DIRECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR TEMPORARY POWER BACKBOARD DURING CONSTRUCTION. COORDINATE WITH BC HYDRO.
- CONTRACTOR TO COORDINATE WITH BC HYDRO AND SHAW/TELUS FOR NEW SERVICES, INCLUDING ALL FEES AND PERMITS AS NEEDED. ALLOW FOR A CASH ALLOWANCE OF \$25,000 FOR UTILITY DESIGN AND CONSTRUCTION.

ANNOTATIONS			
DENOTE	DESCRIPTION	DENOTE	DESCRIPTION
BND	BOND WIRE (AS PER SPECIFICATIONS)	GFI	GROUND FAULT INTERRUPTOR
GND	GROUND WIRE (#6)	SPD	SURGE PROTECTION DEVICE
CW	COMPLETE WITH	TR	TAMPER RESISTANT
DISC	DISCONNECT	WT	WATER TIGHT
WP	WEATHERPROOF	AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE		
SYMBOL	DESCRIPTION		
	MECHANICAL EQUIPMENT TAG		
	REFERENCE NOTE (1 DENOTES SEE NOTE 1)		
	KITCHEN EQUIPMENT TAG		
	OWNER SUPPLIED EQUIPMENT TAG		
	CONDUIT TAG		
	REVISION IDENTIFICATION TAG		
	PANEL IDENTIFICATION TAG		
	NEW EQUIPMENT		
	EXISTING EQUIPMENT TO REMAIN		
	EXISTING EQUIPMENT TO BE REMOVED		

NOMENCLATURE	
	PANEL DESIGNATION
	CIRCUIT NUMBER

SINGLE LINE DIAGRAM SYMBOLS	
	POWER TRANSFORMER
	MOLDED CASE CIRCUIT BREAKER
	UNFUSED VOLTAGE DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH
	AUTOMATIC TRANSFER SWITCH WITHOUT MANUAL BYPASS
	METER
	BUSBAR
	SERVICE CONNECTION
	GENERATOR
	PANELBOARD
	PANELBOARD COMPLETE WITH MAIN BREAKER
	UTILITY POWER METER

POWER SYMBOLS	
SYMBOL	DESCRIPTION
	DUPLEX 15A RECEPTACLE
	*"WP" WHERE SHOWN, DENOTES DEVICE MOUNTED IN WEATHERPROOF F.S. BOX WITH WEATHERPROOF COVER
	*"GFI" WHERE SHOWN, DENOTES GROUND FAULT INTERRUPTER TYPE DUPLEX RECEPTACLE
	*"CC" WHERE SHOWN, DENOTES OVER THE COUNTER MOUNTED
	*"UC" WHERE SHOWN, DENOTES UNDER THE COUNTER MOUNTED
	"DW, F, W, D, MW" RESIDENTIAL EQUIPMENT: DISHWASHER, FRIDGE, WASHER, DRYER, MICROWAVE
	SIMILAR TO ABOVE, BUT MOUNTED APPROXIMATELY 3'-6" (1065 mm) ABOVE FINISHED FLOOR LEVEL OR ABOVE COUNTER, UNLESS OTHERWISE NOTED.
	15A DUPLEX RECEPTACLE PROTECTED BY GFI OUTLET OR BREAKER AT PANELBOARD. MOUNTED APPROXIMATELY 3'-6" (1065 mm) AFF.
	TWO 15A DUPLEX RECEPTACLES IN COMMON FACEPLATE.
	SIMILAR TO ABOVE, BUT MOUNTED APPROXIMATELY 3'-4" (1050 mm) ABOVE FINISHED FLOOR LEVEL OR ABOVE COUNTER.
	15A DUPLEX RECEPTACLE, DAMP AREA RATED, CEILING MOUNTED. PROVIDE WP FLIP COVER IN DAMP AREAS.
	20A DUPLEX RECEPTACLE (S-20R)
	SPECIAL PURPOSE RECEPTACLE AS DENOTED
	HARDWIRED EQUIPMENT CONNECTION
	SINGLE SURFACE MOUNTED / FLUSH MOUNTED PANELBOARD.
	"PP" DENOTES POWER PANEL, "LP" DENOTES LIGHTING AND POWER PANEL.
	SINGLE SURFACE MOUNTED / FLUSH MOUNTED LOW VOLTAGE
	"LV" DENOTES LOW VOLTAGE PANEL
	JUNCTION BOX
	PULLBOX
	FLUSH MOUNTED PUSHBUTTON MOUNTED 4'-0" (1.2 m) ABOVE FINISHED FLOOR LEVEL. "WP" WHERE SHOWN, DENOTES WEATHERPROOF.
	MOTOR
	DISCONNECT SWITCH UNLESS NOTED OTHERWISE
	ELECTRIC BASEBOARD HEATER
	THERMOSTAT
	GROUND ROD

LIGHTING SYMBOLS	
SYMBOL	DESCRIPTION
	1x4 SURFACE LUMINAIRE. LETTER "A" INDICATES LUMINAIRE TYPE AS PER LUMINAIRE SCHEDULE.
	RECESSED DOWNLIGHT
	SURFACE MOUNTED DOWN LIGHT
	WALL MOUNTED LUMINAIRE. LETTER "A" INDICATES TYPE AS PER LUMINAIRE SCHEDULE.
	FLUSH WALL MOUNTED LUMINAIRE
	SURFACE MOUNTED TRACK LUMINAIRE. LENGTH AS INDICATED; NUMBER OF HEADS INDICATED
	UNDERCABINET LED "PUCK" LIGHTING
	ONE, TWO, THREE LINE VOLTAGE TOGGLE SWITCH AND LOW VOLTAGE SWITCH MOUNTED 4'-0" (1.2m) ABOVE FINISHED FLOOR LEVEL, UNLESS OTHERWISE NOTED.
	"3" WHERE SHOWN, DENOTES 3-WAY SWITCH
	"4" WHERE SHOWN, DENOTES 4-WAY SWITCH
	"D" WHERE SHOWN, DENOTES DIMMER SWITCH
	OCCUPANCY SENSOR - CEILING MOUNTED, WALL MOUNTED

COMMUNICATIONS SYMBOLS	
SYMBOL	DESCRIPTION
	TELEPHONE DROP
	WIRELESS ACCESS POINT
	CABLE TELEVISION SIGNAL OUTLET (CATV)
	TELEPHONE/COMMUNICATIONS SIGNAL TERMINAL FLYWOOD BACKBOARD.
	COPPER BUSS BAR (PRE-DRILLED)
	DOORBELL CHIME

FIRE ALARM SYMBOLS	
SYMBOL	DESCRIPTION
	COMBINATIONAL SMOKE ALARM / CARBON MONOXIDE DETECTOR (HARDWIRED CONNECTION)
	SMOKE ALARM (HARDWIRED CONNECTION) C/W 10 YEAR LITHIUM BATTERY (REFER TO CEC RULE 32-200 e)
	WALL MOUNTED CARBON MONOXIDE ALARM (HARDWIRED CONNECTION)

CODE LOAD		
	MAIN DWELLING (137 m <sup>2</sup> )	BASEMENT SUITE (88 m <sup>2</sup> )
BASIC LOAD:	= 6000 W	5000 W
ELECTRIC HEATING LOADS:	= -	-
RANGE:	= 6000 W	6000 W
WATER HEATER: 4500 W x 25%	= 1125 W	-
DRYER: 4000 W x 25%	= 1000 W	1000 W
SUB TOTAL:	= 13750 W	12000 W
DEMAND (CEC 8-200 [2]):	= 13750 W	7800 W
BREAKER RATING:	= SEE SERVICE SIZE	70 A
HEAT PUMP HP-1:	= 14400 W	-
HRV HEATER:	= 4000 W	-
DEMAND TOTAL:	= 39950 W	-
AMPS @ 240V, 1φ	= 167 A	-
SERVICE SIZE:	= 200A SERVICE	-

DRAWING LIST	
DRAWING NUMBER	DRAWING NAME
E00	ELECTRICAL LEGEND, SITE PLAN, AND DRAWING LIST
E01	MAIN FLOOR AND BASEMENT PLAN - ELECTRICAL
E02	UPPER FLOOR AND ROOF PLAN - ELECTRICAL
E03	ELECTRICAL DETAILS
E04	ELECTRICAL SCHEDULES
E05	ELEVATIONS



Public Works and Government Services Canada / Travaux publics et Services gouvernementaux Canada

REAL PROPERTY SERVICES Pacific Region / SERVICES IMMOBILIERS Région de Pacifique

numberTEN architectural group number 10

WSP 301-5600 Uptown Blvd Victoria BC, Canada V8Z 0B9  
T: 1 250-384-5510 F: 1 250-386-2844 wsp.com

PROFESSIONAL ENGINEER  
BRITISH COLUMBIA  
# 53555  
2021-07-12

Revision/Revisión	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 90% REVIEW	2021-06-01
0	ISSUED FOR 86% REVIEW	2021-05-03

Client/Client

**Public Services and Procurement Canada (PSPC)**

**VANCOUVER, BC**  
**800 BURRARD ST.**

Project title/Titre du projet

Consultant Signature Box Only

Designed by/Concept par **NJS**

Drawn by/Dessiné par **NJS**

PWSSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWSSC, Regional Manager, Architectural and Engineering Services / Gestionnaire régionale, Services d'architecture et de génie, TPSGC  
**PREETIPAL PAUL**

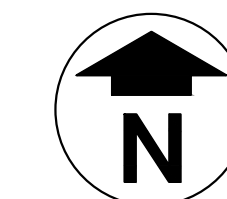
Drawing title/Titre du dessin

**NEW EMPLOYEE HOUSING SINGLE FAMILY HOUSE**

**ELECTRICAL LEGEND, SITE PLAN, AND DRAWING LIST**

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
<b>R.112456.001</b>	<b>E00</b>	<b>3</b>



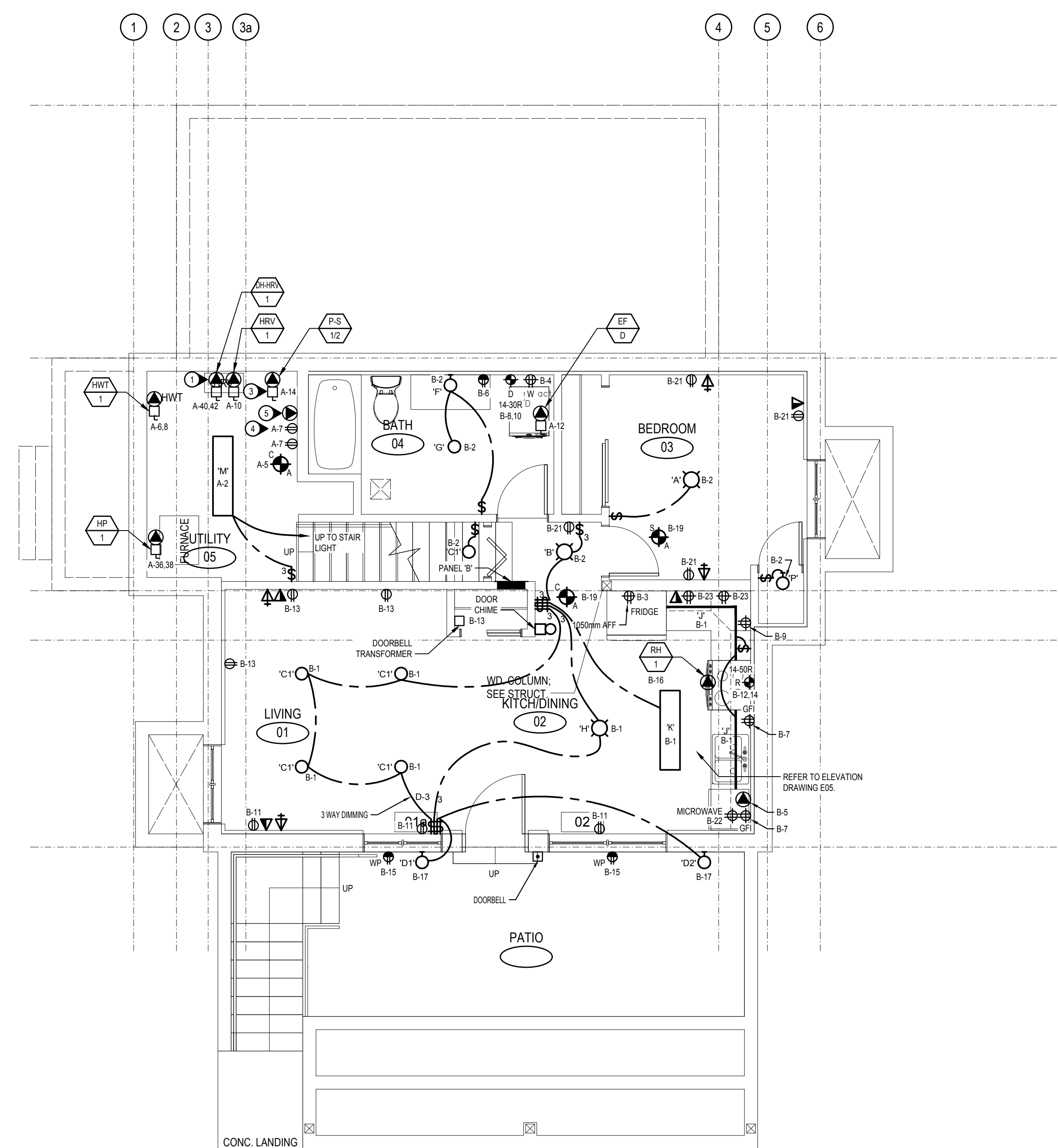


**GENERAL NOTES:**

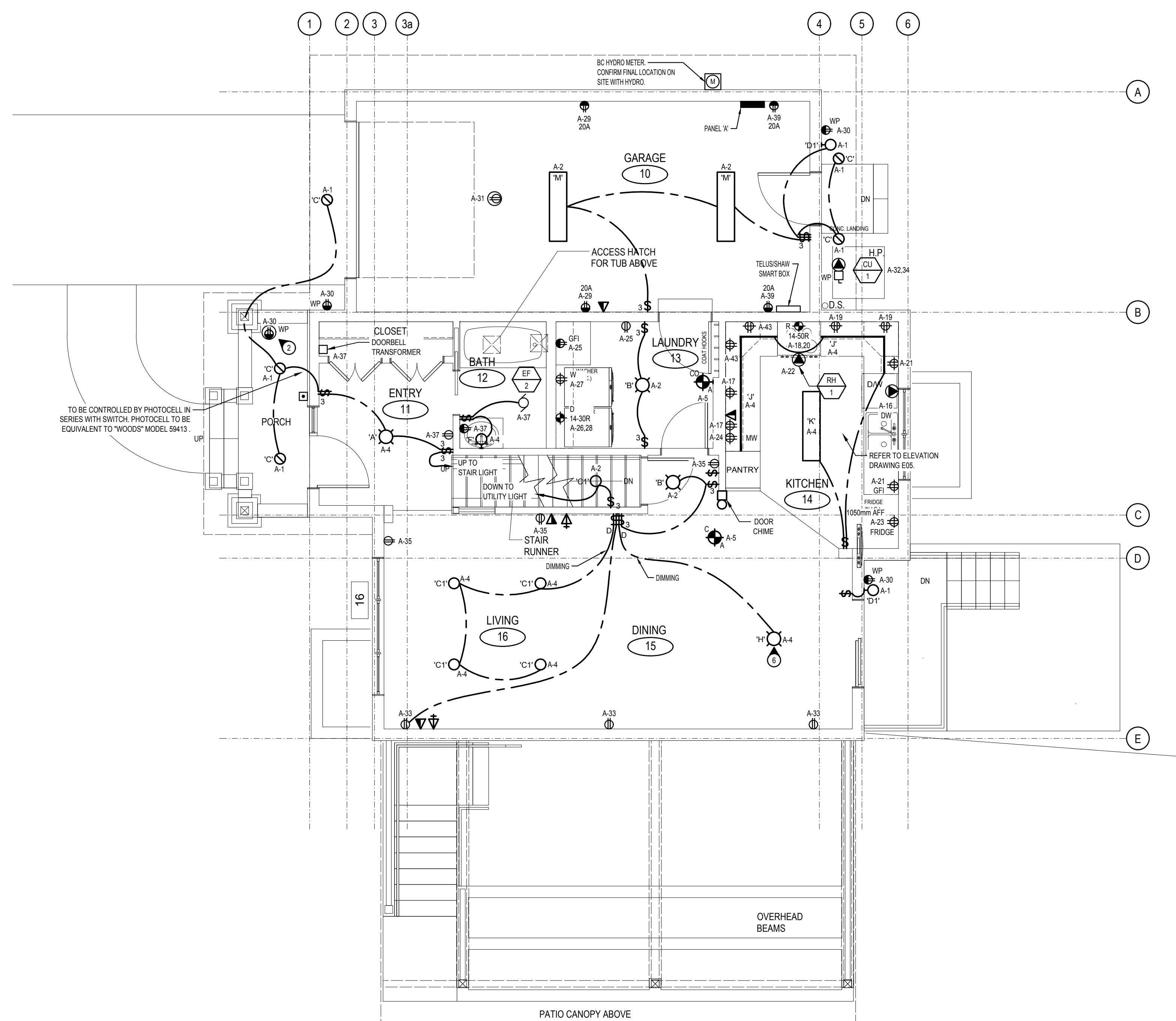
1. PROVIDE ARC FAULT PROTECTION OF ALL 125V RECEPTACLES RATED 20A OR LESS AS PER LATEST EDITION OF CEC, RULE 26-656.
2. SMOKE ALARMS (INCLUDING COMBINATION TYPE ALARMS) ARE TO BE INTERCONNECTED IN EACH UNIT AS PER BCBC 9.10.19.5.
3. LOCATE COMBINATION CO/SMOKE ALARM MINIMUM 1500mm [5'-0"] AWAY FROM FUEL-BURNING APPLIANCES.
4. PROVIDE ALL HARDWIRED DOORBELL SYSTEMS C/W WIRING, PUSHBUTTONS, TRANSFORMERS, CHIME AND MOUNTING EQUIPMENT AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
5. PROVIDE A CEILING RECEPTACLE IN THE GARAGE LOCATED AS CLOSE AS POSSIBLE TO DOOR OPERATOR.
6. COORDINATE GARAGE DOOR SYSTEM WITH GARAGE DOOR SUPPLIER, INCLUDING WIRING, DOOR SENSORS, PUSHBUTTON AND DOOR OPERATOR AS REQUIRED.
7. EFFLUENT FILTER ALARM AS SUPPLIED BY EFFLUENT FILTER MANUFACTURER.

**KEYNOTES:**

- 1 PROVIDE A CIRCUIT AND LOCAL DISCONNECT FOR DUCT HEATER. COORDINATE WITH THE MECHANICAL CONTRACTOR ON SITE.
- 2 PROVIDE A GFI-PROTECTED OUTLET C/W FLIP COVER WITHIN SOFFIT FOR HOLIDAY LIGHTING. OUTLET TO BE RATED FOR DAMP LOCATIONS.
- 3 SANITARY SUMP PUMPS. PROVIDE 15A DEDICATED CIRCUIT TO CONTROLLER BOX AND COORDINATE FINAL CONNECTIONS WITH MECHANICAL. CONTROLS AND PUMP BY MECHANICAL.
- 4 IRRIGATION RECEPTACLE. CONTRACTOR TO COORDINATE WITH THE MECHANICAL CONTRACTOR ON SITE FOR FINAL LOCATION.
- 5 CONTROL PANEL FOR SUMP PUMPS. CONTRACTOR TO COORDINATE WITH THE MECHANICAL CONTRACTOR ON SITE FOR FINAL LOCATION.
- 6 CENTER OVER LOCATION OF DINING TABLE. COORDINATE WITH ARCHITECT.



**1 BASEMENT PLAN - ELECTRICAL**  
E01 SCALE: 1:50



**2 MAIN FLOOR PLAN - ELECTRICAL**  
E01 SCALE: 1:50

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800 BURRARD ST.

Project title/Titre du projet  
**New Residence  
New Aiyansh, BC**

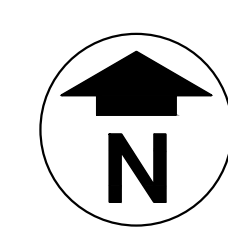
Consultant Signature Box Only  
Designed by/Concept par  
**NJS**  
Drawn by/Dessiné par  
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PWGSC Project Manager/Administrateur de Projets TPSGC  
**PHILIP FUNG**  
PWGSC, Regional Manager, Architectural and Engineering Services /  
Gestionnaire régional, Services d'architecture et de génie, TPSGC  
**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**NEW EMPLOYEE HOUSING  
SINGLE FAMILY HOUSE  
MAIN FLOOR AND BASEMENT PLAN -  
ELECTRICAL**

Project No./No. du projet	Sheet/Feuille	Revision no./ La Révision no.
<b>R.112456.001</b>	<b>E01</b>	<b>3</b>

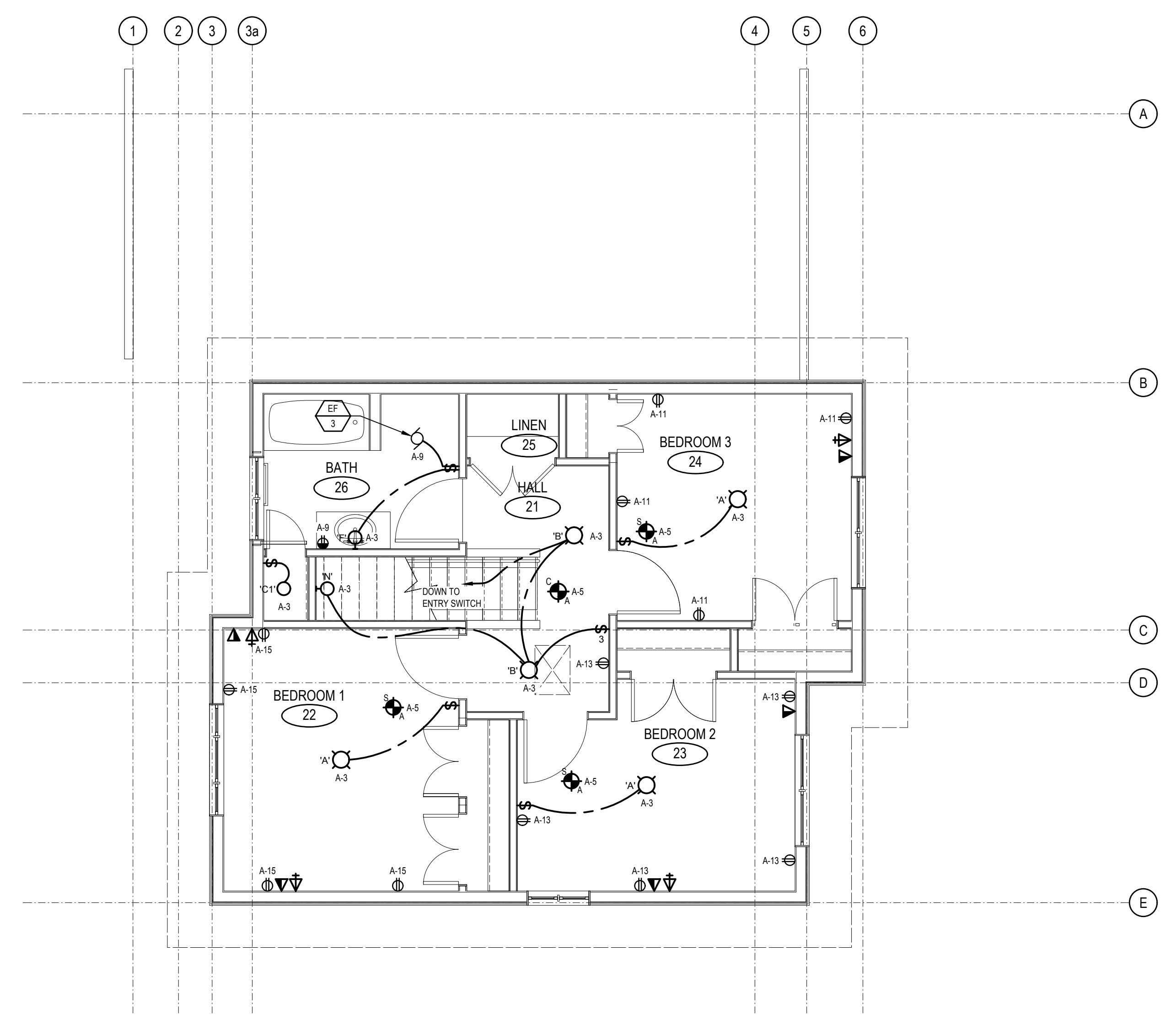






**GENERAL NOTES:**

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1 UPPER FLOOR PLAN - ELECTRICAL  
E02 SCALE: 1:50

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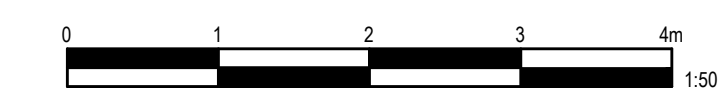
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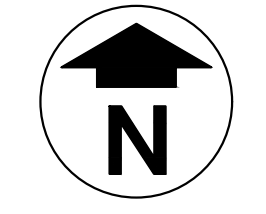
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**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**NEW EMPLOYEE HOUSING  
SINGLE FAMILY HOUSE  
UPPER FLOOR AND ROOF PLAN -  
ELECTRICAL**

Project No./No. du projet <b>R.112456.001</b>	Sheet/ Feuille <b>E02</b>	Revision no./ La Révision no. <b>3</b>
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Revision/Revisión	Description/Description	Date/Date
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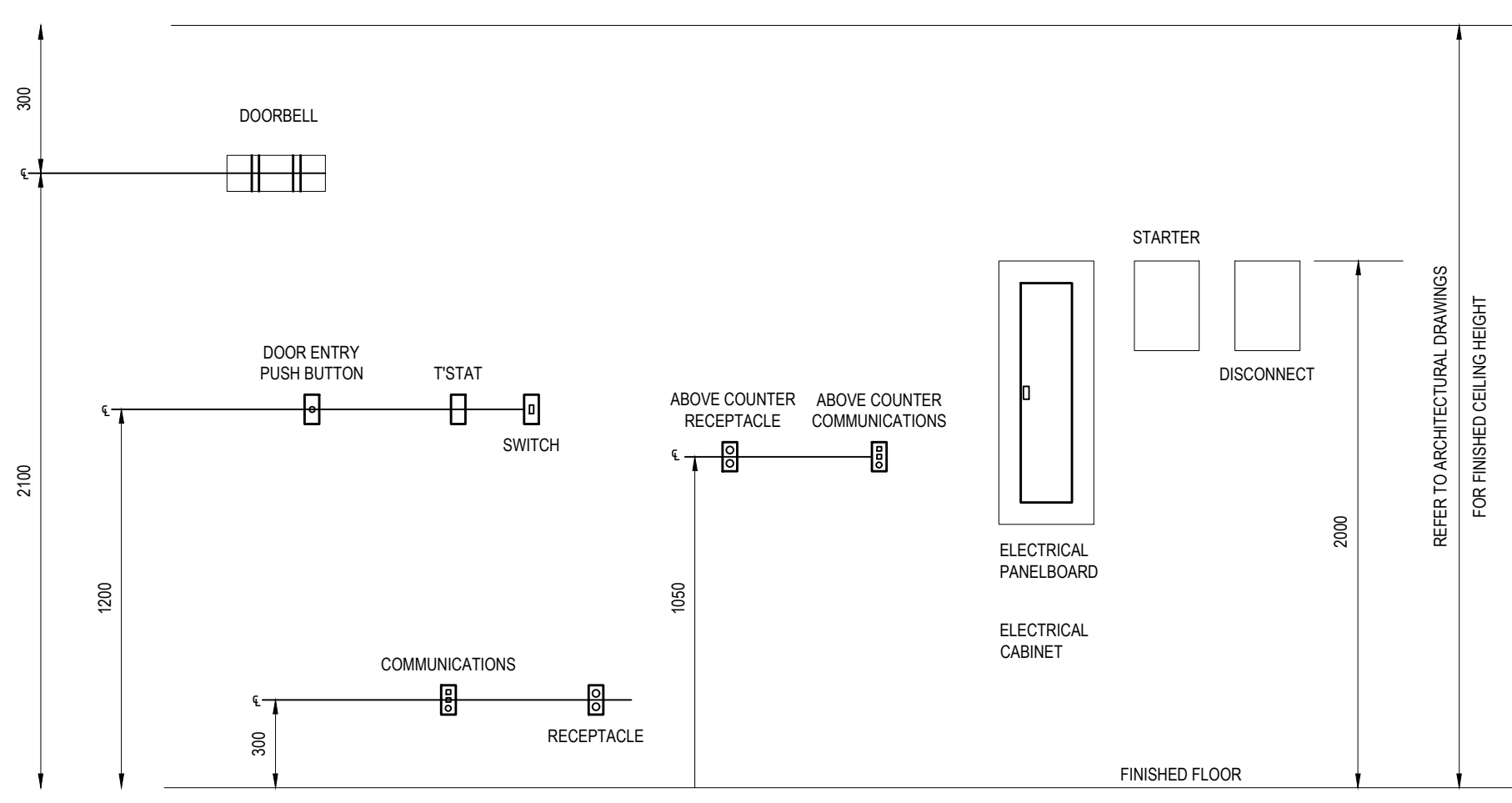
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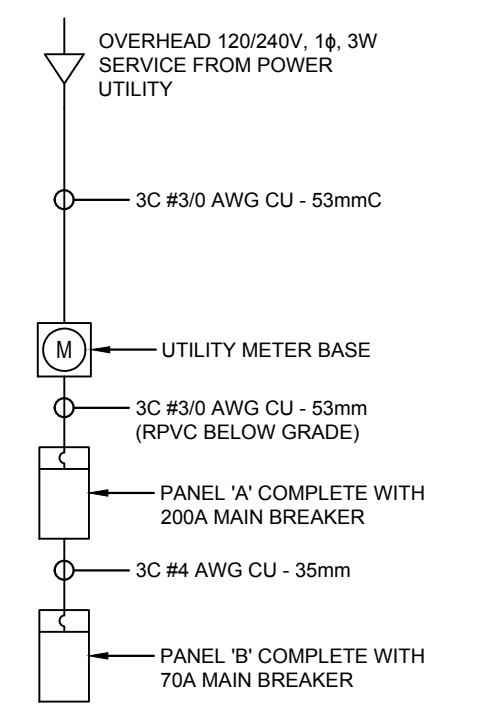
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**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**NEW EMPLOYEE HOUSING  
 SINGLE FAMILY HOUSE  
 ELECTRICAL DETAILS**

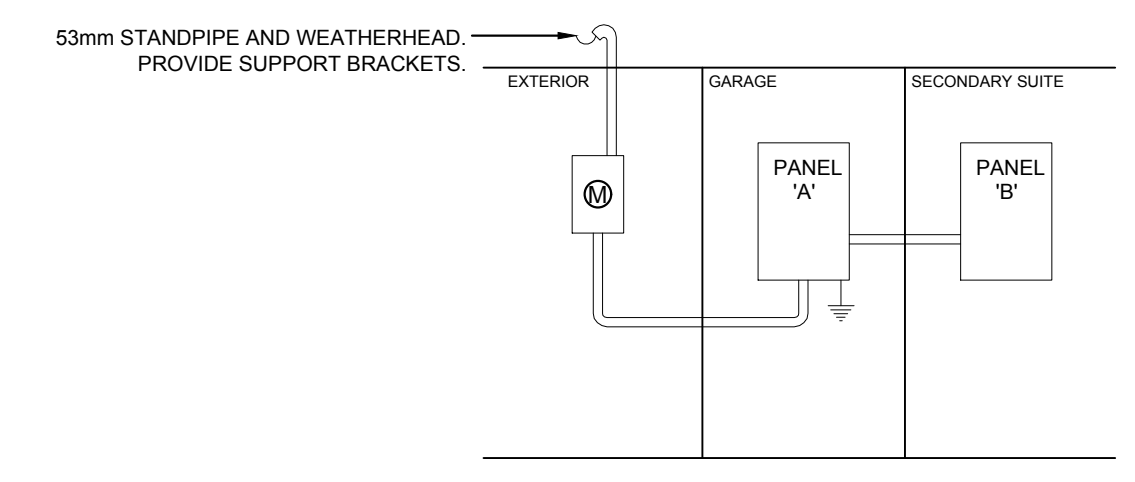
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<b>R.112456.001</b>	<b>E03</b>	<b>3</b>



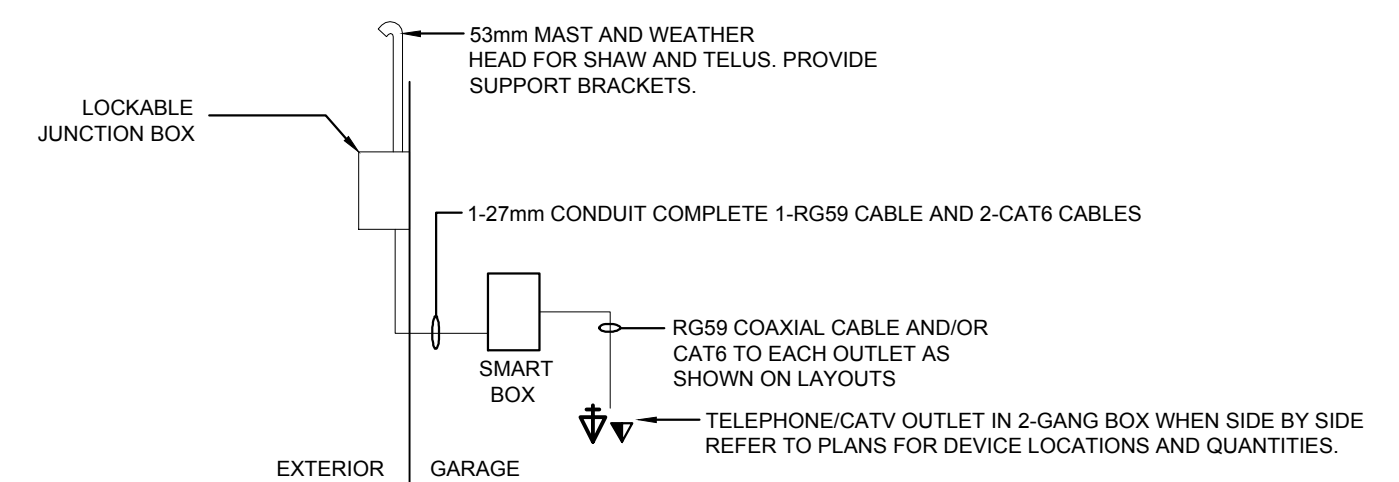
NOTE:  
ALIGN ALL EQUIPMENT VERTICALLY AND HORIZONTALLY.  
**1 TYPICAL MOUNTING HEIGHTS**  
 SCALE: 1:20



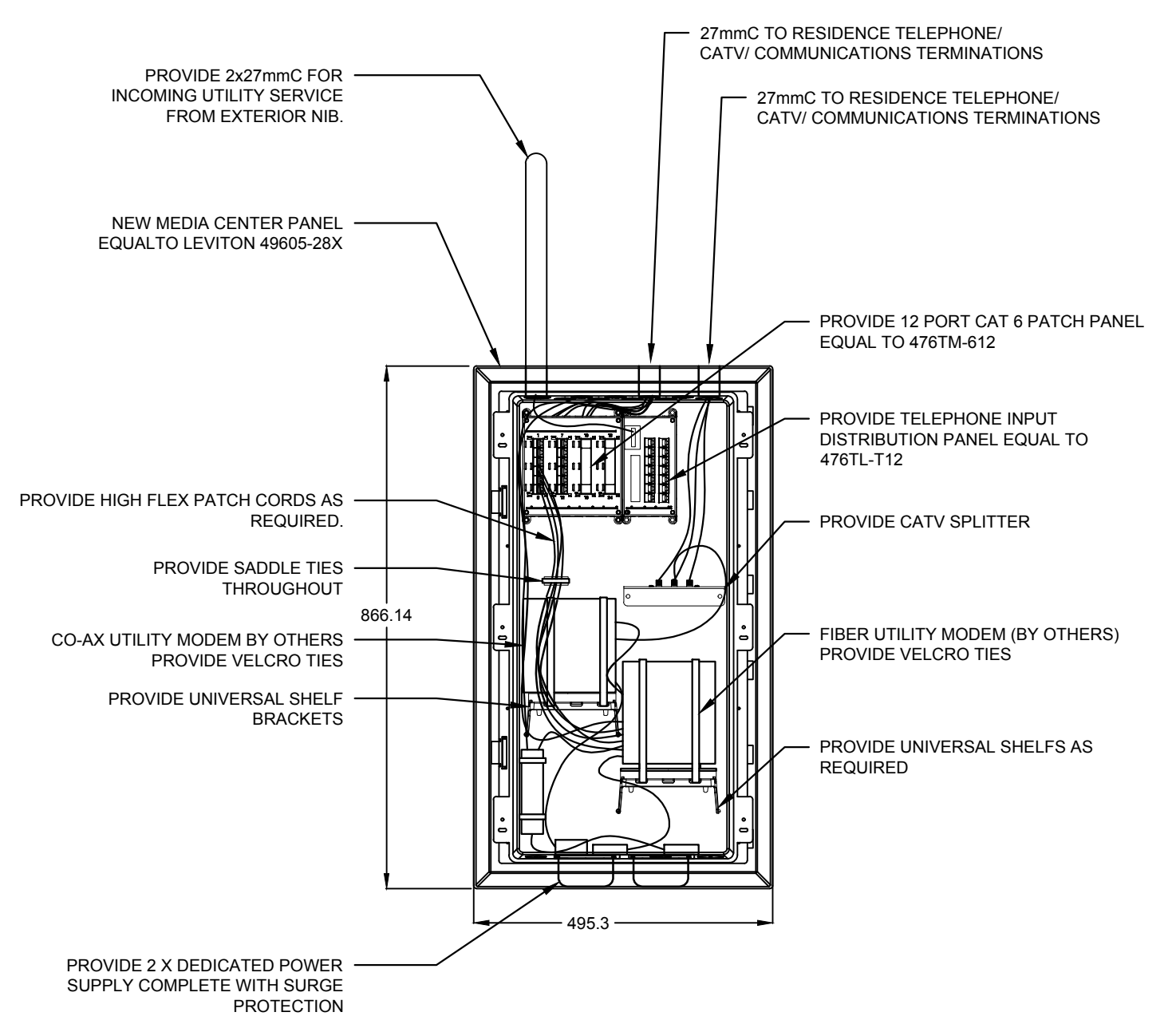
**2 ELECTRICAL SINGLE LINE DIAGRAM**  
 SCALE: NTS



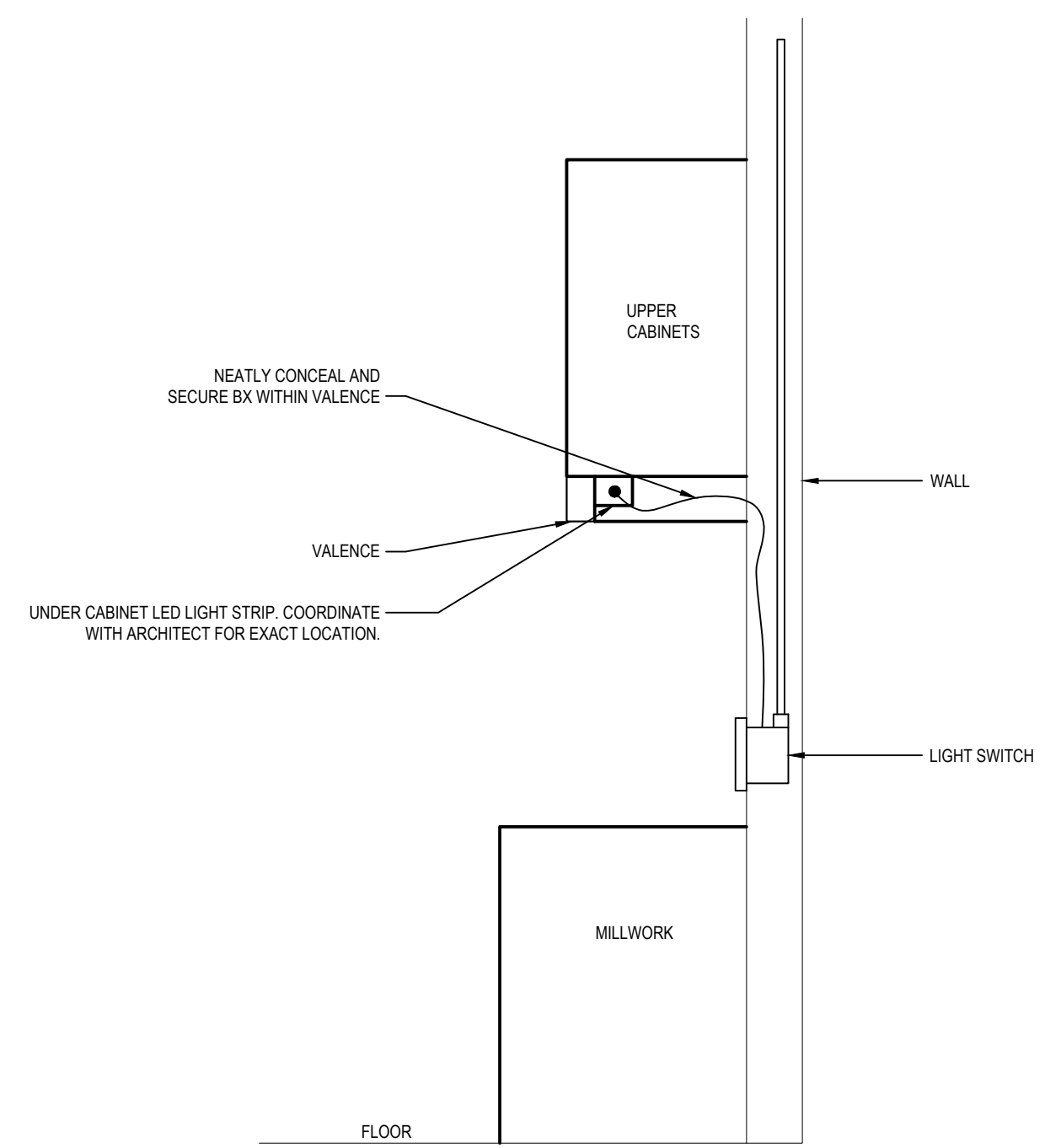
**3 SERVICE RISER DIAGRAM**  
 SCALE: NTS



**4 COMMUNICATION RISER DIAGRAM**  
 SCALE: NTS

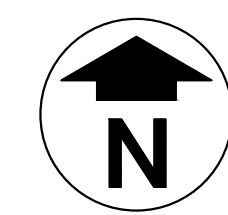


**5 SMART BOX DETAIL**  
 SCALE: NTS



**6 UNDERCABINET LIGHT DETAIL**  
 SCALE: NTS





WSP		MECHANICAL EQUIPMENT SCHEDULE																														
RCMP New Employee Housing - New Aiyansh			Project No: 211-02781-00				Date: July 13, 2021			Issue: 66% REVIEW 0 - NJS																						
TAG	DESCRIPTION	LOCATION	POWER REQUIREMENTS						FIRE ALARM			AUXILIARY PWR			STARTER			DISCONNECT			CONTROL DEVICE			NOTES								
			FLA	MCA	OVERCURRENT	FEEDERS	Single Pt Conn	Smoke Shut-off	Trouble Signal	Life Safety	Delayed Vital	Standby	Type	Location	S	I	W	Type	S	I	W	Type	S		I	W						
CU-1	CONDENSING UNIT	EXTERIOR			240	1	23.8	28.9	30A-2P	3/10 TECK 90	N	N	N	N	N	N	M	M	M	ND	E	E	E	I	M	M	M	1,3,4				
EF-D	DRYER BOOSTER FAN	BATH 04	0.25		120	1			15A-1P	2/12 + GND	Y	N	N	N	N	N	GA										1,2,6					
HP-1	HEAT PUMP	UTILITY ROOM		14.4	240	1			30A-2P	2/4 + GND	N	N	N	N	N	N	E	E	E	ND	E	E	E	T	M	M	M	1,3,4				
DHHRV-1	DUCT HEATER	UTILITY ROOM		4	120	1			25A-1P	2/12 + #2ND	Y	N	N	N	N	N	SS				E	E	E	E	T	M	M	M	1,4			
HRV-1	HEAT RECOVERY VENTILATOR	UTILITY ROOM		0.25	120	1			15A-1P	2/12 + GND	Y	N	N	N	N	N	SS				E	E	E	ND	E	E	E	TC	M	M	M	1,5
HW1-1	ELECTRIC DOMESTIC HOT WATER HEATER	UTILITY ROOM		4.5	240	1			25A-2P	2/12 + GND	Y	N	N	N	N	N				M	M	M	ND	E	E	E	T	M	M	M	1	
RH-1	RANGE HOOD (BY OWNER)	SUITE KITCHEN AND MAIN KITCHENS		0.5	120	1	4		15A-1P	2/12 + GND	Y	N	N	N	N	N	DSC				E	E	E									2

**LEGEND**  
 Ex = Existing  
 I = Installed  
 S = Supplied  
 W = Wired  
 wt = wire to  
 M = by Mechanical  
 D = by Others  
**STARTER**  
 DSC = Appliance Unlocked Disconnect  
 FABR = Fire Alarm System Relay  
 OA = On/Off Auto  
**CONTROL DEVICE**  
 AM = Ammeter/Timer  
 CO = CO detector  
 W3 = Vdr. Freq. Drive  
 DDC = Bldg Automation (BAS)  
 WP = Weatherproof  
**DISCONNECT**  
 ND = Non-Fused Disconnect  
 PD = Fused Disconnect

**GENERAL NOTES**  
 1. Magnetic starters with pilot light and four auxiliary dry contacts for interlocks, 2 NO and 2 NC, thermal overload protection (review Mechanical shop drawings to ensure proper selection), flexible connections for power wiring to all equipment.  
 2. Shafts for ducts and/or pipes cannot be used for electrical distribution.  
 3. Line voltage thermostats shall be supplied by Mechanical and installed by Electrical.  
 4. Electrical contractor to confirm nameplate ratings prior to installation.  
**NOTES:**  
 1. PROVIDE DISCONNECT FOR UNIT (WEATHERPROOF WHERE REQUIRED).  
 2. BUILT-IN SWITCH ON OWNER SUPPLIED UNIT.  
 3. POWER TO HP-1 IS SUB-FED FROM CU-1.  
 4. MOUNT AND CONNECT TO MECHANICALLY SUPPLIED THERMOSTAT  
 5. PROVIDE WALL MOUNTED SWITCH. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR.  
 6. CONNECT POWER TO CONTROL BOX (SUPPLIED BY MECHANICAL). INSTALL FLOATS AS REQUIRED BY MANUFACTURER.

PANEL 'A'									
Voltage: - 120/240V, 3W Location: - GARAGE Mounting: - SURFACE Bus Size: - 225A Fault Current Rating: - 10kA Other: - 200A MAIN BREAKER, SUPPLY FROM UTILITY METER									
CCT	Description	Bkr	P	A	B	P	Bkr	Description	CCT
1	EXTERIOR LIGHTS	15A	1	1	1	15A		INTERIOR LIGHTING	2
3	INTERIOR LIGHTING	15A	1	1	1	15A		INTERIOR LIGHTING	4
5	SMOKE ALARMS	15A	1	2	2	25A		HOT WATER TANK 1	6
7	UTILITY ROOM RECEPT.	15A	1	1	1	15A		HRV-1	8
9	UPPER BATH RECEPT. FAN	15A	1	1	1	15A		BOOSTER FAN	10
11	UPPER BEDROOM RECEPT.	15A	1	1	1	15A		SANITARY DUPLEX SUMP PUMP	12
13	UPPER BEDROOM RECEPT.	15A	1	1	1	15A		DISHWASHER	14
15	UPPER BEDROOM RECEPT.	15A	1	1	1	15A		RANGE	16
17	COUNTER RECEPT.	20A	1	1	2	50A		RANGEHOOD FAN	18
19	COUNTER RECEPT.	20A	1	1	1	15A		MICROWAVE	20
21	COUNTER RECEPT.	20A	1	1	1	15A		MICROWAVE	22
23	FRIDGE	15A	1	1	1	15A		MICROWAVE	24
25	LAUNDRY RECEPT.	15A	1	1	2	30A		CLOTHES DRYER	26
27	CLOTHES WASHER	20A	1	1	1	15A		EXTERIOR RECEPT.	28
29	GARAGE RECEPT.	20A	1	1	1	15A		EXTERIOR RECEPT.	30
31	GARAGE DOOR OPERATOR	15A	1	1	2	30A		CONDENSING UNIT CU-1	32
33	LIVING ROOM RECEPT.	15A	1	1	1	15A		CONDENSING UNIT CU-1	34
35	LIVING ROOM RECEPT.	15A	1	1	2	80A		HEAT PUMP HP-1	36
37	MAIN BATH RECEPT. & ENTRY	15A	1	1	2	25A		4KW DUCT HEATER - HRV-1	38
39	GARAGE RECEPT.	20A	1	1	2	25A		4KW DUCT HEATER - HRV-1	40
41	COUNTER RECEPT.	20A	1	1	1	15A		SPARE	42
43	COUNTER RECEPT.	20A	1	1	1	15A		SPARE	44
45	SPARE	15A	1	1	1	15A		SPARE	46
47	SPARE	15A	1	1	1	15A		SPARE	48
49	SPARE	15A	1	1	1	15A		SPARE	50
51	SPARE	15A	1	1	1	15A		SPARE	52
53	SPACE		1	1	1			SPACE	54
55	SPACE		1	1	1			SPACE	56
57	SPACE		1	1	1			SPACE	58
59	SPACE		1	1	1			SPACE	60

PANEL 'B'									
Voltage: - 120/220V, 3W Location: - BASEMENT SUITE Mounting: - RECESSED Bus Size: - 100A Fault Current Rating: - 10kA Other: - 70A MAIN BREAKER IN PANEL 'A'									
CCT	Description	Bkr	P	A	B	P	Bkr	Description	CCT
1	KITCHEN LIGHTING	15A	1	1	1	15A		BATH BEDROOM LIGHTING	2
3	FRIDGE	20A	1	1	1	20A		CLOTHES WASHER	4
5	DISHWASHER	15A	1	1	1	15A		BATH SINK RECEPT.	6
7	COUNTER RECEPT.	20A	1	1	2	30A		CLOTHES DRYER	8
9	COUNTER RECEPT.	20A	1	1	2	50A		RANGE	10
11	LIVING ROOM RECEPT.	15A	1	1	2	50A		RANGE	12
13	LIVING ROOM RECEPT.	15A	1	1	2	50A		RANGE	14
15	EXTERIOR RECEPT.	15A	1	1	1	15A		RANGEHOOD FAN	16
17	EXTERIOR LIGHTING	15A	1	1	1	15A		SPARE	18
19	SMOKE ALARM	15A	1	1	1	15A		SPARE	20
21	BEDROOM RECEPT.	15A	1	1	1	15A		MICROWAVE	22
23	COUNTER RECEPT.	20A	1	1	1	15A		SPARE	24
25	SPARE	15A	1	1	1	15A		SPARE	26
27	SPARE	15A	1	1	1	15A		SPARE	28
29	SPARE	15A	1	1	1	15A		SPARE	30

LUMINAIRE SCHEDULE				
TYPE	DESCRIPTION	IMAGE	TYPICAL LOCATION	NOTES
A	LARGE SURFACE MOUNT - 18" DIAMETER 3x12W LED		BEDROOM LIVING ROOM ENTRY	120V/2000K
B	SURFACE MOUNT - 12" DIAMETER 1x12W LED		HALLWAY	120V/2000K
C	RECESSED - 8" DIAMETER 1x12W LED		EXTERIOR	120V/2000K
C1	RECESSED - 8" DIAMETER 1x12W LED		INTERIOR	120V/2000K
D1	WALL MOUNT - INTEGRAL MOTION SENSOR INTEGRAL LED LIGHT SOURCE		EXTERIOR	120V/2000K
D2	WALL MOUNT - INTEGRAL LED LIGHT SOURCE		EXTERIOR	120V/2000K
F	WALL MOUNT VANITY 3x12W LED		BATHROOM	120V/2000K
G	RECESSED - 8" DIAMETER 1x12W LED		BATHROOM	120V/2000K
H	PENDANT MOUNT 1x24W LED GLOBE		DINING ROOM	120V/2000K, CHROME FINISH
J	UNDER CABINET - LED STRIP		KITCHEN UNDERCABINET	230 LMFT, 120V, 3000K, 3W/FT, FROSTED LENS AND MOUNTING HARDWARE
K	SURFACE LINEAR 4FT		KITCHEN	120V/2000K
M	SURFACE LINEAR 4FT		GARAGE	120V/2000K
N	WALL MOUNT		STAIRS	120V/2000K
P	WALL/CEILING MOUNT		CLOSET	120V/2000K

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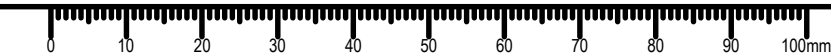
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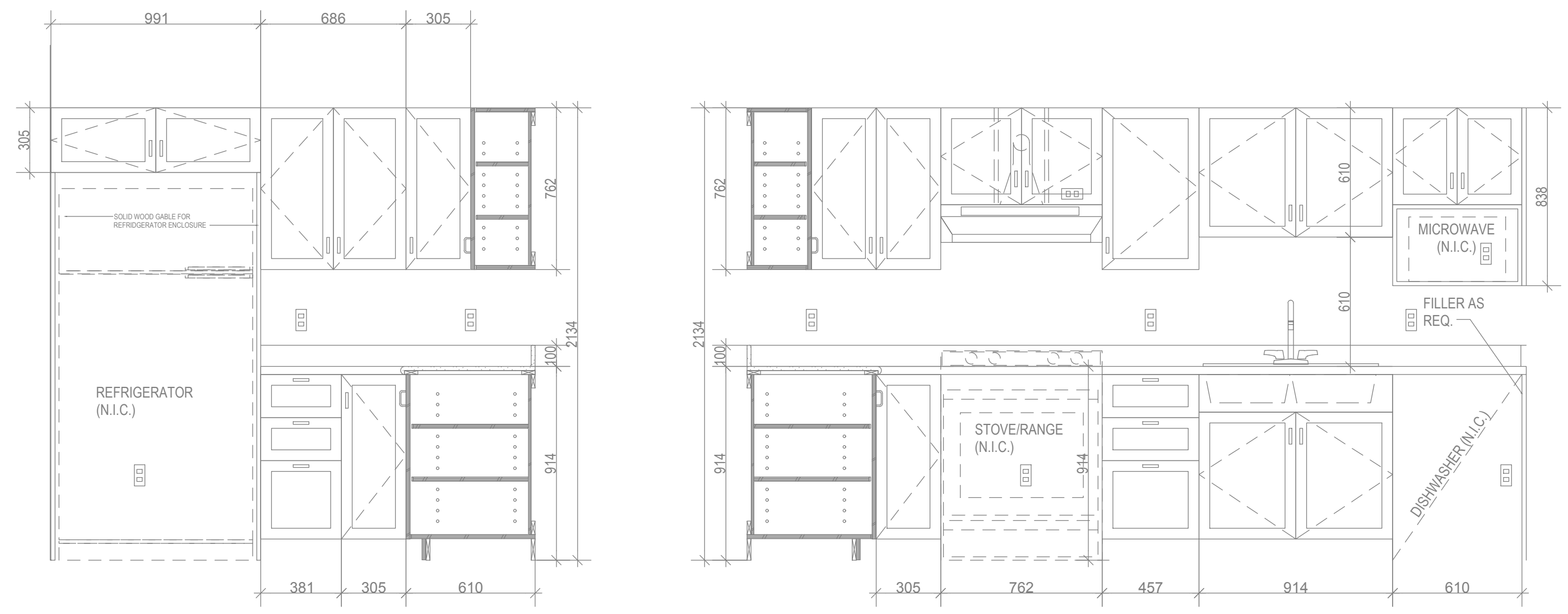
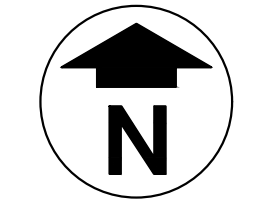
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**PREETIPAL PAUL**

Drawing title/Titre du dessin  
**NEW EMPLOYEE HOUSING SINGLE FAMILY HOUSE**  
**ELECTRICAL SCHEDULES**

Project No./No. du projet <b>R.112456.001</b>	Sheet/ Feuille <b>E04</b>	Revision no./ La Révision no. <b>3</b>
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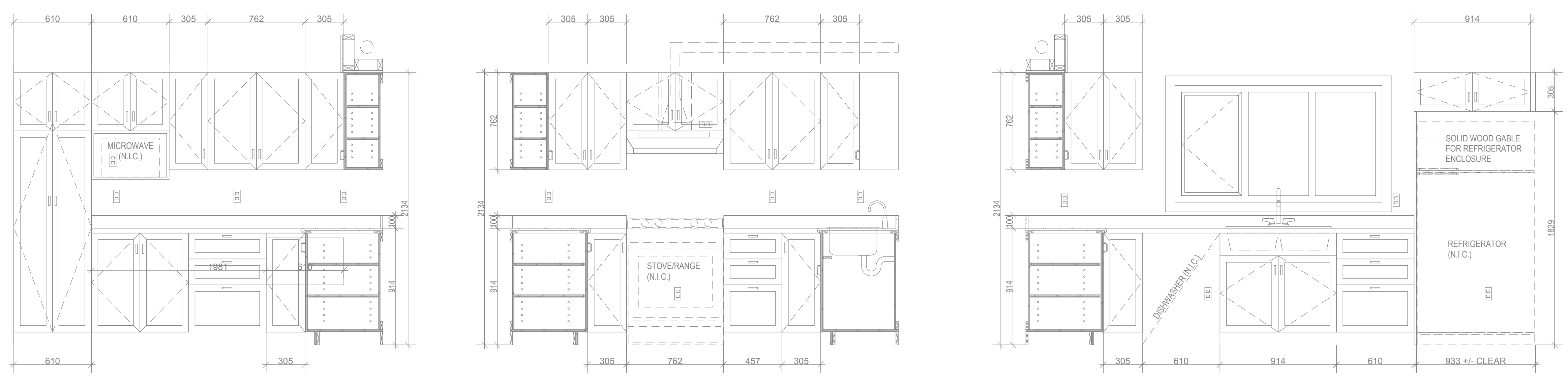




BASEMENT KITCHEN NORTH WALL

BASEMENT KITCHEN EAST WALL

**1 MAIN FLOOR KITCHEN ELEVATION**  
 SCALE: 1:10



MAIN FLOOR KITCHEN EAST WALL

MAIN FLOOR KITCHEN NORTH WALL

MAIN FLOOR KITCHEN EAST WALL

**2 UPPER FLOOR KITCHEN ELEVATIONS**  
 SCALE: 1:50

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**SINGLE FAMILY HOUSE**  
**ELEVATIONS**

Project No./No. du projet <b>R.112456.001</b>	Sheet/Feuille <b>E05</b>	Revision no./La Révision no. <b>3</b>
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**LEGEND:**

- O/H — OVERHEAD POWER/COMM LINE
- E — BURIED POWER/COMM LINE
- S — SANITARY SEWER
- D — STORM SEWER
- W — POTABLE WATER
- ⊞ — ELECTRICAL VAULT
- ⊞ — UTILITY POLE
- ⊞ — UTILITY POLE ANCHOR
- ⊞ — WATER VALVE
- ⊞ — POLE MOUNTED LAMP



Revision/ Révision	Description/Description	Date/Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 88% REVIEW	2021-05-03

Client/client  
**Public Services Procurement Canada (PSPC)**  
**VANCOUVER, BC**  
**800 BURRARD ST.**

Project title/Titre du projet  
**New Residence, New Aiyansh, BC**

Consultant Signature Box Only  
 Designed by/Concept par  
**DN**  
 Drawn by/Dessiné par  
**SG**  
 PWGSC Project Manager/Administrateur de Projets TPSGC  
**PREETIPAL PAUL**  
 PWGSC Regional Manager, Architectural and Engineering Services/  
 Gestionnaire régionale, Services d'architecture et de génie, TPSGC  
**GAURAV SHARMA**

Drawing title/Titre du dessin  
**NEW EMPLOYEE HOUSING**  
**SINGLE FAMILY HOUSE**  
**SITE PLAN**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La révision no.
<b>R.112456.001</b>	<b>C01</b>	<b>3</b>



**GENERAL NOTES:**

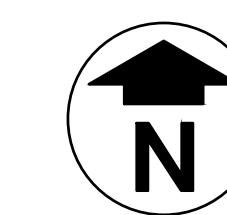
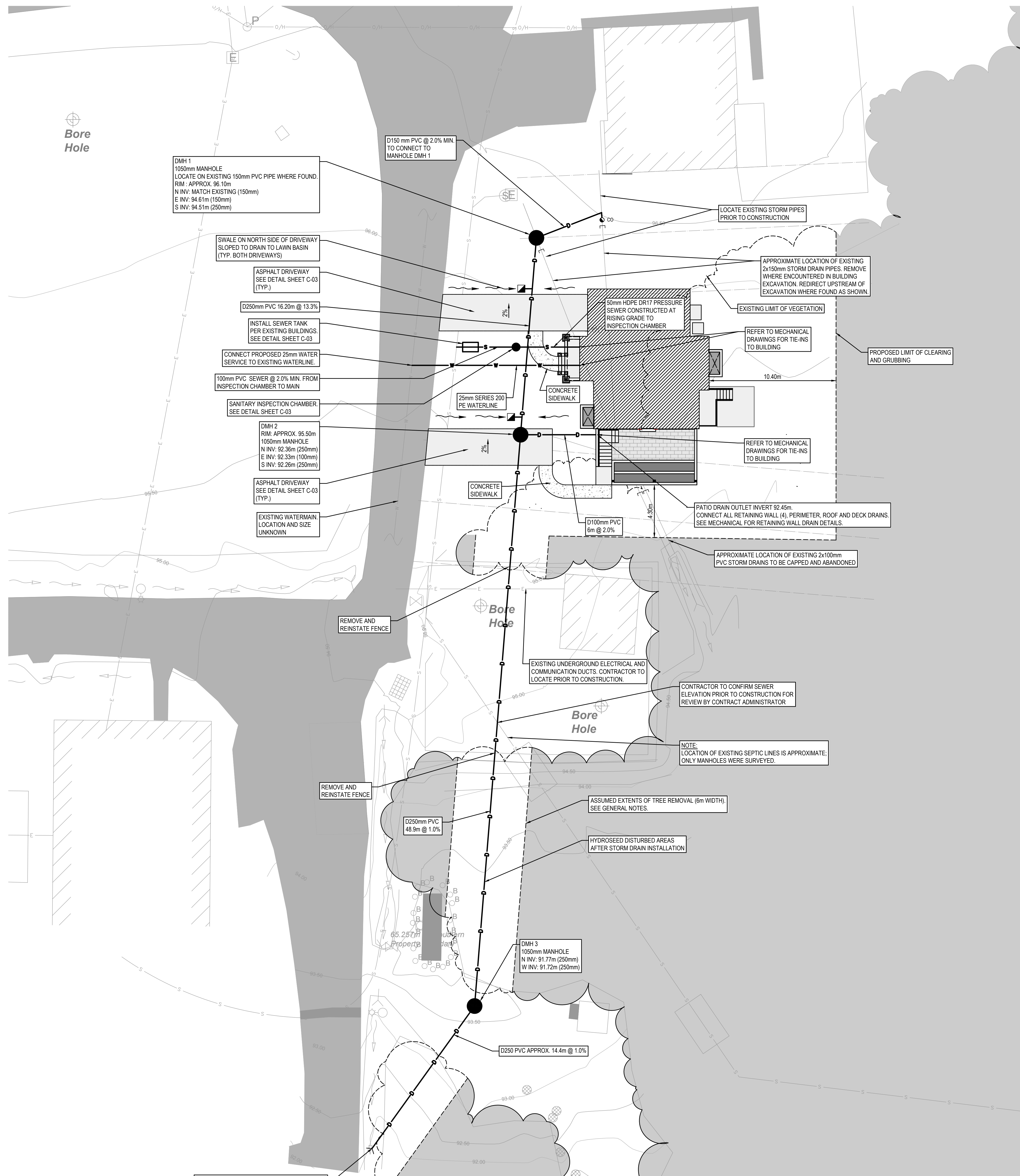
- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO CONFIRM UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- ALL REMOVAL ITEMS TO BE DISPOSED OF AT A SUITABLE FACILITY.
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH SPECIFICATIONS AND THESE DRAWINGS, WHICHEVER IS MOST STRINGENT.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
- LOCATION SHOWN FOR EXISTING WATER SERVICE AND SANITARY SERVICE ARE APPROXIMATE AND MAY BE SIGNIFICANTLY DIFFERENT FROM ACTUAL LOCATION. ACTUAL CONFIGURATION SHOULD BE FIELD CONFIRMED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF AS-CONSTRUCTED RECORDS, WHICH ARE TO BE HANDED OVER TO ENGINEER UPON COMPLETION OF CONSTRUCTION.
- CAREFULLY RELOCATE EXISTING LANDSCAPE FEATURES, TRAFFIC SIGNS AND SITE FEATURES TO ACCOMMODATE CONSTRUCTION WORK. ALL EXISTING WORKS AFFECTED BY CONSTRUCTION TO BE RETURNED TO AS FOUND OR BETTER CONDITION.
- DISPOSE OF ALL EXCAVATED MATERIAL UNSUITABLE FOR REUSE AT A SUITABLE OFF-SITE DISPOSAL AREA, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- PROVIDE CLEAN SAWCUTS IN ASPHALT AND CONCRETE AT DEMOLITION LINES.
- ANY CHANCE FIND OF ARCHAEOLOGICAL MATERIAL SHALL RESULT IN AN IMMEDIATE WORK STOPPAGE TO ALLOW FOR FURTHER ANALYSIS. STOP ALL ACTIVITY AND IMMEDIATELY NOTIFY ENGINEER OR DEPARTMENTAL REPRESENTATIVE IF ANY ARCHAEOLOGICAL MATERIAL IS ENCOUNTERED.
- ANY ASPHALT DISTURBANCE TO BE RESTORED ACCORDING TO PAVEMENT STRUCTURE DETAIL.
- FOLLOW ALL RECOMMENDATIONS IN GEOTECHNICAL REPORT BY WOOD DATED 13-OCT-2020.
- REMOVE ANY TREES WITHIN 3m OF CENTRELINE OF STORM DRAIN, OR TREES WITH ROOTS LARGER THAN 50mm DIAMETER WITHIN LIMITS OF EXCAVATION. USE SHORING TO REDUCE WIDTH OF EXCAVATION TO 1.0m IN ORDER TO MINIMIZE TREE REMOVAL. ASSUMED TREE DENSITY: 1 TREE PER 13m<sup>2</sup>.
- ASSUMED TREE SIZE RANGE: 25% OF THE TREES WITHIN THE REQUIRED CLEARING AREA HAVE A TRUNK DIAMETER OF APPROXIMATE 300-400mm. 75% OF THE TREES WITHIN THE REQUIRED CLEARING AREA HAVE A TRUNK DIAMETER OF APPROXIMATELY 200-300mm.
- MAINTAIN INVENTORY OF ANY TREES REMOVED INCLUDING TRUNK DIAMETER AND SPECIES, WITH A PHOTOGRAPH OF EACH TREE.
- PLANT NEW TREES AT A 2:1 RATIO TO REPLACE TREES REMOVED, MATCHING THE SPECIES OF TREE REMOVED. ASSUME THE FOLLOWING PLANTING ARE REQUIRED: 8 POPLAR, 8 SPRUCE, 16 CEDAR. NEW TREES TO BE PLANTED AT A LOCATION SELECTED ON-SITE BY THE DEPARTMENTAL REPRESENTATIVE DURING CONSTRUCTION.

**UTILITY NOTES:**

- CONTRACTOR TO LOCATE AND IDENTIFY EXISTING WATER, SANITARY AND STORM CONNECTION POINTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO CONFIRM SIZE, MATERIAL AND CLASS OF EXISTING PIPING AND TO SUBMIT PROPOSED CONNECTOR, FITTINGS AND ADAPTORS AT LEAST 1 WEEK PRIOR TO CONSTRUCTION.
- PROVIDE 1.5m OF SOIL COVER ABOVE ALL BURIED UTILITIES.
- ALL FITTINGS TO BE COMPATIBLE WITH PIPE MATERIAL AND PRESSURE CLASS.
- A MINIMUM OF 1.0m HORIZONTAL CENTRE TO CENTRE AND 150mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER SERVICES AND ELECTRICAL, GAS AND TELEPHONE SERVICES EXCEPT WHERE NOTED. MAINTAIN 1.5m CENTRE TO CENTRE SEPARATION BETWEEN WATER AND SANITARY OR STORM SERVICES.
- FOR CROSSING OF EXISTING SEWERS, WHERE WATER SERVICE DOES NOT HAVE THE REQUIRED 450mm VERTICAL SEPARATION, WRAP THE SEWER JOINTS WITH PETROLATUM TAPE 1.5m EITHER SIDE OF THE WATER SERVICE. WHERE A VERTICAL SEPARATION OF 150mm CAN NOT BE ACHIEVED, SPECIAL MITIGATION MEASURES SHALL BE APPROVED.
- PRESSURE TEST AND FLUSH WATER SERVICE TO MINIMUM 100 PSI IN ACCORDANCE WITH NATIONAL PLUMBING CODE.
- PRESSURE TEST SANITARY PRESSURE SERVICE TO MINIMUM 50 PSI.
- STORM PIPE TO BE PVC SDR35 TO CSA C192.2.
- WATER SERVICE TO BE MUNICIPAL SERVICE TUBING, SERIES 200, TO CSA B137.1.
- SANITARY SERVICE TO BE HDPE DR17 4710 TO CSA B137.1.

**GEOTECHNICAL AND MATERIALS TESTING FOR SITE WORKS:**

THE CONTRACTOR WILL BE REQUIRED TO RETAIN AND PAY FOR THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL TESTING AGENCY UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER, AND PAY THE COST OF TESTING SERVICES FOR QUALITY CONTROL. SEE SPECIFICATIONS FOR DETAILS.



PROJECT NO. 211-02781-00



Revision/ Révision	Description/ Description	Date/ Date
3	ISSUED FOR TENDER	2021-07-12
2	ISSUED FOR 100% REVIEW	2021-06-25
1	ISSUED FOR 99% REVIEW	2021-06-01
0	ISSUED FOR 66% REVIEW	2021-05-03

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**GAURAV SHARMA**

Drawing title/Titre du dessin  
**NEW EMPLOYEE HOUSING  
 SINGLE FAMILY HOUSE**  
**SERVICING PLAN**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La révision no.
<b>R.112456.001</b>	<b>C02</b>	<b>3</b>







