

DRUMMOND CENTER - BUILDING 3 - CURTAIN WALL REPAIR

2025 JEAN DE BRÉBEUF BLDV,
DRUMMONVILLE, QC, J2B 7Z6

CORRECTIONAL SERVICE CANADA

NOT FOR
CONSTRUCTION

ISSUED FOR BID
2022-03-22

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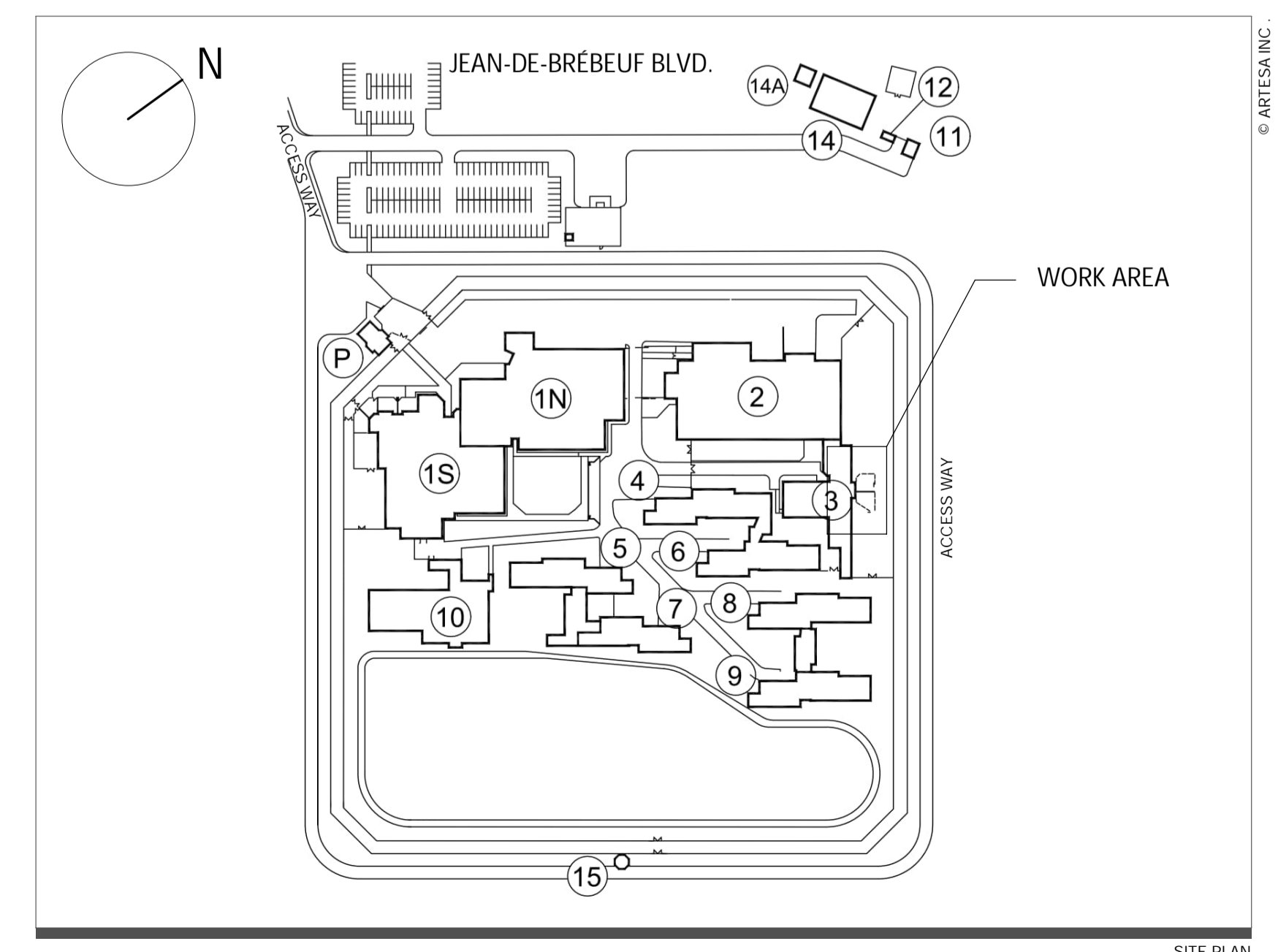
REVISION / DATE

ARCHITECTURE

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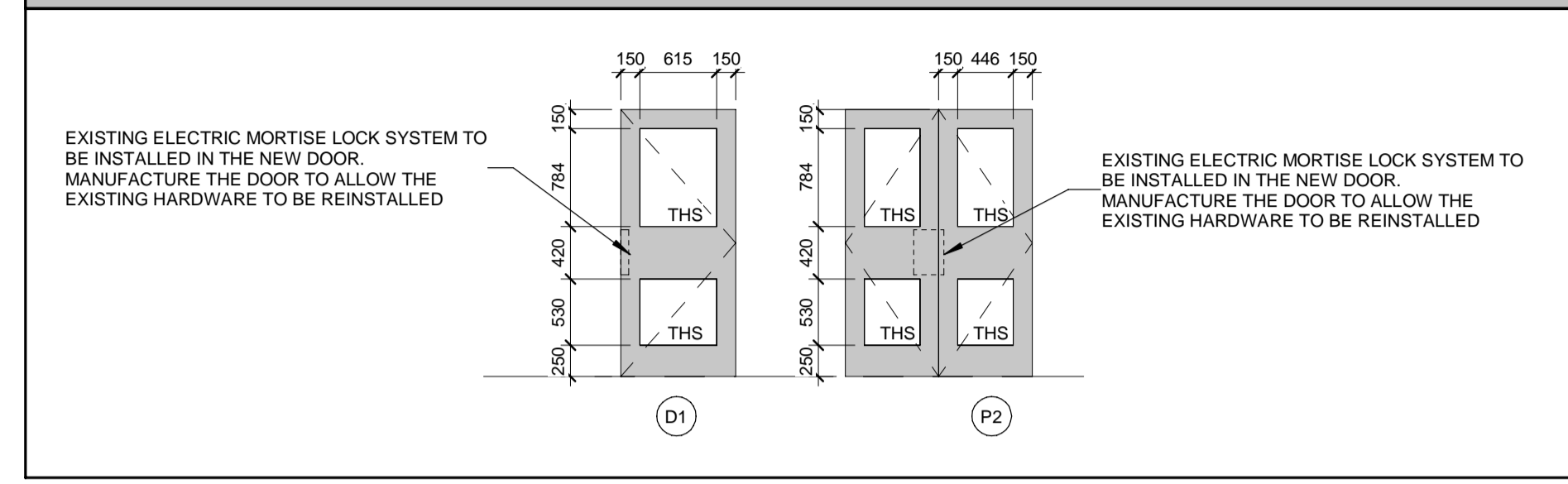
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SITE PLAN

DOOR NUMBER	DIMENSIONS			DOOR				FRAME		HARDWARE		FINISH		USAGE	
	HEIGHT	WIDTH	WIDTH OF 2ND DOOR	ELEVATION	THICKNESS	MATERIAL	GLASS TYPE	FIRE RESISTANCE	ELEVATION	MATERIAL	HARDWARE GROUP	ELECTRICITY	FRAME FINISH		DOOR FINISH
114.1	2134	915		D1	51	IST	THS	-	F-03	IST	01	YES	P	P	VESTIBULE 2
116.1	2134	746	746	D2	51	IST	THS	-	F-02	IST	02	YES	P	P	VESTIBULE 1

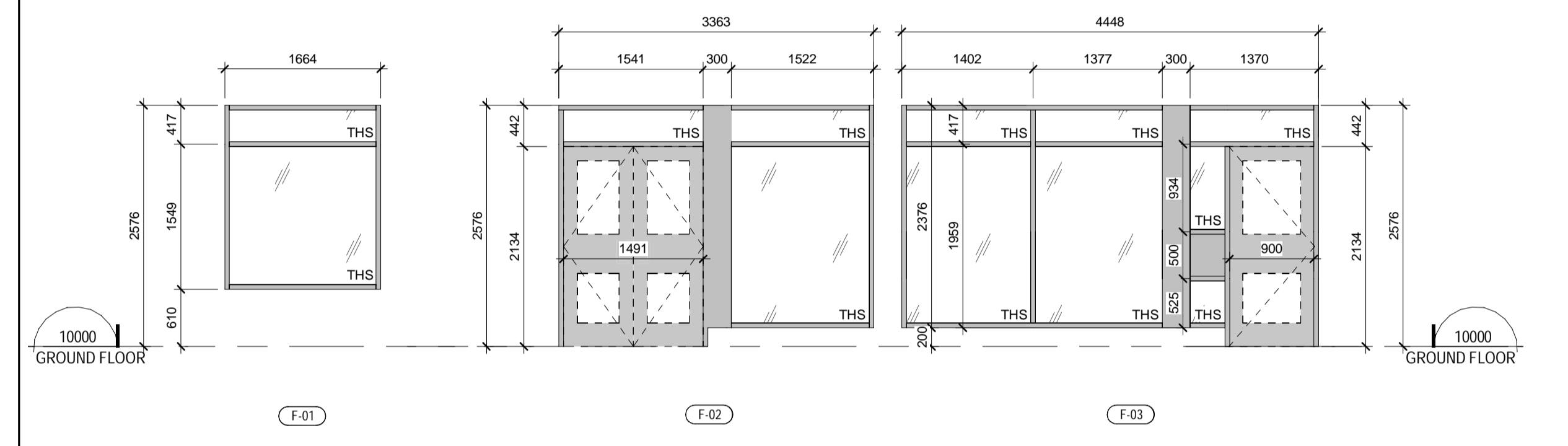
GROUND FLOOR

TYPICAL DOOR ELEVATIONS



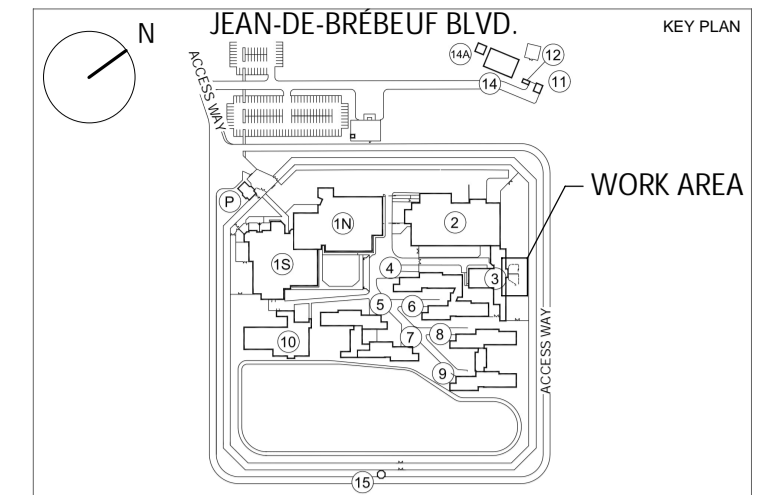
WINDOWS/CURTAIN WALL ELEVATIONS

NOTES:
 1. THE NOTED MEASUREMENTS ARE THOSE OF THE BAY (FRAME TO FRAME), PROVIDE CLEARANCE AROUND AS NEEDED FOR THE INSTALLATION IN THE SPECIFIED TYPE OF WALL
 2. ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY IN FIELD ALL DIMENSIONS PRIOR TO PLACING ORDER.



LEGEND

- MATERIALS**
- ST STEEL
 - IST INSULATED STEEL
 - MANU BY MANUFACTURER STANDARDS
 - P PAINTED
- GLASS**
- THT TEMPERED THERMO GLASS
 - THS SECURITY THERMO GLASS (LAMINATED)
- DOORS & HARDWARE NOTES:**
- ALL HARDWARE PARTS MUST BE DENTENTION GRADE TYPE HARDWARE.
 - FOR OTHER DOORS, ALL HARDWARE PARTS MUST HAVE A SATIN CHROME FINISH (626/652/702) UNLESS SPECIFIED OTHERWISE.
 - MANUFACTURE DOORS AND FRAMES TO MATCH HARDWARE TO BE INSTALLED, FOR PROVIDED HARDWARE TO BE INSTALLED, COORDINATE WITH THE CLIENTS REPRESENTATIVE
 - FOR SPECIFICATIONS, SEE MASTER SPECS.



GENERAL NOTES:

- 2 CONSTRUCTION NOTE
- XX XXX INDICATES LEVEL
- OU (11) ASSEMBLY TYPE
- 11 WALL/PARTITION HEIGHT
- Room name XXX ROOM NAME & NUMBER
- 00 DOOR NUMBER (SEE SCHEDULE A001)
- 00 WINDOW TYPE (SEE SCHEDULE A001)
- AD ACTIVE DOOR
- AL ALIGN FINISHES
- REF SECTION ELEVATION NUMBER
- A0-500 SHEET NUMBER
- 1-500 DETAIL NUMBER
- A0-500 SHEET NUMBER
- FLOOR LEVEL
- INDICATES REVISIONS
- PB PANIC BAR
- FD FLOOR DRAIN
- RD ROOF DRAIN
- INDICATED BEAMS DIRECTION
- FL FREE LINTEL
- SL STRUCTURAL LINTEL
- CJ CONTROL JOINT
- 45 FR 45min.
- 60 FR 60min. (1h)
- 90 FR 90min. (1.5h)
- 120 FR 120 min. (2h)
- 150 FR 150 min. (2.5h)
- 180 FR 180 min. (3h)

WALL HEIGHTS:
 A: FLOOR TO DECK
 B: FLOOR TO BEAMS
 C: FLOOR TO CONCRETE SLAB/CEILING

GEODESIC GROUND LEVEL:
 10 000 = TO BE VALIDATED

NOTES:
 1. ALL PLAN DIMENSIONS OF INTERIOR WALLS ARE TAKEN FROM THE CENTER OF THE PARTITION AND ALL PLANS DIMENSIONS OF EXTERIOR WALLS ARE TAKEN FROM THE FACE OF THE STUDS, UNLESS NOTED OTHERWISE.

WALL TYPES

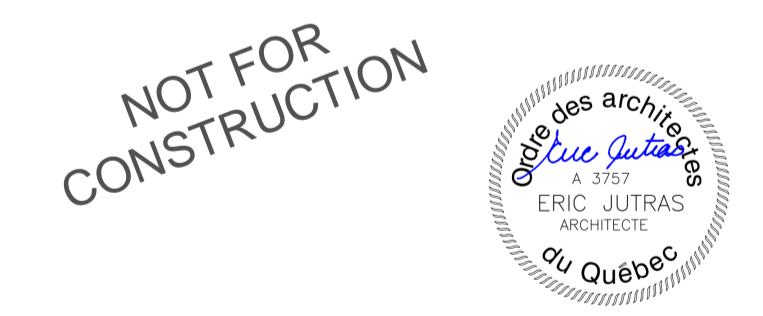
W-1	INT EXT	<p>MASONRY WALL - ARCHITECTURAL BLOCK</p> <ul style="list-style-type: none"> SPLIT FACE ARCHITECTURAL BLOCK (SEE SPECS), WITH MASONRY ANCHORS; AIR SPACE 25mm; SPRAY FOAM INSULATION ACTING AS AIR/VAPOR BARRIER 89 mm; CONCRETE BLOCKS 140mm THICK, VERTICALLY REINFORCED @ 800 mm O.C. WITH HOLLOW CORES FILLED WITH POURED CONCRETE;
S-1		<p>SOFFIT</p> <ul style="list-style-type: none"> FIBERCEMENT BOARD 13mm, TEXTURED FINISH, FIXED WITH TAMPER-PROOF TORX SCREW; GALV. STEEL 2" BAR, 18 GAUGE, 25mm @ 400mm O.C. MAX.; SPRAY FOAM INSULATION 22mm; AIR/VAPOR BARRIER SELF-ADHERED BITUMINOUS MEMBRANE; EXISTING CONCRETE BEAM;

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DRUMMOND CENTER - BUILDING 3 - CURTAIN WALL REPAIR PROJECT NAME

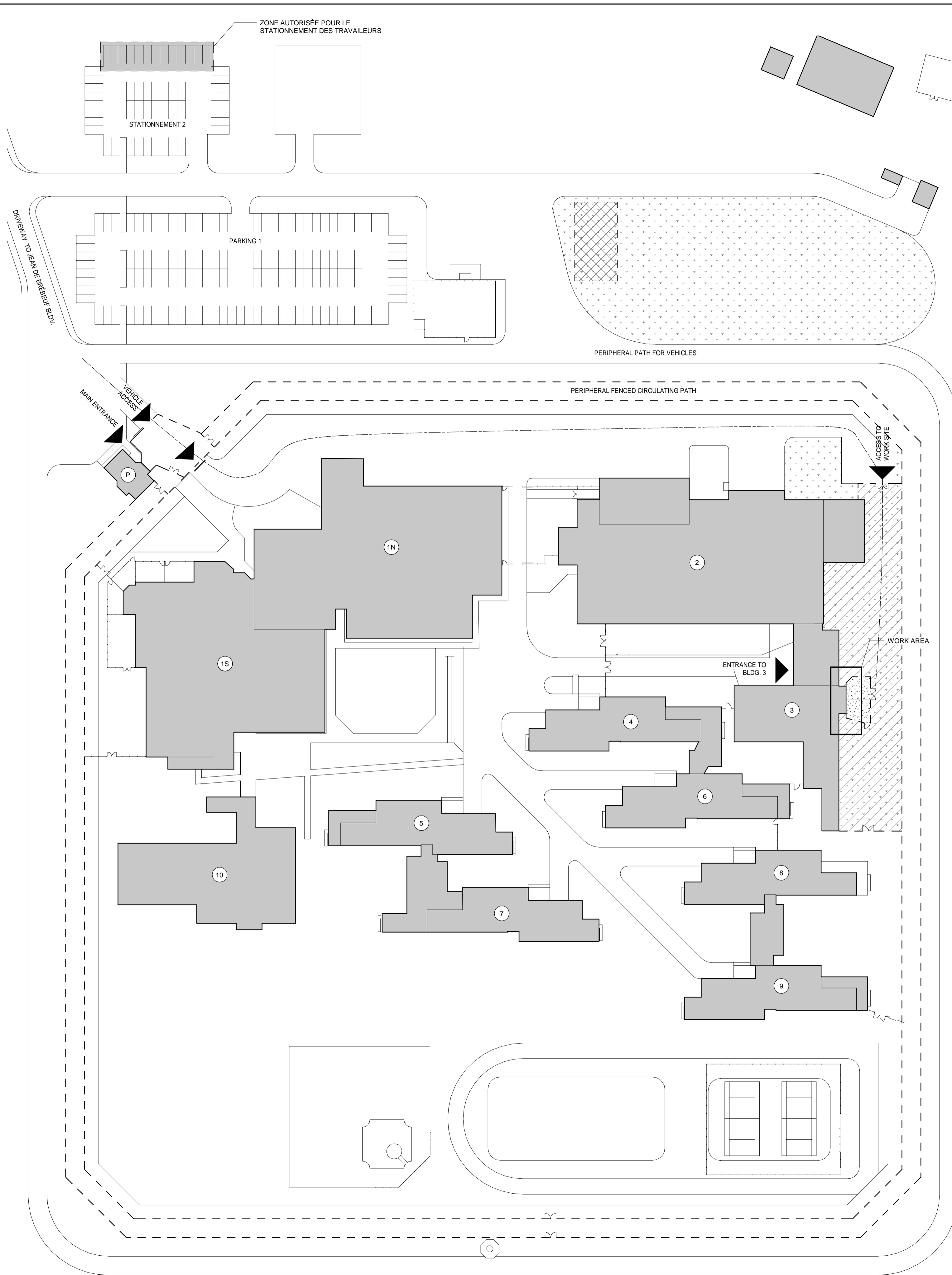
2025 JEAN DE BRÉBEUF BLDV,
 DRUMMONVILLE, QC, J2B 7Z6 PROJECT ADDRESS



WALL TYPES & SCHEDULES DRAWING TITLE

C.C. E.J.
 DRAFTED BY / VERIFIED BY
 2020-11-01 20-300
 DATE / PROJECT #

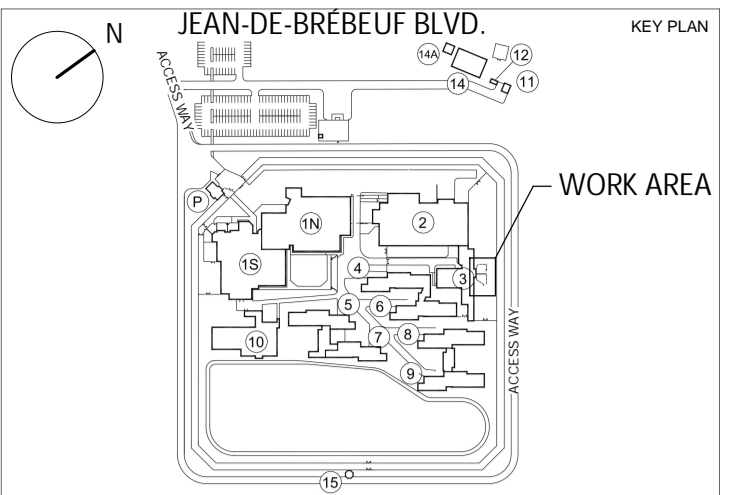
Comme indiqué **A 001** SCALE / SHEET



GENERAL MOBILIZATION PLAN 1
1:750 A 100

- GENERAL NOTES - MOBILIZATION**
- INSTALL FENCING ON THE PERIMETER OF THE WORK AREA. INSTALL THE DUMPSTER INSIDE OF WORK AREA. FENCING MUST BE LOCKED AT ALL TIMES. FENCING MUST BE OF "OMEGA" TYPE, GALVANIZED STEEL AND 1.8m IN HEIGHT. FENCE DOOR MUST BE CLOSED & LOCKED AT THE END OF EACH WORK SHIFT. THE FENCE MUST BE SECURED TO THE GROUND AND ALL SEGMENTS MUST BE CONNECTED TO EACH OTHER ALONG THE TOP.
 - THE DUMPSTER MUST BE AT A MINIMUM OF 6m FROM ANY BUILDING. IT MUST BE LOCKED AND UNREACHABLE AT ALL TIMES OFF WORK HOURS. THE CONTRACTOR MUST COORDINATE THE EXACT LOCATION OF THE CONTAINER WITH A REPRESENTATIVE FROM THE CLIENT.
 - THE CONTRACTOR MUST PERFORM A PHOTOGRAPHICAL SURVEY IN PRESENCE OF THE CLIENT AT KICK-OFF MEETING IN ORDER TO LEAVE THE SITE IN A GOOD CONDITION. THE SURVEY WILL BE PAID BY THE CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO REPLACE & REPAIR THE LAWN AND ANY OTHER DAMAGED SURFACES ONCE THE WORK HAS BEEN COMPLETED. THE CONTRACTOR WILL HAVE TO USE SOD ROLLS AND INCLUDE THE WATERING OF THE LAWN FOR A PERIOD OF 4 WEEKS.
 - THE CONTRACTOR WILL HAVE TO LEAVE EXIT PATH AND DOORS CLEAN AND FREE OF ANY OBSTRUCTIONS ALL THE WAY TO THE PUBLIC PATHWAY AT ALL TIMES.
 - THE CONTRACTOR IS REQUIRED TO GIVE A MOBILIZATION PLAN AND A WORK SCHEDULE TO THE REPRESENTATIVE OF THE CLIENT AND TO THE PROFESSIONALS BEFORE BEGINNING WORK ON SITE. TO BE COORDINATED & APPROVED. ALL DOCUMENTS FROM THE CONTRACTOR MUST INCLUDE ALL THE ELEMENTS REQUIRED BY THE PLANS AND SPECS.
 - THE CONTRACTOR MUST COORDINATE ALL WORK SEQUENCES WITH A REPRESENTATIVE FROM THE CLIENT FOR ALL INTERVENTIONS OUTSIDE THE WORK AREA. ALSO, THE CONTRACTOR MUST INFORM THE REPRESENTATIVE BEFORE STARTING ANY WORK.
 - FOR ALL WORK MAKING EXCESSIVE NOISE OR VIBRATION, THE CONTRACTOR MUST INFORM THE REPRESENTATIVE OF THE CLIENT, BY WRITTEN NOTICE, 1 WEEK BEFORE DOING WORK REQUIRING SERVICE INTERRUPTION OR MAKING EXCESSIVE NOISE AND VIBRATIONS.
 - IF A LIFT IS REQUIRED TO DO ANY TYPE OF TASK OR WORK, THE CONTRACTOR IS RESPONSIBLE OF THE SELECTED METHOD TO EXECUTE THE WORK. THE CONTRACTOR ACKNOWLEDGES HAVING VISITED AND ASSURING THE SAFETY (SS1) OF THE WORK AREA. THEY MUST ALSO VALIDATE THE LOADING CAPACITY OF THE AREA IN ORDER TO INSTALL THE LIFT OF THEIR CHOICE. THE CONTRACTOR MUST COORDINATE WITH THE REPRESENTATIVE TO ASSURE HAVING AN ACCESS POINT FOR THE LIFT.
 - ALL ROOMS/HALLWAYS IMPACTED BY THE WORK AREA (INCLUDING ACCESS TO THE WORK SITES) WILL NEED TO BE CLEANED AT EACH WORKDAY END. THEY WILL NEED TO BE FREE OF ANY DEBRIS, MATERIALS AND OBSTACLES AT ANY GIVEN TIME.
 - THE WORK AREA WILL BE PROTECTED AT ALL TIMES IN ORDER TO AVOID THE SPREAD OF ANY DUST, DEBRIS OR ANY OTHER CONTAMINANTS. THIS INCLUDES THE PROTECTING OF MECHANICAL EQUIPMENT, VENTILATION HOLES AND CEILING SPACE. THE CONTRACTOR IS RESPONSIBLE FOR ANY COSTS RELATED TO THE CLEANING OF THE PROPERTY RESULTING FROM THE WORK DONE. NO DUST SPREADING WILL BE TOLERATED. IF DUST SPREADS OUTSIDE THE WORK AREA, AN EXTERNAL HYGIENE SPECIALIST WILL BE HIRED AT THE CONTRACTOR'S EXPENSES IN ORDER TO ESTABLISH THE CLEANING PROCEDURES REQUIRED. ALSO, IF THE REPRESENTATIVE OF THE CLIENT REQUIRES IT, A CLEANING FIRM COULD ALSO BE HIRED TO DO THE CLEANING WORK, ALSO AT THE CONTRACTOR'S EXPENSES.
 - THE CONTRACTOR MUST REMOVE, STORE CAREFULLY AND REINSTALL ALL CABLES, WIRING, WIRING COVERS, LIGHTING FIXTURES OR ANY OTHER EQUIPMENT THAT COULD BE IN THE WAY OF THE WORK NEEDED TO BE DONE UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR WILL NOT BE ALLOWED TO USE THE ELECTRICAL SUPPLY FROM THE BUILDING. THE CONTRACTOR MUST PROVIDE A PORTABLE GENERATOR. THE GENERATOR MUST BE TAKEN OUT OF THE WORK AREA AFTER EACH WORK DAY.
 - A WATER SUPPLY WILL BE AVAILABLE. THE LOCATION WILL NEED TO BE COORDINATED WITH THE REPRESENTATIVE OF THE CLIENT AT THE KICK-OFF MEETING.
 - FOR ALL DRILLING IN THE PARTITIONS, FLOORS OR CEILINGS RELATED TO THE WORK, PATCH AND REFINISH ALL SURFACES TO MATCH THE EXISTING CONDITION. INSTALL TEMPORARY PROTECTION AS INDICATED ON THE PLANS. INFORM THE REPRESENTATIVE OF THE CLIENT IF ANY DRILLING NEEDS TO TAKE PLACE OUTSIDE OF WORK AREA IN ORDER TO COORDINATE ACCESS NEEDED.

- LEGEND - MOBILIZATION**
- INDICATION OF DOORS REQUIRED TO BE USED BY THE WORKERS DURING CONSTRUCTION. KEEP FREE AND CLEAR AT ANY GIVEN TIME. TO ACCESS THE WORK SITE, GO THROUGH SECURITY CHECKPOINT AT THE MAIN ENTRANCE. KEEP DOORS FREE AND CLEAR WHEN NOT IN WORK AREA.
 - AREA WITHOUT CONSTRUCTION WORK
 - EXISTING GRASS AREA. REPAIR ANY DAMAGED AREA CAUSED DURING WORK
 - EXISTING COCONCRETE SLAB, REPAIR ANY DAMAGE CAUSED DURING WORK
 - FENCED AND SECURE ZONE WITH NO OCCUPANCY FROM THE INMATES. CLEAR OUT ANY MATERIALS BETWEEN EACH WORK SHIFT/DAY.
 - NEW WORK SITE FENCING AROUND THE MOBILIZATION ZONE AND AROUND THE DUMPSTER.
 - MOBILIZATION ZONE FOR THE CONTRACTOR:
 - DUMPSTER
 - CONSTRUCTION TRAILER
 - EQUIPMENT/MATERIALS STORAGE SPACE
 - PORTABLE TOILET
 - COORDINATE THE LOCATION ON WORK SITE. RESPECT THE MINIMAL DISTANCES REQUIRED BY THE NBC & SST. INCLUDE THE PROTECTION OF EXISTING SURFACES/AMENITIES AND REPAIR ANY DAMAGE DONE AFTER THE WORK IS DONE. COORDINATE EXACT LOCATION WITH THE REPRESENTATIVE OF THE CLIENT.
 - ACCESS WAY TO THE WORK SITE. KEEP CLEAN AND FREE AT ANY GIVEN TIME
 - EXISTING SECURITY FENCE AND GATE
 - TEMPORARY PARTITION TO BE BUILT AND REMAIN DURING THE ENTIRETY OF THE WORK FOR DUST & SOUND CONTROL. TAKE DOWN AFTER THE WORK IS FINISHED. ONLY PARTITION THE ZONE WITH CURRENT WORK IN PROGRESS. ADJUST THE LOCATION OF THE DIVIDING PARTITION ACCORDING TO THE EXACT LOCATION OF THE WORK SEQUENCE LIMIT
 - FINISH COATS
 - STEEL STUDS 92mm
 - FIBERGLASS INSULATION, FULL CAVITY
 - POLYETHYLENE SHEET, SEALED
 - PLYWOOD 13mm
 - BUILD A TEMPORARY SEALED PERIMETER DURING WORK TO CONTROL DUST. IF THE CEILING ARE TO REMAIN OPEN DURING PERIODS WHERE NO WORK IS BEING DONE, INSTALL A SEALED POLYETHYLENE SHEET SO THAT THE CEILING IS DUSTPROOF TO ALLOW OCCUPANTS TO ACCESS THE AREA
 - EXISTING DOOR WITH CONTROLLED ACCESS TO REMAIN LOCKED DURING THE ENTIRE DURATION OF WORK TO CONTROL DUST, NOISE AND ACCESS TO THE WORK SITE. INSTALL A SEALED POLYETHYLENE SHEET IN FRONT OF THE DOOR TO CONTROL DUST AND INSTALL PROPER SIGNAGE ON THE OCCUPIED SIDE OF THE DOOR IN ORDER TO REDIRECT OCCUPANTS. COORDINATE WITH THE REPRESENTATIVE OF THE CLIENT.
 - ACCESS DOOR AND WALKING ROOM TO REMAIN OPERATIONAL THROUGHOUT THE WORK. ACCESS TO BE COORDINATED WITH THE REPRESENTATIVE OF THE CLIENT.



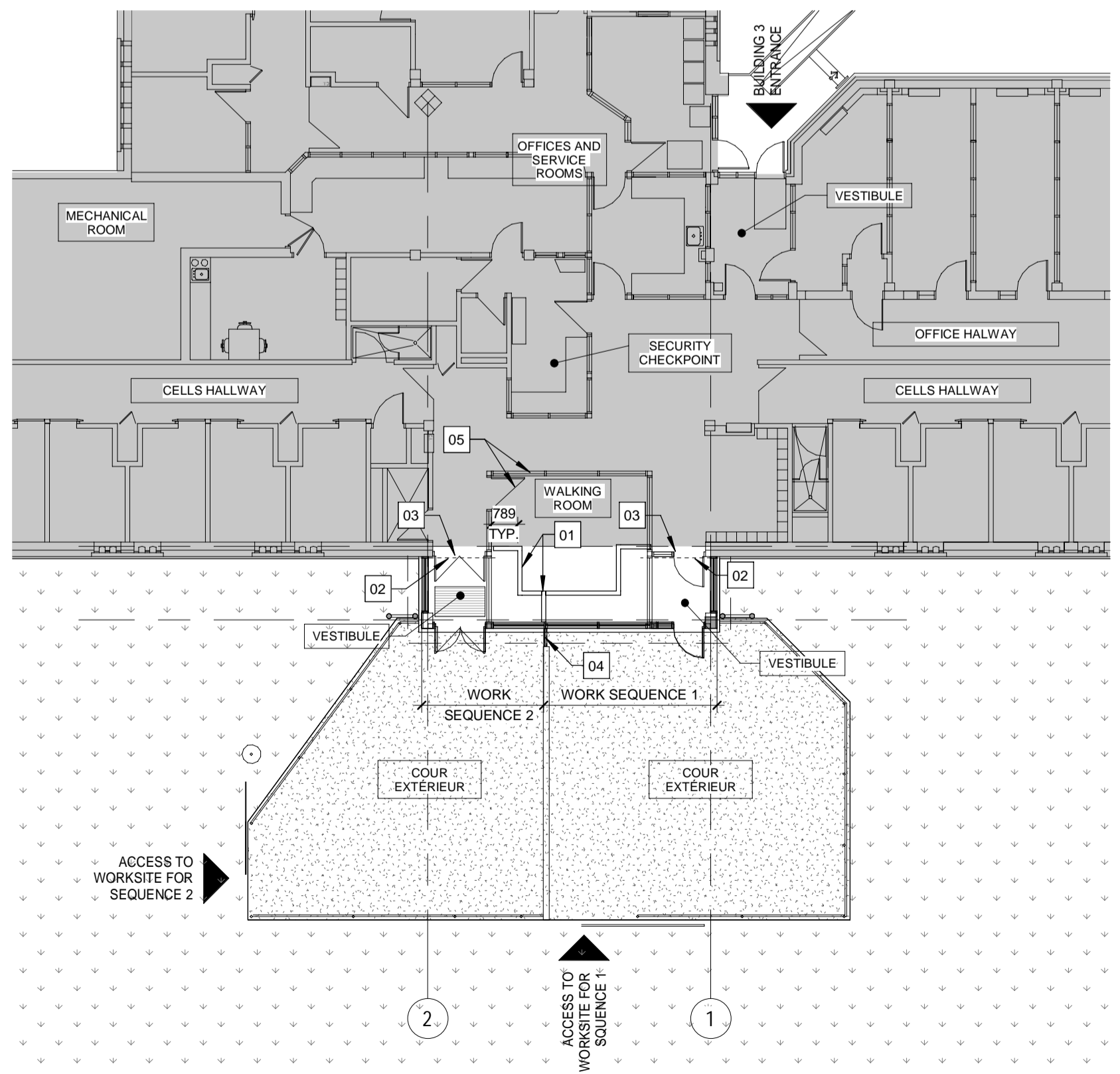
- GENERAL NOTES:**
- CONSTRUCTION NOTE
 - XX XXX INDICATES LEVEL
 - ASSEMBLY TYPE
 - Room name XXX
 - Room name & number
 - Door number (SEE SCHEDULE A001)
 - Window type (SEE SCHEDULE A001)
 - AD ACTIVE DOOR
 - AL ALIGN FINISHES
 - REF SECTION ELEVATION NUMBER
 - 1 A0-500 SHEET NUMBER
 - 1 A0-500 SHEET NUMBER
 - FLOOR LEVEL
 - INDICATES REVISIONS
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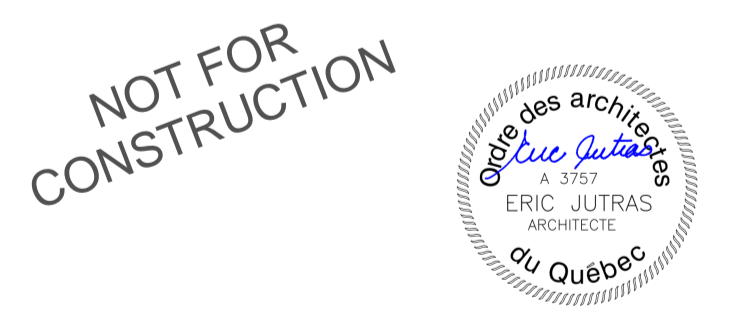


MOBILIZATION - BUILDING 3 2
1:150 A 100

CORRECTIONAL SERVICE CANADA CLIENT

DRUMMOND CENTER - BUILDING 3 - CURTAIN WALL REPAIR PROJECT NAME

2025 JEAN DE BRÉBEUF BLVD,
 DRUMMONVILLE, QC, J2B 7Z6 PROJECT ADDRESS

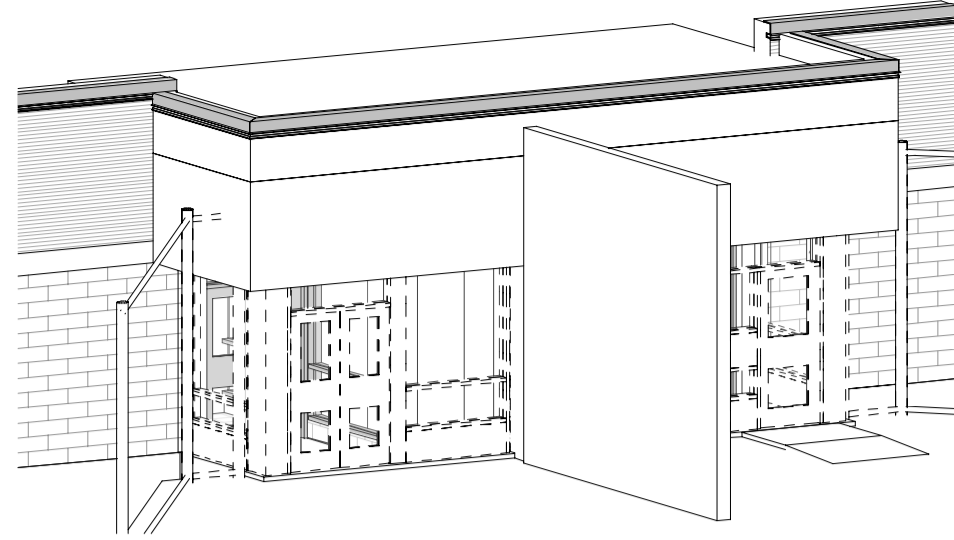


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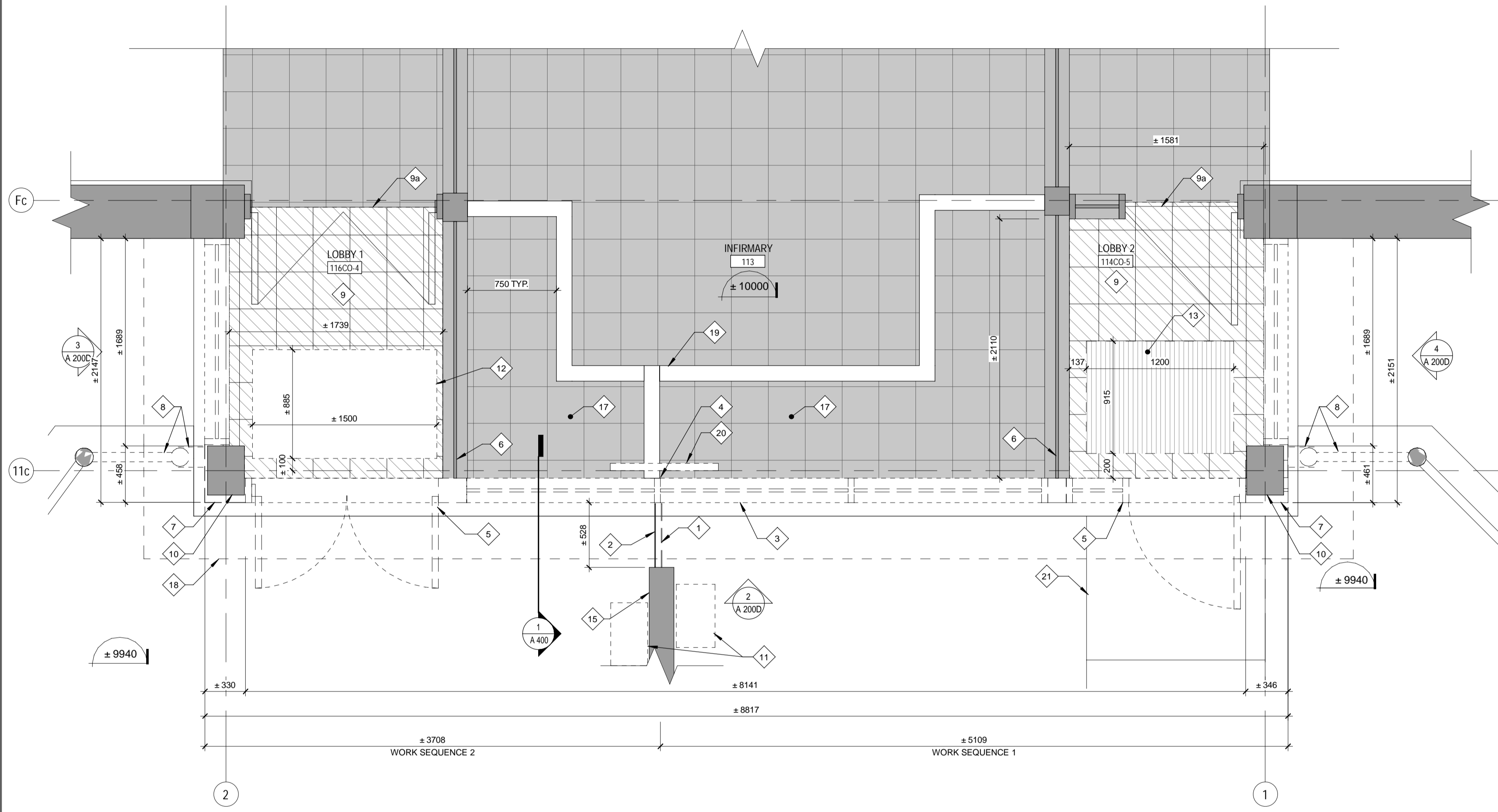
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 2020-11-01 20-300
 DATE / PROJECT #

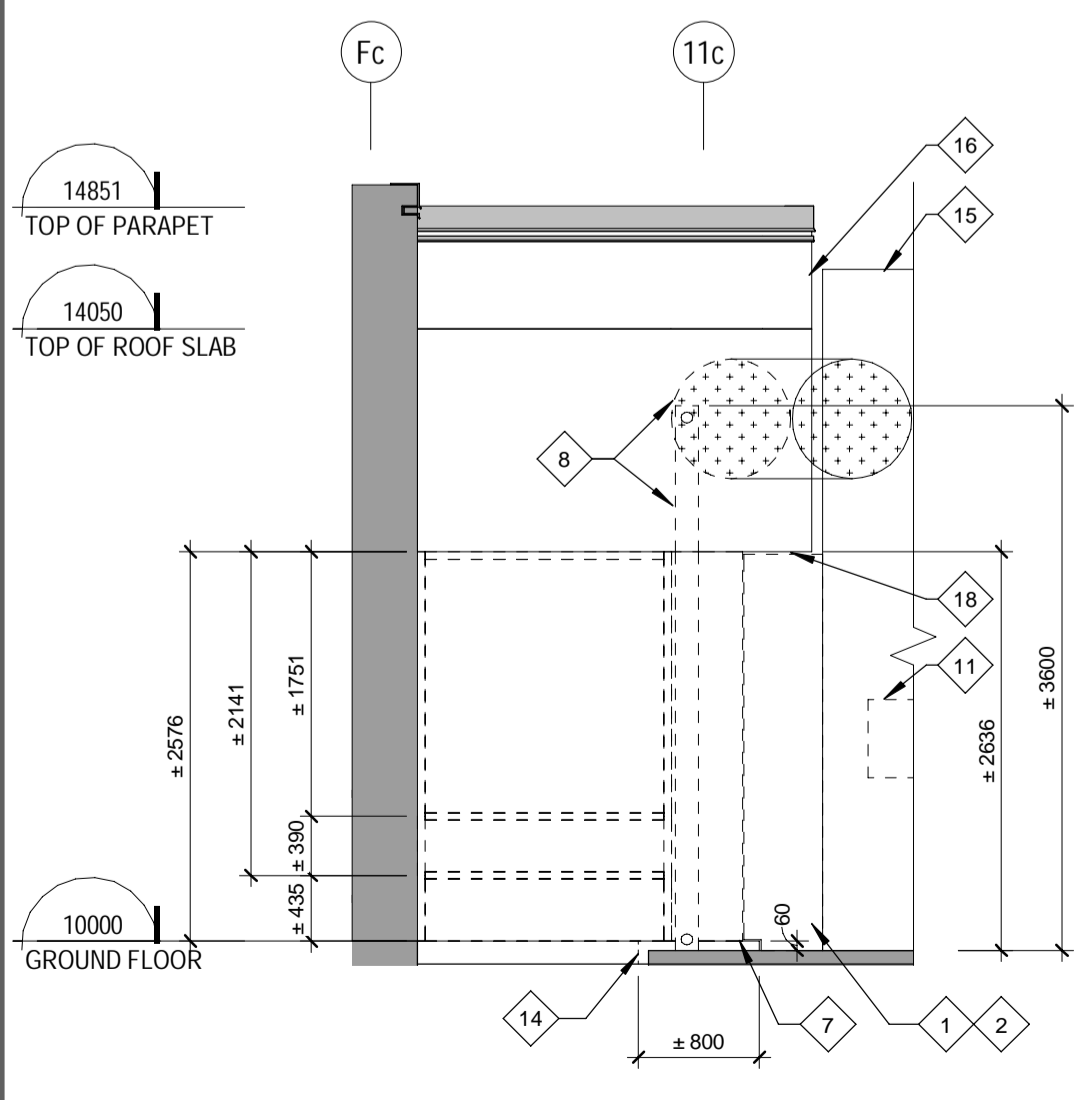
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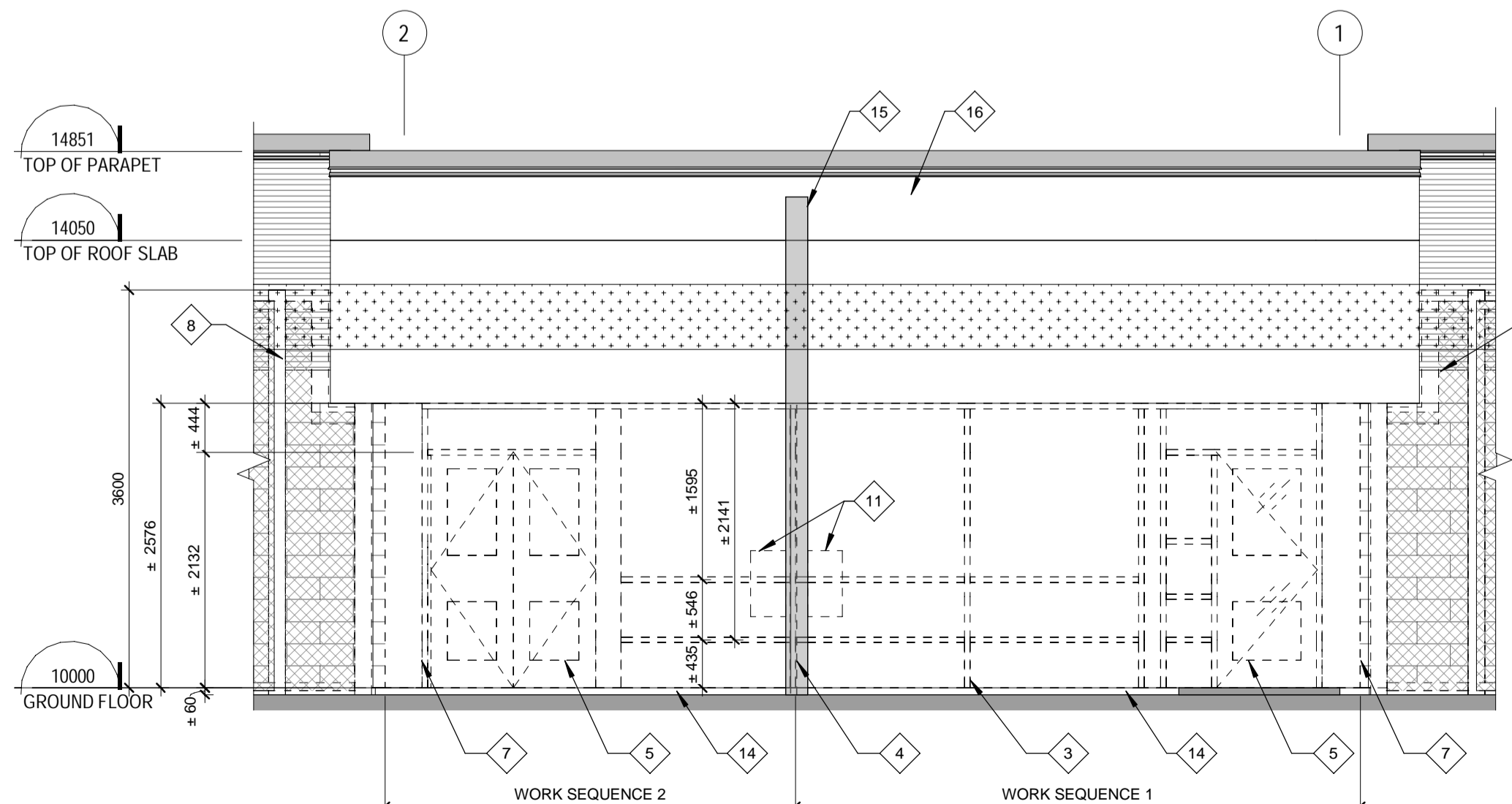
EXISTING 5
A 200D



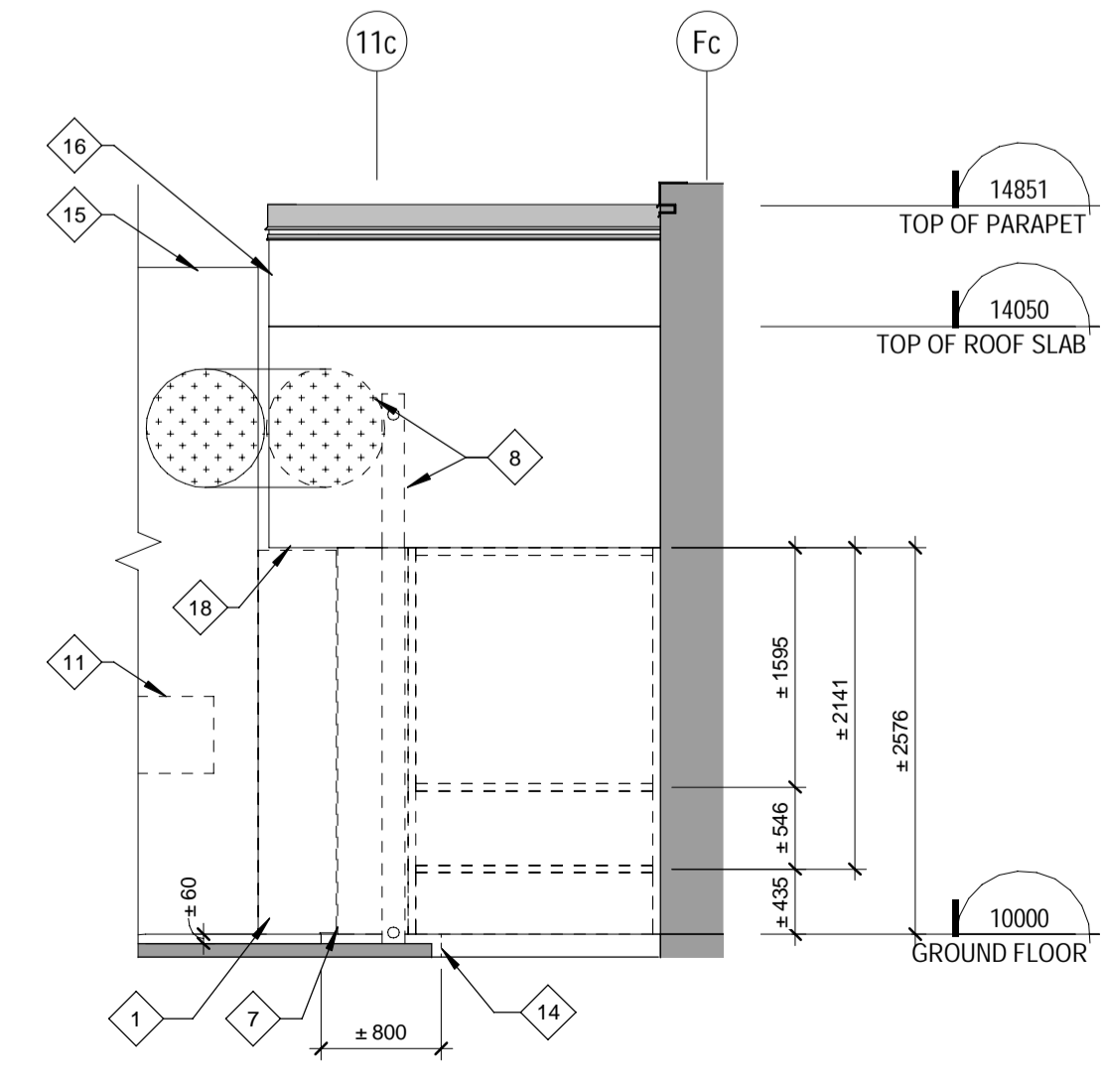
DEMOLITION - GROUND FLOOR 1
1:25 A 200D



DEMOLITION - LEFT ELEVATION 3
1:50 A 200D



DEMOLITION - FRONT ELEVATION 2
1:50 A 200D



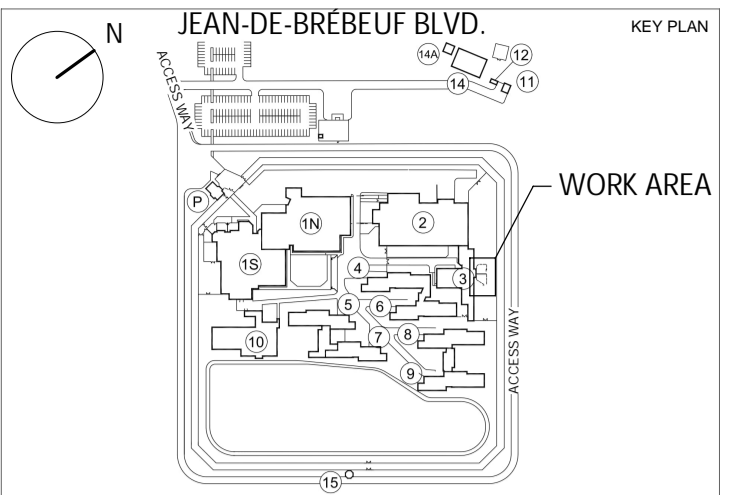
DEMOLITION - RIGHT ELEVATION 4
1:50 A 200D

GENERAL NOTES - DEMOLITION & CONSTRUCTION

- ALL HOLES CREATED IN A FIRE RATED PARTITION MUST BE PROPERLY SEALED WITH A FIRE RESISTANT, CAN UL/C/S115 CERTIFIED SYSTEM. ONLY THE PARTITIONS THAT ARE PART OF CONSTRUCTION WORK ARE IDENTIFIED ON THE PLANS.
- THE CONTRACTOR MUST MAKE SURE NOT TO DO ANY DRILLING INTO A STRUCTURAL ELEMENT THAT COULD COMPROMISE THE STRUCTURAL INTEGRITY. INCLUDE ALL SCANS OF SLABS REQUIRED BY PROFESSIONALS.
- THE CONTRACTOR MUST INFORM THE ARCHITECT OF ANY CONFLICTS OR MISSING ITEMS AND IN NO WAY PROCEED WITHOUT CERTITUDE.
- THE WORD 'DEMOLISH' USED IN THESE DOCUMENTS DOES NOT NECESSARILY IMPLY DEMOLITION, BUT IMPLIES, WITHOUT LIMITATION, DISMANTLING, DISASSEMBLING, DEGARNISHING, REMOVING OR DECONSTRUCTING, AND POSSIBLY REQUIRES THE PROPER PRECAUTIONS TO RECEIVE NEW ELEMENTS OR ASSEMBLIES.
- THE TERM 'PATCHING' MEANS TO REFURBISH THE SURFACE. THIS ACTION INVOLVES, IF NECESSARY, SCRAPING, LEVELING, APPLYING A COATING SIMILAR TO THE ADJACENT SURFACES. PAINTING THE PATCHED SURFACE THE SAME COLOR AS THE ADJACENT SURFACES. THE CONTRACTOR, WHEN PATCHING EXISTING SURFACES, SHALL PAINT THE ENTIRE SURFACE UP TO THE NEAREST EDGE.
- PRIOR TO PAINTING, THE CONTRACTOR SHALL ENSURE THAT THE SURFACES ARE CLEANED AND FREE OF ALL DEBRIS, INCLUDING ADHESIVE PUTTY (GUM), PAPER TAPE, TOILET PAPER, STAPLES, THUMB TACKS, ETC. THE CONTRACTOR MUST ALSO PATCH ALL SURFACES TO REMOVE ANY IMPERFECTIONS. (EX. AIR BUBBLES, CRACKS, SCRATCHES...) IN THE EVENT THAT AIR BUBBLES ARE PRESENT, SCRAPE THE FINISH COATING DOWN TO THE SUBSTRATE, PATCH WITH A SIMILAR FINISH. CLEAN ALL FINISHES BEFORE PAINTING. UNLESS OTHERWISE SPECIFIED, PAINT ALL PLASTER WALLS AND CEILINGS.
- THE CONTRACTOR MUST PAY PARTICULAR ATTENTION TO THE PROPAGATION OF NOISE DURING THE WORK.
- THE CONTRACTOR MUST REMOVE ALL EQUIPMENT, MATERIALS AND TOOLS AFTER EACH SHIFT.
- REMOVE OR PROTECT ANY ITEMS THAT MAY BE HAZARDOUS TO THE OCCUPANTS.
- THE CONTRACTOR MUST FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR THE INSTALLATION OF THE VARIOUS PRODUCTS AND EQUIPMENT.
- THE CONTRACTOR MUST ENSURE THAT THE MATERIALS ARE COMPATIBLE WITH EACH OTHER.
- LEVEL THE FLOORS TO BE PRESERVED AFTER THE WORK.
- ALL EQUIPMENT AND FURNITURE TO BE DEMOLISHED MUST BE DISPOSED OF OR RECYCLED ACCORDING TO THE NATURE OF THE MATERIALS.
- FOR FLOOR FINISHES, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING 1m x 1m SAMPLES TO OWNER AND FOR SCHEDULING A MEETING BETWEEN OWNER, CONTRACTOR, FLOOR FINISH TECHNICAL REPRESENTATIVE AND ARCHITECT. FOR APPROVAL OF PRODUCTS, COLORS, FINISHES AND TEXTURES. THE PLANS REPRESENT ONLY A PROPOSAL OF THE FINISHES. ACCORDING TO THE KNOWN DATA OF THE PROJECT AND THE ARCHITECT CANNOT BE HELD RESPONSIBLE FOR THE CHOICE OF THE FLOOR COVERINGS.
- BEFORE APPLYING FLOOR FINISHES, ENSURE THAT THE EXISTING SCREED MEETS THE MANUFACTURER'S WRITTEN RECOMMENDATIONS. INCLUDE PATCHING OF DAMAGED FLOOR FINISHES UNDER TEMPORARY PARTITIONS.

SPECIFIC NOTES - DEMOLITION

- EXISTING TO REMAIN
- DEMOLITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING VINYL TILES AND BASEBOARDS TO BE DEMOLISHED
- GALVANIZED STEEL PLATE FIXED WITH 25 X 25 MM ANGLES TO THE CONCRETE WALL TO BE MOVED TEMPORARILY ON THE WALL FOR SEQUENCE 2
- TEMPORARY RELOCATION OF THE STEEL PLATE FIXED TO THE CONCRETE WALL WITH THE EXISTING ANGLES SECURELY FASTEN WITH TAMPER-PROOF CONCRETE SCREWS
- STEEL FRAMED BAY WINDOW WITH TEMPERED GLASS TO BE DISMANTLED. CUT HORIZONTAL MULLIONS FROM VERTICAL MULLION TO BE KEPT DURING WORK IN SEQUENCE 1. DEMOLISH THE SPANDREL PANEL AT THE BOTTOM. CUT, REMOVE AND DISPOSE OF ANY STEEL COMPONENTS EMBEDDED IN THE FOUNDATION. PREPARE THE FOUNDATION SURFACE FOR INSTALLATION OF THE BLOCK WALL.
- MENEAU VERTICAL À CONSERVER EN PLACE DURANT LES TRAVAUX DE LA SEQUENCE 1
- STEEL DOOR WITH ALUMINUM SILL TO BE DEMOLISHED AND DISPOSED OF. CAREFULLY REMOVE THE HINGES AND CLEAN THEM. REMOVE AND KEEP ALL SECURITY AND ACCESS CONTROL HARDWARE (STRIKE PLATE, BOLT, ELECTRONIC SYSTEM, ETC.)
- EXISTING BAY WINDOW TO BE PRESERVED. REMOVE THE GLAZING BEADS TO TEMPORARILY REMOVE THE GLASS PANELS. PRESERVE AND PROTECT DURING THE WORK. REMOVE THE VERTICAL MULLION AT THE JUNCTION OF THE EXTERIOR BAY WINDOW TO MAKE ITS REPLACEMENT.
- STEEL PLATE COVER TO BE DEMOLISHED, REMOVE THE INSULATION FILLING THE CAVITY.
- SECTION OF FENCE, POST WITH FILLER PLATES AND SECTION OF BARBED WIRE ABOVE TO BE TEMPORARILY REMOVED FOR THE WORK.
- TILE AND VINYL BASEBOARD IN VESTIBULE TO BE DEMOLISHED.
- LIMIT OF DEMOLITION OF VINYL TILES IN VESTIBULE. COORDINATE ACCESS WITH THE OWNER'S REPRESENTATIVE.
- EXISTING CONCRETE COLUMN TO REMAIN
- STEEL SPORTS TRAINING ACCESSORY (GRAB BAR) ATTACHED TO THE CONCRETE WALL TO BE REMOVED DURING THE WORK, TO BE KEPT FOR REINSTALLATION.
- RECESSED FOOT GRILLE TO BE REMOVED FOR REPLACEMENT
- DEMOLISH THE 40 MM THICK SECTION OF CONCRETE SCREED FOR THE INSTALLATION OF A NEW RECESSED FOOT GRILLE
- EXISTING CONCRETE FOUNDATION TO BE RESURFACED BEFORE REBUILDING THE WALL. TREAT SECTIONS EMBEDDED IN THE CONCRETE AGAINST RUST.
- EXISTING CONCRETE WALL TO REMAIN
- WALL WITH PRECAST CONCRETE PANEL AND EXISTING AGGREGATE COVERING TO REMAIN
- VINYL FLOORING SURFACE TO BE PROTECTED DURING THE WORK, REPLACE TILES DAMAGED DURING THE WORK
- CANOPY ABOVE. REMOVE THE GYPSUM BOARD SOFFIT, SEE SECTION
- TEMPORARY PARTITION. SEE MOBILIZATION PLAN
- TV WITH WALL BRACKET ATTACHED TO MULLION TO BE REMOVED FOR THE DURATION OF THE WORK AND REINSTALLED. COORDINATE WITH CLIENT'S REPRESENTATIVE FOR TEMPORARY STORAGE.
- EXISTING CONCRETE RAMP AND RAILING TO REMAIN



GENERAL NOTES:

- XX XXX INDICATES LEVEL
- OU (11) ASSEMBLY TYPE
- Room name XXX WALL/PARTITION HEIGHT
- XXX ROOM NAME & NUMBER
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- CJ CONTROL JOINT
- FR 45min. FR 60min. (1h) FR 90min. (1.5h) FR 120 min. (2h) FR 150 min. (2.5h) FR 180 min. (3h)

WALL HEIGHTS:
 A: FLOOR TO DECK
 B: FLOOR TO BEAMS
 C: FLOOR TO CONCRETE SLAB/CEILING

GEODESIC GROUND LEVEL:
 10 000 = TO BE VALIDATED

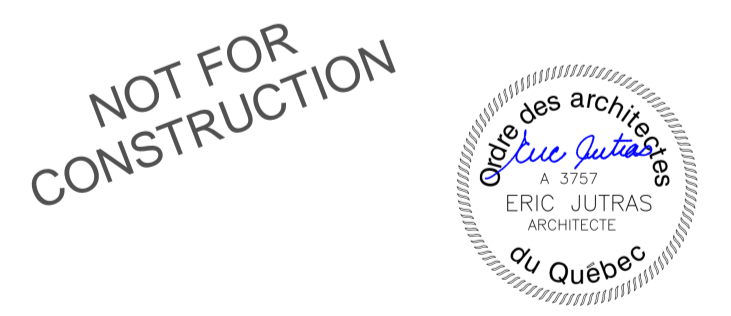
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A	2022-03-22	ISSUED FOR BID	C.C.

CORRECTIONAL SERVICE CANADA CLIENT

DRUMMOND CENTER - BUILDING 3 - CURTAIN WALL REPAIR PROJECT NAME

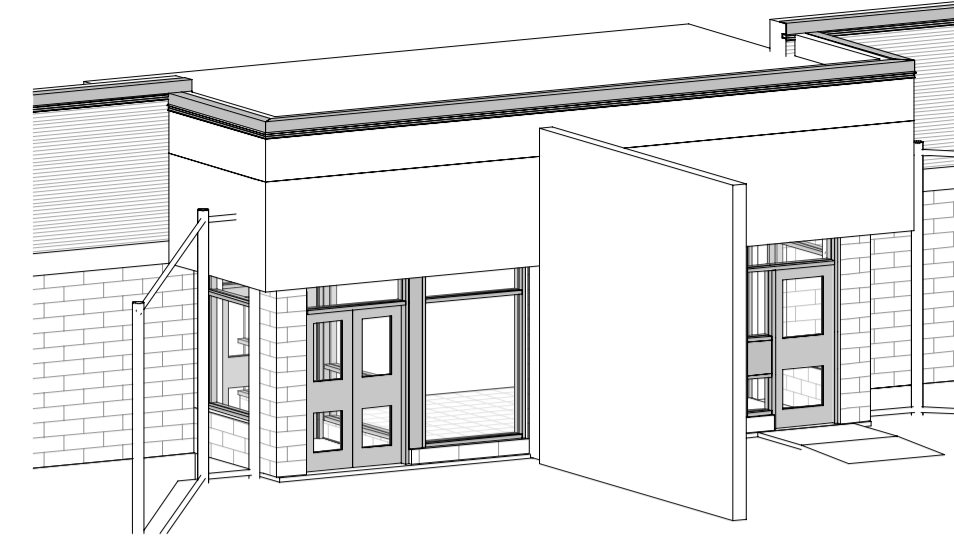
2025 JEAN DE BRÉBEUF BLDV,
 DRUMMONVILLE, QC, J2B 7Z6 PROJECT ADDRESS



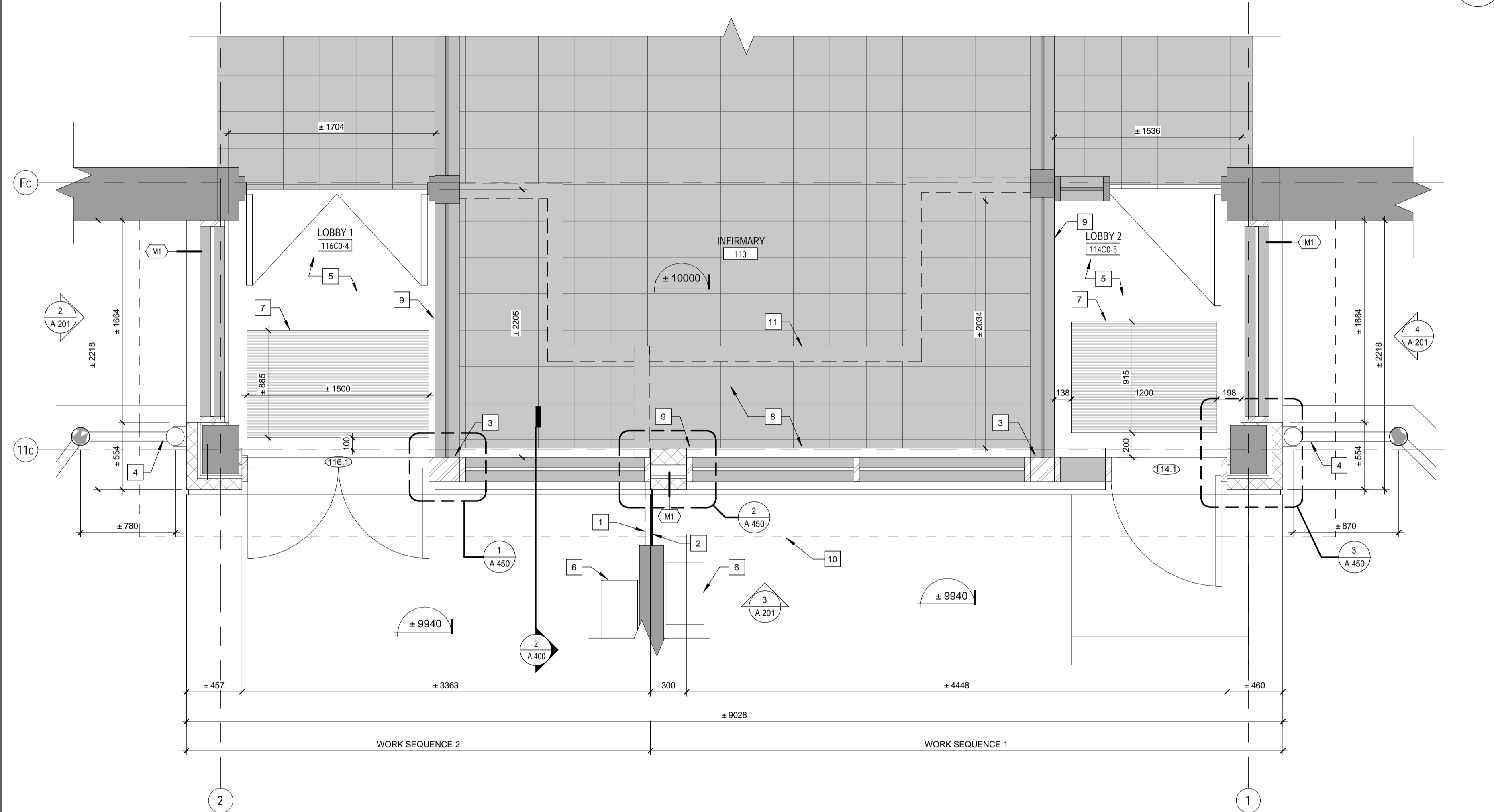
DEMOLITION - PLAN & ELEVATIONS DRAWING TITLE

C.C. E.J.
 DRAFTED BY / VERIFIED BY
 2020-11-01 20-300
 DATE / PROJECT #

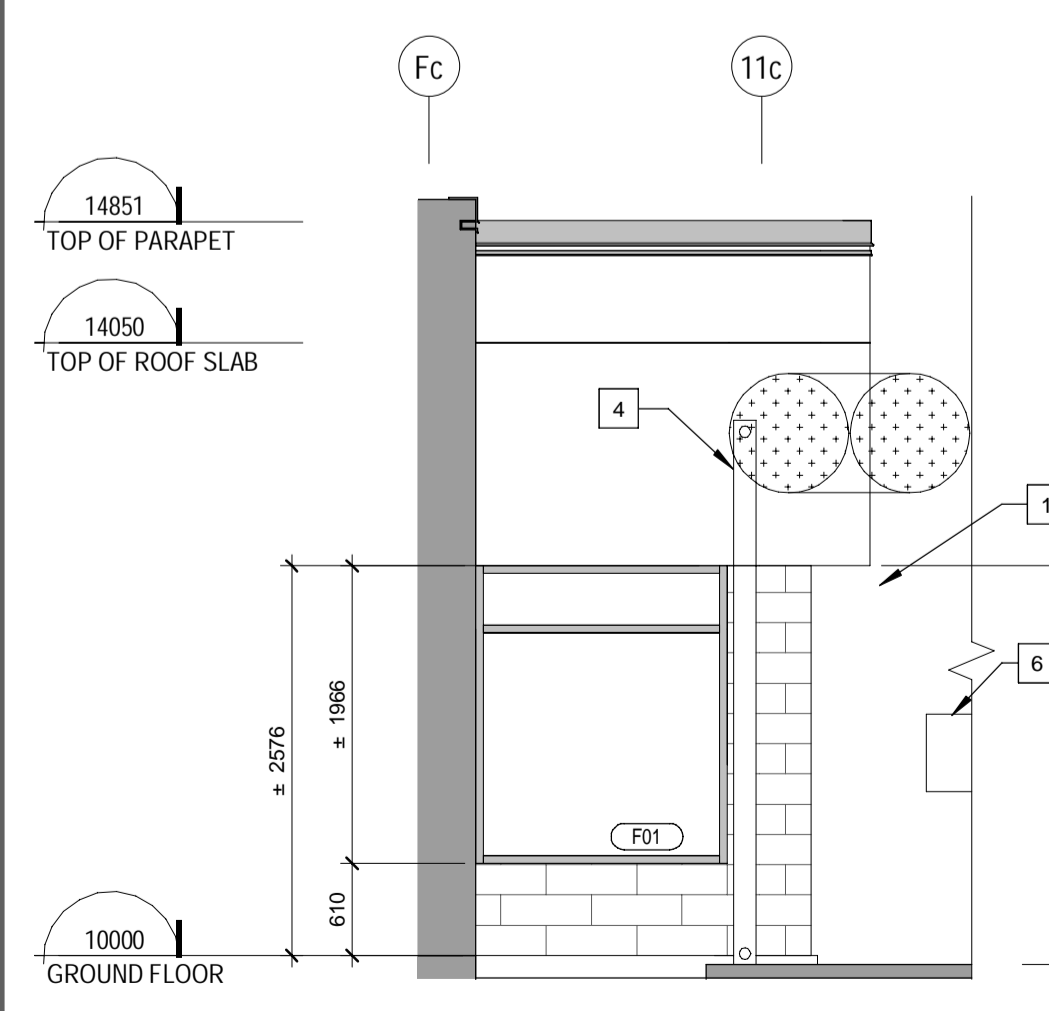
Comme indiqué **A 200D** SCALE / SHEET



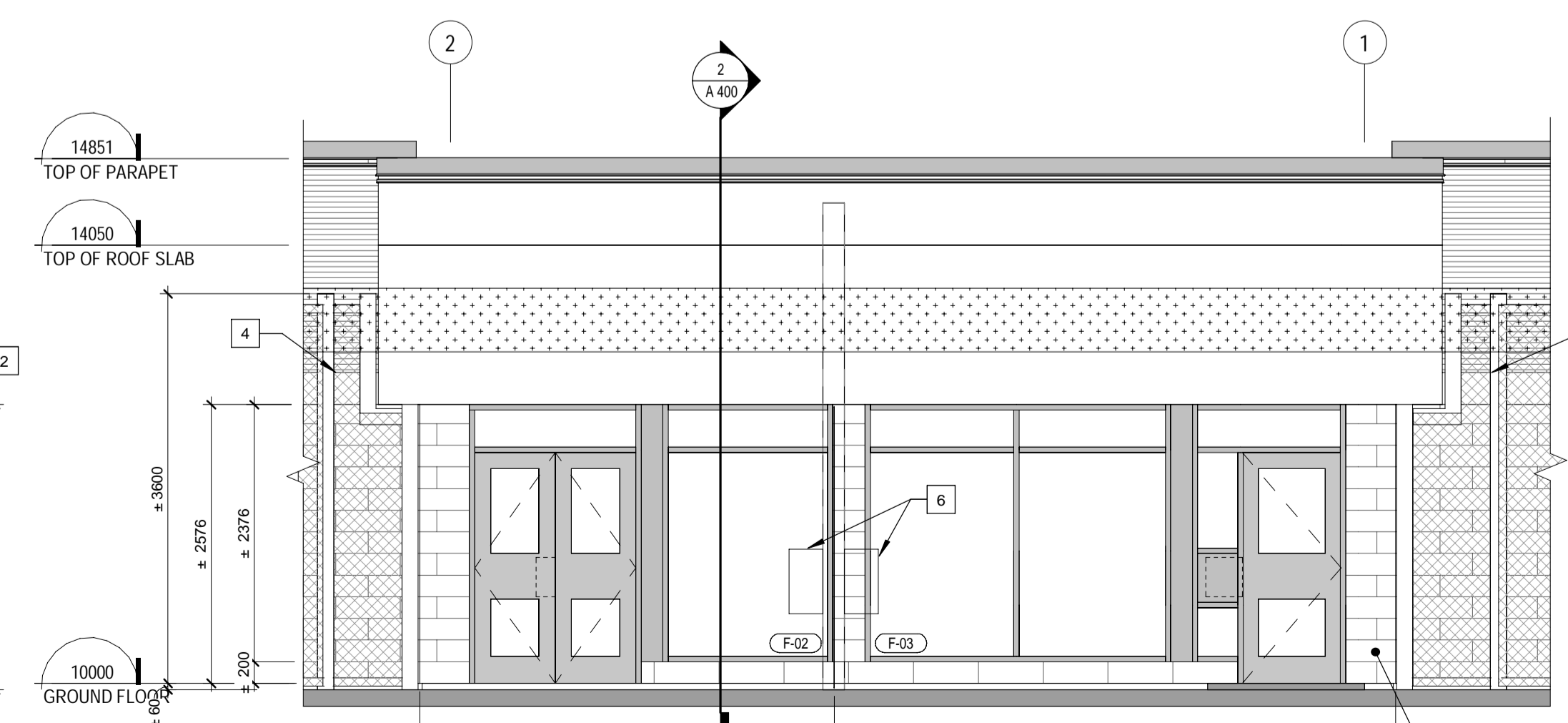
CONSTRUCTION 5
A 201



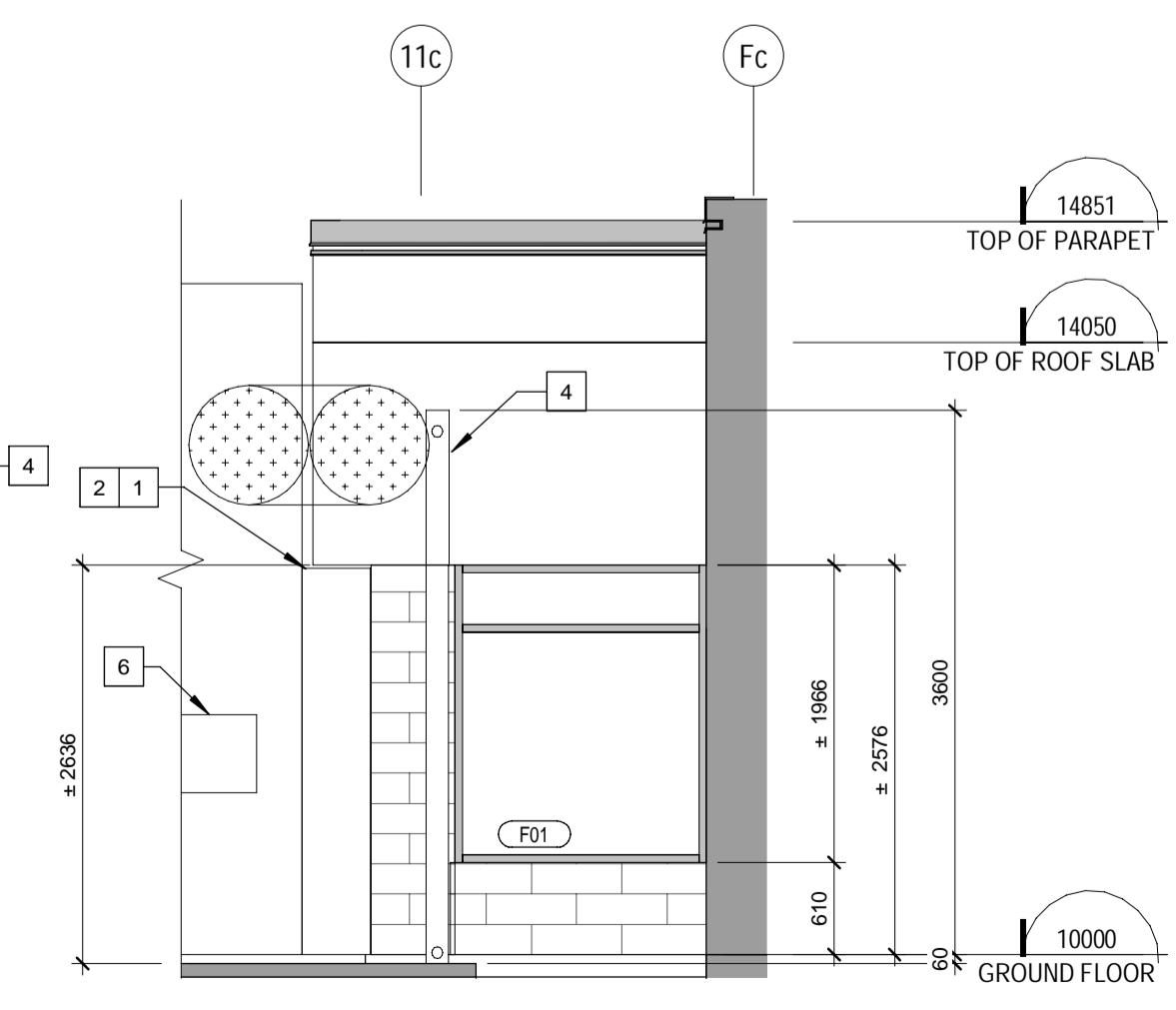
CONSTRUCTION - GROUND FLOOR 1
1:25 A 201



CONSTRUCTION - LEFT ELEVATION 2
1:50 A 201



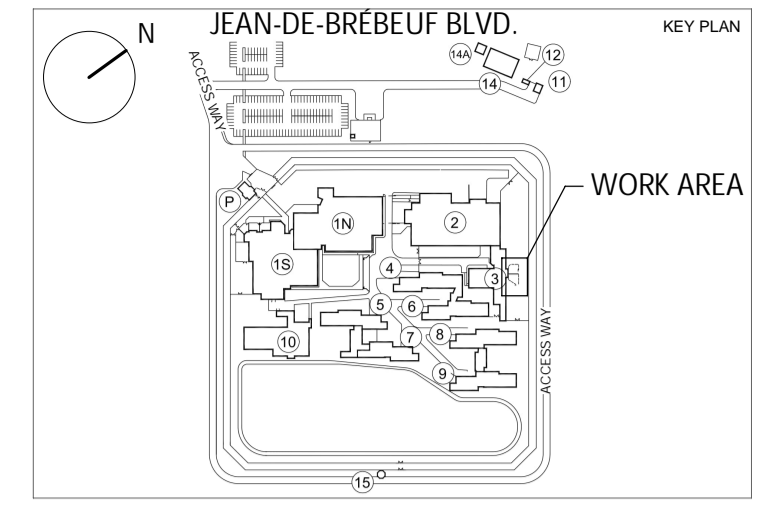
CONSTRUCTION - FRONT ELEVATION 3
1:50 A 201



CONSTRUCTION - RIGHT ELEVATION 4
1:50 A 201

- GENERAL NOTES - DEMOLITION & CONSTRUCTION**
- ALL HOLES CREATED IN A FIRE RATED PARTITION MUST BE PROPERLY SEALED WITH A FIRE RESISTANT, CAN UL/C/S115 CERTIFIED SYSTEM. ONLY THE PARTITIONS THAT ARE PART OF CONSTRUCTION WORK ARE IDENTIFIED ON THE PLANS.
 - THE CONTRACTOR MUST MAKE SURE NOT TO DO ANY DRILLING INTO A STRUCTURAL ELEMENT THAT COULD COMPROMISE THE STRUCTURAL INTEGRITY. INCLUDE ALL SCANS OF SLABS REQUIRED BY PROFESSIONALS.
 - THE CONTRACTOR MUST INFORM THE ARCHITECT OF ANY CONFLICTS OR MISSING ITEMS AND IN NO WAY PROCEED WITHOUT CERTITUDE.
 - THE WORD 'DEMOLISH' USED IN THESE DOCUMENTS DOES NOT NECESSARILY IMPLY DEMOLITION, BUT IMPLIES, WITHOUT LIMITATION, DISMANTLING, DISASSEMBLING, DEGRADING, REMOVING OR DECONSTRUCTING, AND POSSIBLY REQUIRES THE PROPER PRECAUTIONS TO RECEIVE NEW ELEMENTS OR ASSEMBLIES.
 - THE TERM 'PATCHING' MEANS TO REFURBISH THE SURFACE. THIS ACTION INVOLVES, IF NECESSARY, SCRAPING, LEVELING, APPLYING A COATING SIMILAR TO THE ADJACENT SURFACES, PAINTING THE PATCHED SURFACE THE SAME COLOR AS THE ADJACENT SURFACES. THE CONTRACTOR, WHEN PATCHING EXISTING SURFACES, SHALL PAINT THE ENTIRE SURFACE UP TO THE NEAREST EDGE.
 - PRIOR TO PAINTING, THE CONTRACTOR SHALL ENSURE THAT THE SURFACES ARE CLEANED AND FREE OF ALL DEBRIS, INCLUDING ADHESIVE PUTTY (GUM), PAPER TAPE, TOILET PAPER, STAPLES, THUMB TACKS, ETC. THE CONTRACTOR MUST ALSO PATCH ALL SURFACES TO REMOVE ANY IMPERFECTIONS. (EX: AIR BUBBLES, CRACKS, SCRATCHES...) IN THE EVENT THAT AIR BUBBLES ARE PRESENT, SCRAPE THE FINISH COATING DOWN TO THE SUBSTRATE. PATCH WITH A SIMILAR FINISH. CLEAN ALL FINISHES BEFORE PAINTING. UNLESS OTHERWISE SPECIFIED, PAINT ALL PLASTER WALLS AND CEILINGS.
 - THE CONTRACTOR MUST PAY PARTICULAR ATTENTION TO THE PROPAGATION OF NOISE DURING THE WORK.
 - THE CONTRACTOR MUST REMOVE ALL EQUIPMENT, MATERIALS AND TOOLS AFTER EACH SHIFT.
 - REMOVE OR PROTECT ANY ITEMS THAT MAY BE HAZARDOUS TO THE OCCUPANTS.
 - THE CONTRACTOR MUST FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR THE INSTALLATION OF THE VARIOUS PRODUCTS AND EQUIPMENT.
 - THE CONTRACTOR MUST ENSURE THAT THE MATERIALS ARE COMPATIBLE WITH EACH OTHER.
 - LEVEL THE FLOORS TO BE PRESERVED AFTER THE WORK.
 - ALL EQUIPMENT AND FURNITURE TO BE DEMOLISHED MUST BE DISPOSED OF OR RECYCLED ACCORDING TO THE NATURE OF THE MATERIALS.
 - FOR FLOOR FINISHES, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING 1m x 1m SAMPLES TO OWNER AND FOR SCHEDULING A MEETING BETWEEN OWNER, CONTRACTOR, FLOOR FINISH TECHNICAL REPRESENTATIVE AND ARCHITECT, FOR APPROVAL OF PRODUCTS, COLORS, FINISHES AND TEXTURES. THE PLANS REPRESENT ONLY A PROPOSAL OF THE FINISHES, ACCORDING TO THE KNOWN DATA OF THE PROJECT AND THE ARCHITECT CANNOT BE HELD RESPONSIBLE FOR THE CHOICE OF THE FLOOR COVERINGS.
 - BEFORE APPLYING FLOOR FINISHES, ENSURE THAT THE EXISTING SCREED MEETS THE MANUFACTURER'S WRITTEN RECOMMENDATIONS. INCLUDE PATCHING OF DAMAGED FLOOR FINISHES UNDER TEMPORARY PARTITIONS.

- SPECIFIC NOTES - CONSTRUCTION**
- EXISTING TO REMAIN
 - NEW
 - EXISTING DOOR TO REMAIN
 - NEW DOOR
- EXISTING STEEL PLATE TO BE REMOVED FOLLOWING THE WORK OF SEQUENCE 1 AND RELOCATED TO THE LOCATION AS INDICATED
 - AFTER THE WORK OF SEQUENCE 1, CUT THE EXISTING GALVANIZED STEEL PLATE TO MATCH THE NEW CLEARANCE AND REINSTALL ON THE CONCRETE WALL. APPLY A COAT OF GALVANIZING PAINT THE THE CUT AREA.
 - FOLLOWING THE INSTALLATION OF THE NEW FRAME (VERTICAL MULLION), REINSTALL THE EXISTING GLASS PANEL AND GLAZING BEADS TO THE EXISTING LOBBY WINDOW.
 - SECTION OF FENCE, POST AND BARBED WIRE TO BE REINSTALLED AS THE EXISTING. INSTALL NEW 14-GAUGE GALVANIZED STEEL PLATES ON EACH SIDE OF THE END POST TO BLOCK THE OPENING BETWEEN THE POST AND THE MASONRY WALL.
 - APPLICATION OF AN EPOXY COATING WITH A 100MM COVE BASE. PREPARE THE SURFACE OF THE SLAB ADEQUATELY ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - REINSTALL THE SPORTS EQUIPMENT WITH TAMPER-PROOF TORX SCREWS IN THE SAME LOCATION AS THE EXISTING EQUIPMENT.
 - NEW FOOT GRILLE WITH BASIN EMBEDDED IN THE EXISTING SLAB. ±40 MM DEEP. VALIDATE ON SITE THE DIMENSIONS BEFORE PLACING ORDER.
 - REPLACE THE EXISTING VINYL TILE THAT WAS DAMAGED DURING THE WORK WITH A TILE SIMILAR TO THE EXISTING ONE. INSTALL A NEW 100MM HIGH VINYL BASEBOARD THE SAME COLOR AS THE EXISTING ONE ON THE NEW WALL.
 - PAINT NEW CONCRETE BLOCK SURFACES THE SAME COLOR AS THE EXISTING ROOM. PATCH ADJACENT SURFACES WITH NEW PAINT UP TO THE EDGES OF THE SURFACE.
 - CANOPY ABOVE. INSTALLATION OF A NEW SOFFIT, SEE SECTION.
 - TEMPORARY PARTITION TO BE DEMOLISHED. PATCH FLOOR, CEILING AND WALL SURFACES FOLLOWING REMOVAL TO RECEIVE NEW FINISH
 - NEW 3 RIBBED ARCHITECTURAL BLOCK LIKE ARCHITECTURAL SPLIT FACE BLOCK FROM SHOULDICE, COLOR: EXECUTIVE GREY.



- GENERAL NOTES:**
- XX XXX INDICATES LEVEL
 - OU (11) ASSEMBLY TYPE
 - WALL/PARTITION HEIGHT
 - ROOM NAME & NUMBER
 - DOOR NUMBER (SEE SCHEDULE A001)
 - WINDOW TYPE (SEE SCHEDULE A001)
 - AD ACTIVE DOOR
 - AL ALIGN FINISHES
 - REF SECTION ELEVATION NUMBER
 - A0-500 SHEET NUMBER
 - 1-5000 DETAIL NUMBER
 - A0-500 SHEET NUMBER
 - FLOOR LEVEL
 - INDICATES REVISIONS
 - PB PANIC BAR
 - FD FLOOR DRAIN
 - RD ROOF DRAIN
 - INDICATED BEAMS DIRECTION
 - FL FREE LINTEL
 - SL STRUCTURAL LINTEL
 - CJ CONTROL JOINT
 - FR 45min
 - FR 60min (1h)
 - FR 90min (1.5h)
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- WALL HEIGHTS:**
- A: FLOOR TO DECK
 - B: FLOOR TO BEAMS
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- GEODESIC GROUND LEVEL:**
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CORRECTIONAL SERVICE CANADA

DRUMMOND CENTER - BUILDING 3 - CURTAIN WALL REPAIR

2025 JEAN DE BRÉBEUF BLVD, DRUMMONVILLE, QC, J2B 7Z6

NOT FOR CONSTRUCTION

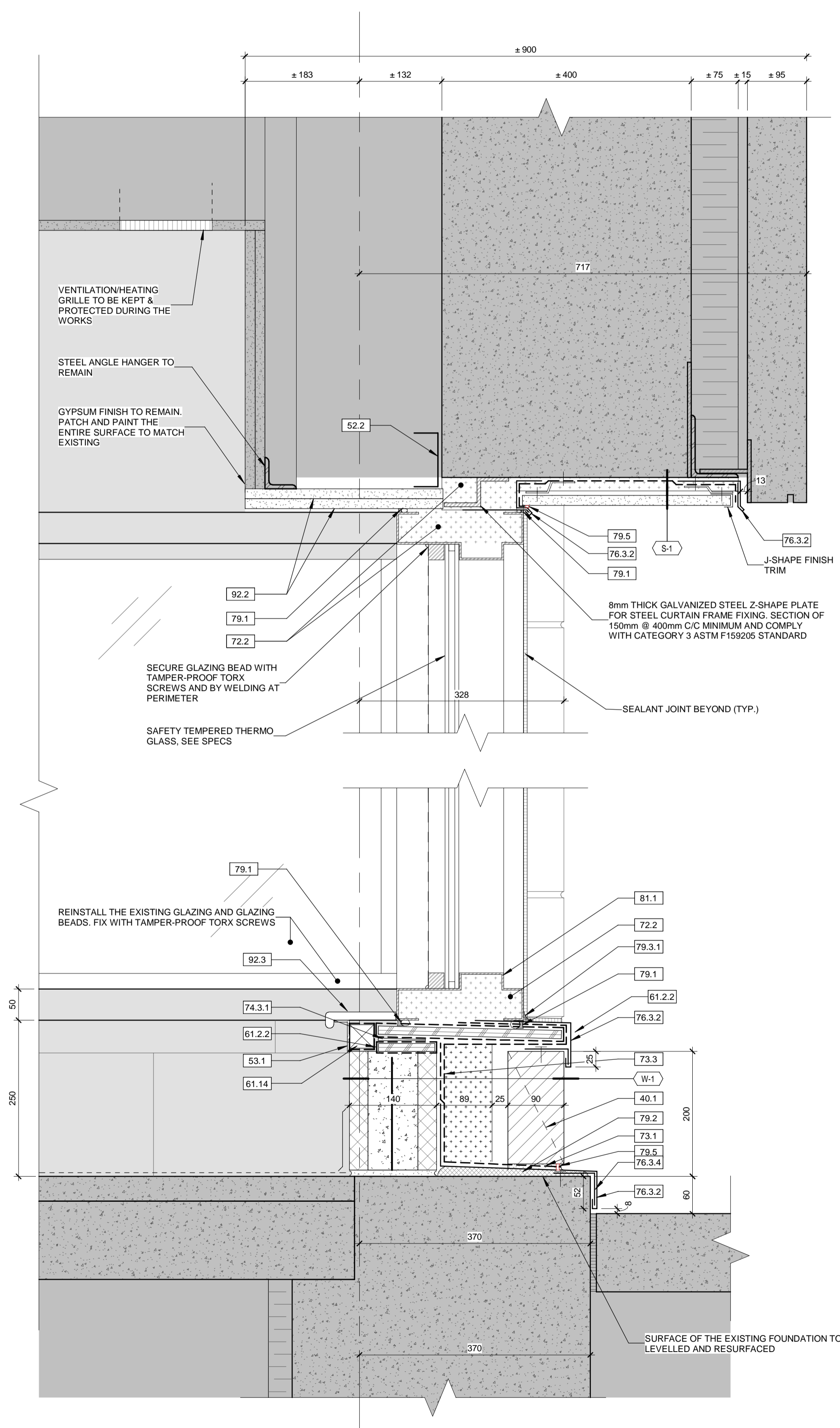
Eric Jutra Architecte

artesa
ARCHITECTES CONCEPTEURS
T 450-441-1133
www.artesaconcept.com

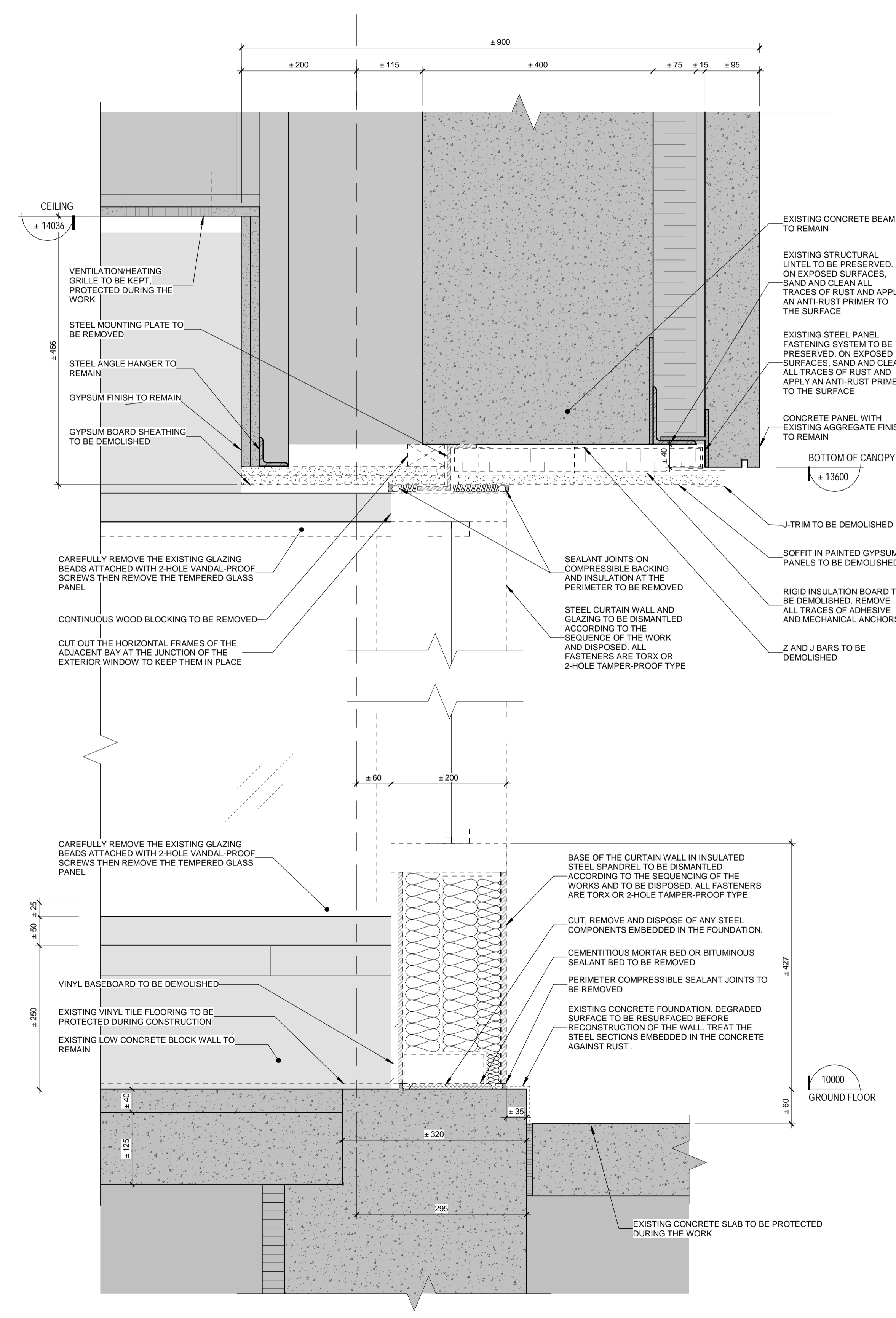
CONSTRUCTION - PLAN & ELEVATIONS

C.C. E.J.
DRAFTED BY / VERIFIED BY
20-300
DATE / PROJECT #

Comme indiqué **A 201**

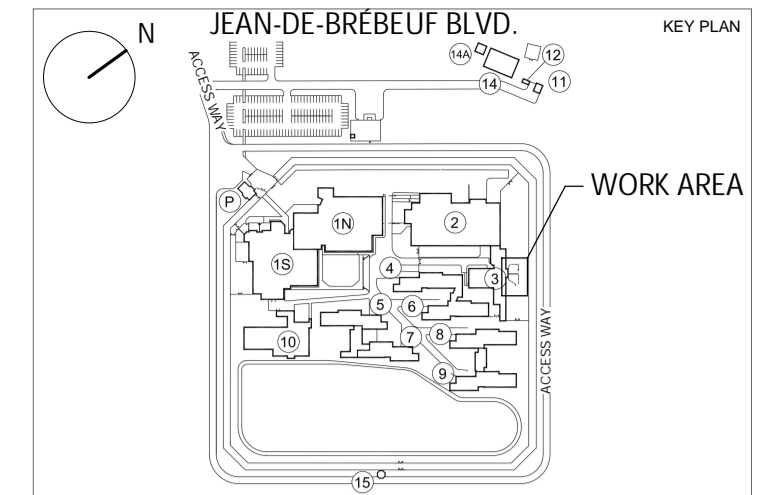


CONSTRUCTION - WALL SECTION 2
1:5 A 400



DEMOLITION - WALL SECTION 1
1:5 A 400

SPECIFIC NOTES - ENVELOPE	
40.1	WEEHOLES BETWEEN EACH ARCHITECTURAL BLOCK
40.3	MASONRY ANCHOR
52.1	7/8" METAL FURRING
53.1	STEEL ANGLE 25 X 50 X 3mm FIXED WITH TAMPER-PROOF TORX SCREWS
54.1	GALVANIZED STEEL Z CLIPS (GAGE 20 MINIMUM, EXCEPT WHERE NOTED OTHERWISE)
54.3	GALVANIZED FREE STEEL LINTEL
61.2.2	PLYWOOD WITH SELF ADHERED MEMBRANE ON ALL SIDES
61.14	WOOD BLOCKING WITH MEMBRANE, ATTACHED TO CONCRETE BLOCK.
72.2	LOW EXPANSION URETHANE SPRAY FOAM
73.1	CONTINUOUS SBS SELF-ADHERED MEMBRANE WITH 6" OVERLAP JOINTS
73.3	ADDITIONAL SELF-ADHESIVE MEMBRANE AROUND OPENINGS. ENSURE THE CONTINUITY OF THE AIR/VAPOR BARRIER MEMBRANES. 200mm (8") MIN.
73.4	AIR BARRIER (ALL JOINTS TAPED AND SEALED) UPPER LAYER ALWAYS OVERLAPPING THE LOWER LAYER
74.3.1	PLASTIC SPACER
76.3.2	ALUMINUM FLASHING GAGE 14. COLOR TO MATCH CURTAIN WALL
76.3.3	ALUMINUM FLASHING GAGE 20. COLOR TO MATCH CURTAIN WALL
76.3.4	ALUMINUM FLASHING GAGE 14. COLOR TO MATCH CURTAIN WALL
76.4	POLYURETHANE SPRAY FOAM INSULATION
79.1	SEALANT ON BACKER ROD BOTH CONTINUOUS 1/2" MAX. FIRESTOP WHERE REQUIRED
79.2	BITUMINOUS SEALANT BED
79.3.1	CONTINUOUS SEALANT JOINT
79.5	3/4" JOINTION: DO NOT SEAL OR BLOCK
81.1	NEW STEEL CURTAIN WALL FRAME, PRISON PROFILE SEE PAGE A001.
92.2	5/8" G.W.B. PAINTED
92.3	SOLID LAMINATE SHELF AND MOLDING WITH 19 MM THICK ROUNDED EDGE.

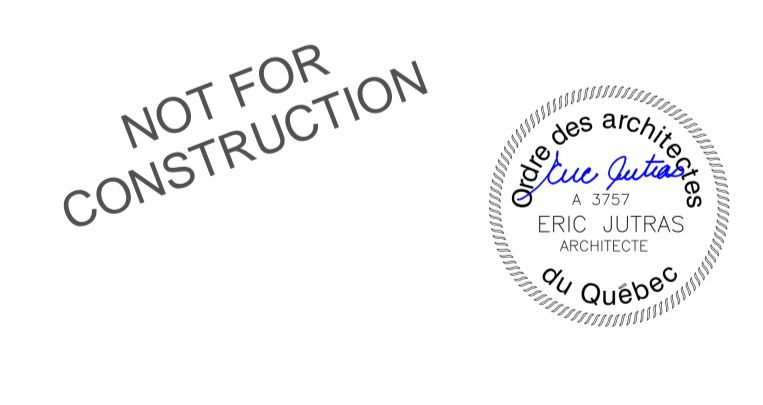


GENERAL NOTES:	
2	CONSTRUCTION NOTE
XX XXX	INDICATES LEVEL
11/25	ASSEMBLY TYPE
Room name XXX	FIRE RESISTANCE OF ASSEMBLY
XXX	WALL/PARTITION HEIGHT
XXX	ROOM NAME & NUMBER
00	DOOR NUMBER (SEE SCHEDULE A001)
00	WINDOW TYPE (SEE SCHEDULE A001)
AD	ACTIVE DOOR
AL	ALIGN FINISHES
REF	SECTION/ ELEVATION NUMBER
A0-500	SHEET NUMBER
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A0-500	SHEET NUMBER
↑	FLOOR LEVEL
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FD	FLOOR DRAIN
RD	ROOF DRAIN
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CJ	STRUCTURAL LINTEL
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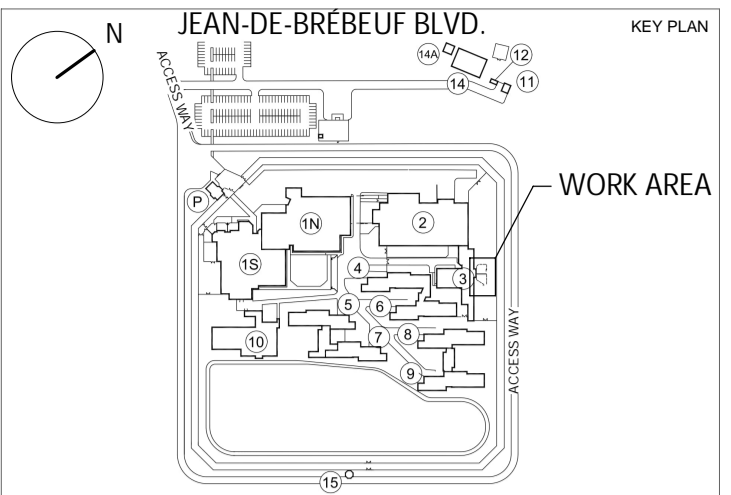
CORRECTIONAL SERVICE CANADA CLIENT
DRUMMOND CENTER - BUILDING 3 - CURTAIN WALL REPAIR PROJECT NAME
 2025 JEAN DE BRÉBEUF BLDV, DRUMMONVILLE, QC, J2B 7Z6 PROJECT ADDRESS



WALL SECTIONS		DRAWING TITLE
C.C.	E.J.	
2020-11-01	20-300	
		DATE / PROJECT #

Comme indiqué **A 400** SCALE / SHEET

SPECIFIC NOTES - ENVELOPE	
<var>	<var>
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 - FIRE RESISTANCE OF ASSEMBLY
 - WALL/PARTITION HEIGHT
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 - DOOR NUMBER (SEE SCHEDULE A001)
 - WINDOW TYPE (SEE SCHEDULE A001)
 - ACTIVE DOOR
 - AD WINDOW TYPE
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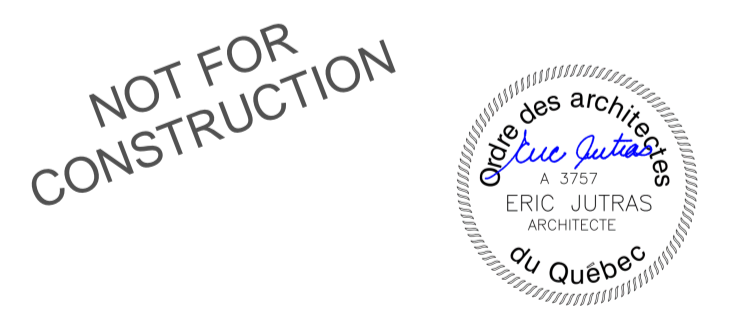
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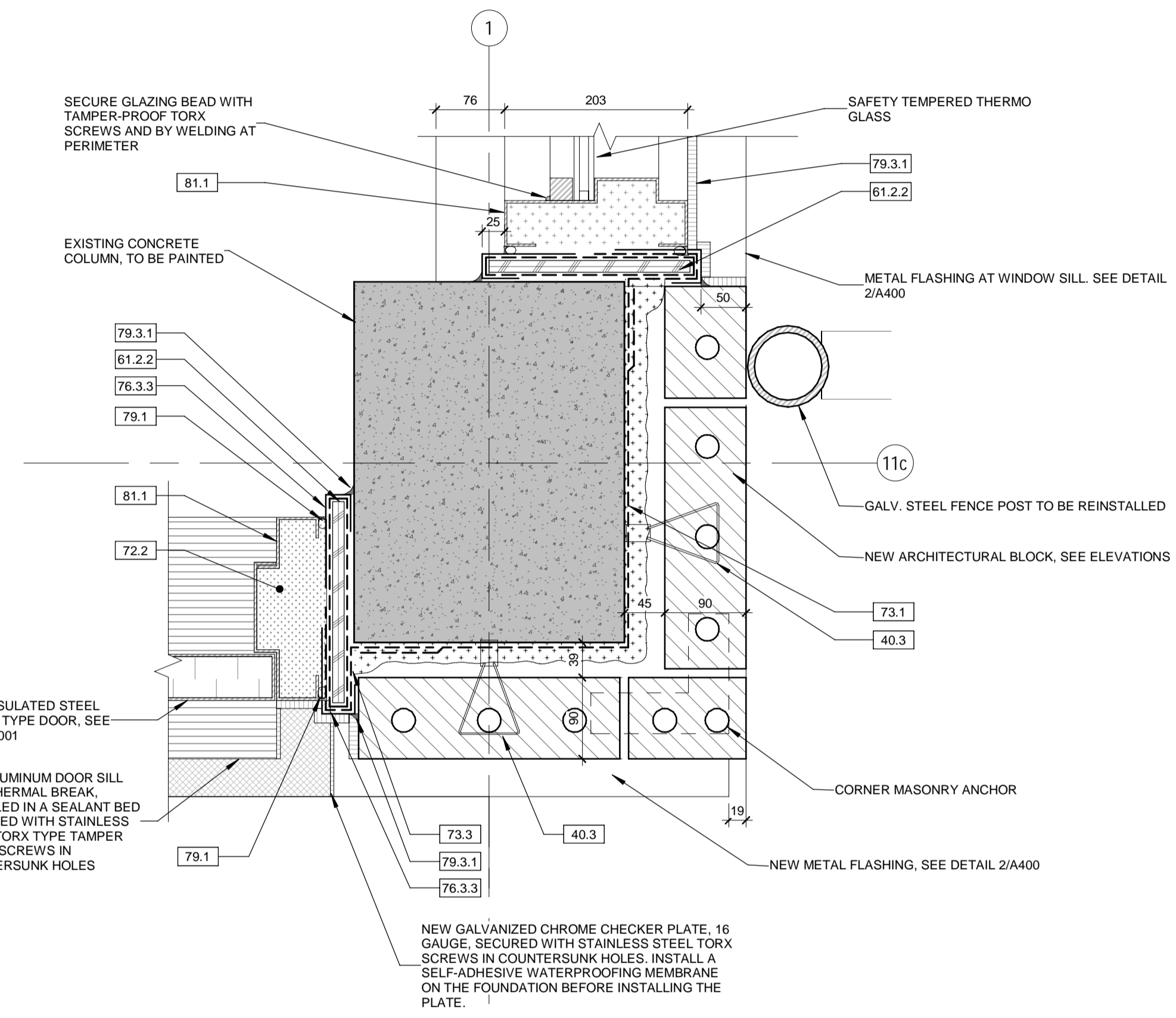


DETAILS DRAWING TITLE

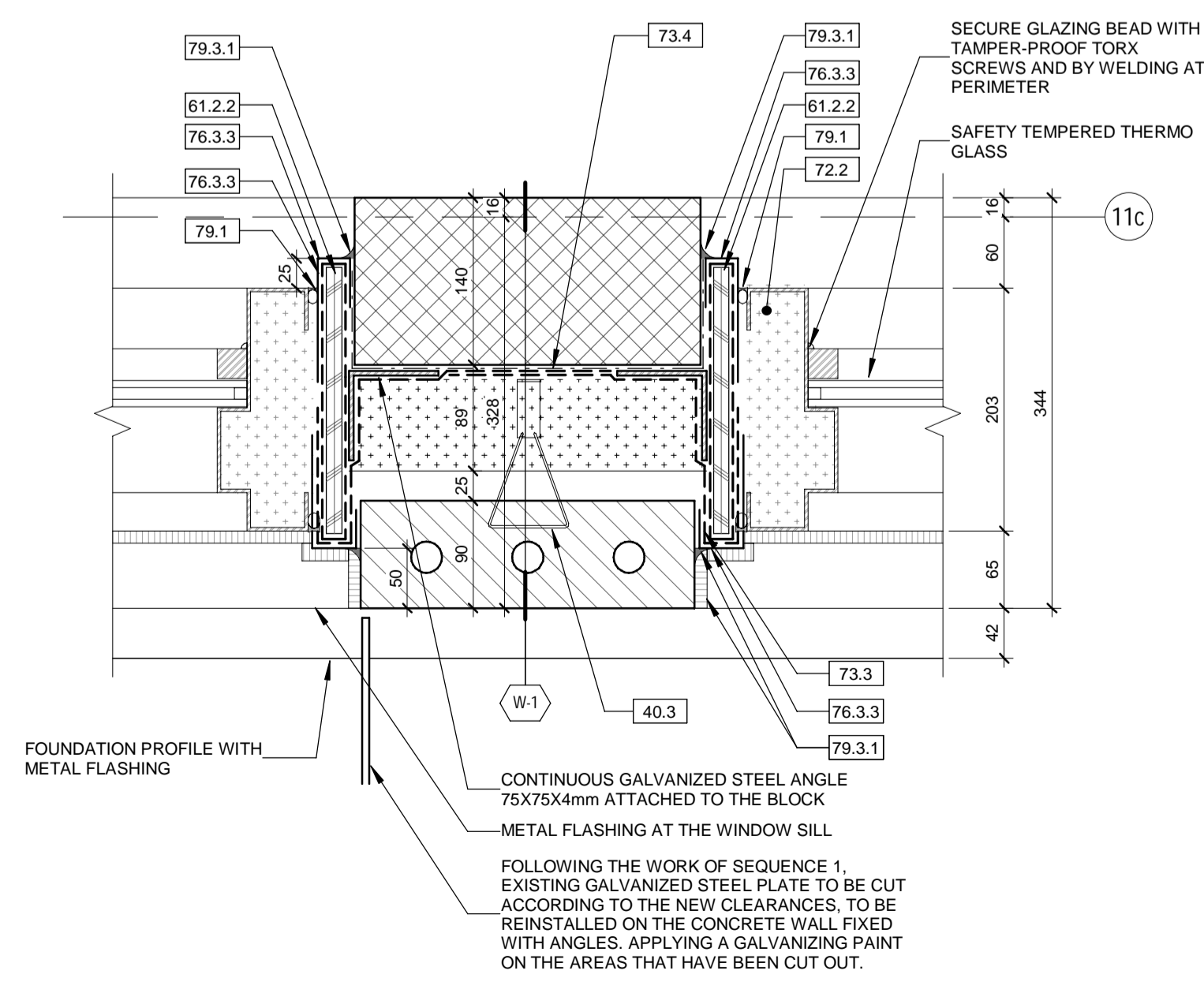
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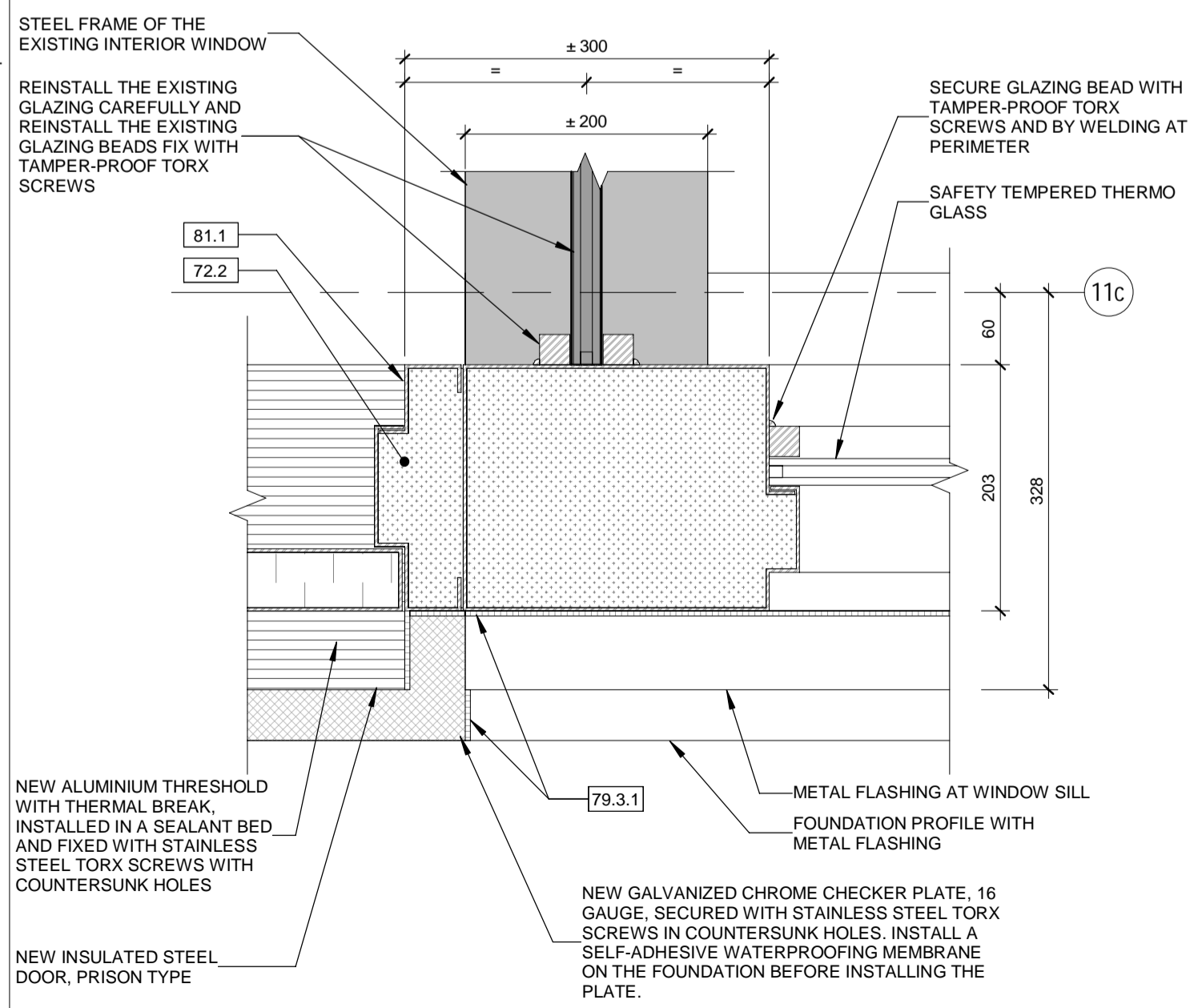
Comme indiqué **A 450** SCALE / SHEET



JUNCTION @ EXISTING CONCRETE COLUMN - JAMB 3
1:5 A 450



CURTAIN WALL JAMB 2
1:5 A 450



JUNCTION OF NEW CURTAIN WALL @ EXISTING BAY WINDOW 1
1:5 A 450