




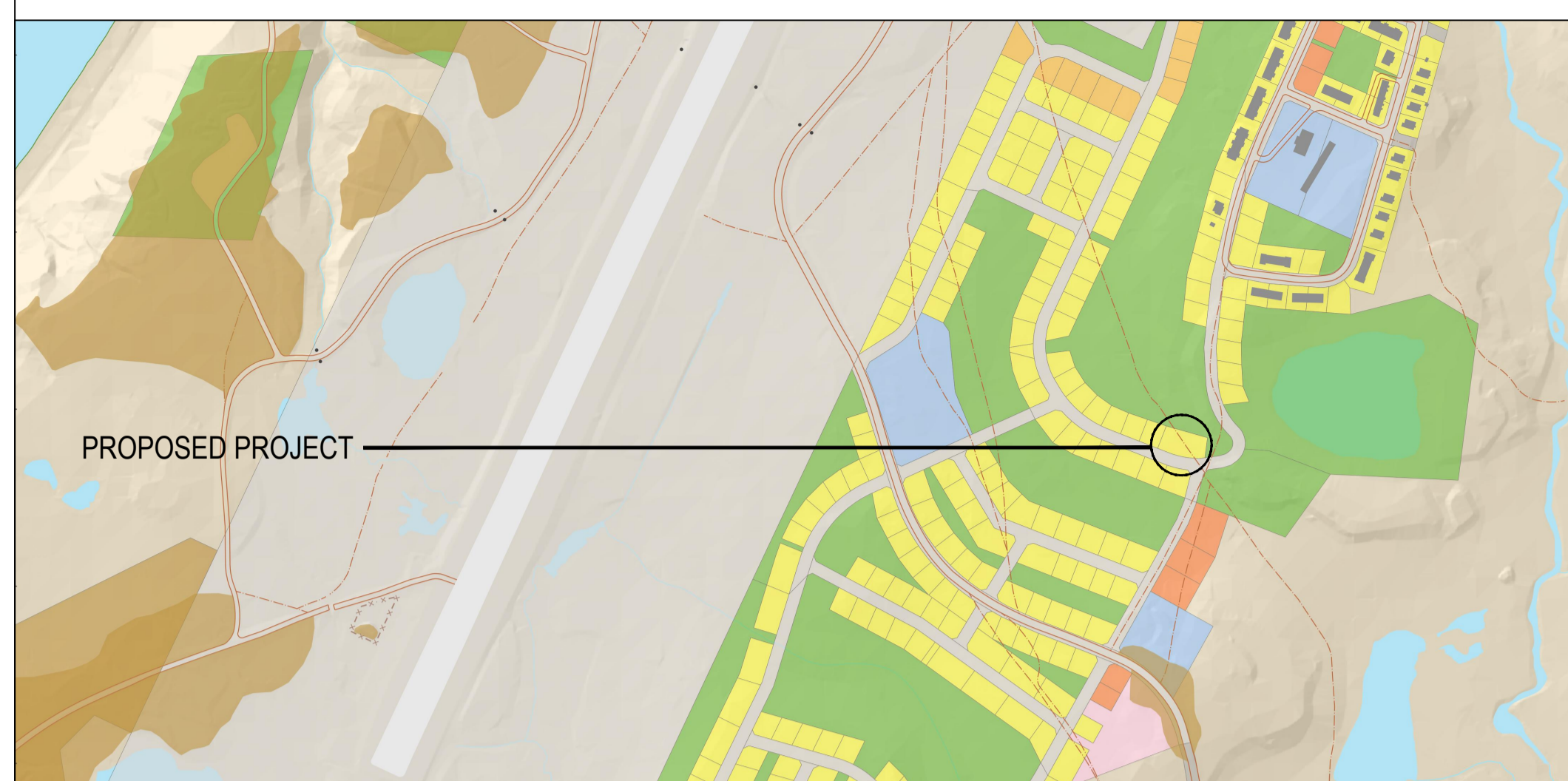
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GREENING NORTHERN HOUSING - PONT INLET, NU

Lot 75 Block 1

ISSUED FOR TENDER: 2022-01-28

<p>DRAWING INDEX ARCHITECTURAL</p> <p>A0.01 GENERAL NOTES, CODE ANALYSIS, PROJECT DATA AND ZONING & WALL ASSEMBLIES A1.00 SITE PLAN A2.01 CRAWL SPACE FLOOR PLAN A2.02 GROUND FLOOR PLAN A2.03 SECOND FLOOR PLAN A2.04 ROOF PLAN A3.01 REFLECTED CEILING PLANS A3.02 FLOOR FINISH PLANS A4.01 NORTH ELEVATION A4.02 WEST ELEVATION A4.03 SOUTH ELEVATION A4.04 EAST ELEVATION A5.01 SECTION A A5.02 SECTION B A5.03 SECTION C A6.01 DETAILS A6.02 DETAILS A6.03 DETAILS A6.04 DETAILS A6.05 DETAILS A6.06 DETAILS A7.01 INTERIOR ELEVATIONS A7.02 INTERIOR ELEVATIONS A7.03 MILLWORK SECTIONS A7.04 INTERIOR & EXTERIOR STAIR DETAILS A8.01 WINDOW AND DOOR SCHEDULES</p>	<p>STRUCTURAL</p> <p>S1.01 GENERAL NOTES S1.02 SECTIONS AND DETAILS S1.03 SECTIONS AND DETAILS S2.01 CRAWL SPACE FLOOR FRAMING PLAN S2.02 GROUND FLOOR FRAMING PLAN S2.03 SECOND FLOOR FRAMING PLAN S2.04 ROOF FRAMING PLAN</p>	<p>MECHANICAL</p> <p>M1.01 SITE PLAN LEGEND & DRAWING LIST M2.01 HEATING & DOMESTIC WATER SCHEMATIC & DETAILS M2.02 VENTILATION, NATURAL GAS SCHEMATIC & DETAILS M3.01 CRAWL SPACE MECHANICAL PLAN M3.02 GROUND FLOOR MECHANICAL PLAN M3.03 SECOND FLOOR MECHANICAL PLAN M3.04 MECHANICAL ROOM PLAN</p>	<p>ELECTRICAL</p> <p>E1.01 ELECTRICAL COVER & LEGEND E2.01 ELECTRICAL SITE PLAN E3.01 CRAWL SPACE ELECTRICAL UNIT POWER & COMMUNICATIONS PLAN E3.02 GROUND FLOOR ELECTRICAL UNIT POWER & COMMUNICATIONS PLAN E3.03 SECOND FLOOR ELECTRICAL UNIT POWER & COMMUNICATIONS PLAN E4.01 CRAWL SPACE LIGHTING PLANS E4.02 GROUND FLOOR LIGHTING PLANS E4.03 SECOND FLOOR LIGHTING PLANS E5.01 ENLARGED SERVICE ROOM PLANS E6.01 ELECTRICAL DETAILS E7.01 ELECTRICAL SCHEDULES</p>	<p>CIVIL</p> <p>C1.01 SITE GRADING PLAN</p>	<p>CONSULTANTS:</p> <p>STRUCTURAL ENGINEER: ENVOYA STRUCTURAL ENGINEERS INC</p> <p>MECHANICAL ENGINEER: BUILDING SYSTEMS ENGINEERING LTD</p> <p>ELECTRICAL ENGINEER: SETPLAN ENGINEERING LTD</p> <p>GEOTECHNICAL ENGINEER: WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS</p> <p>CIVIL ENGINEER: ASSOCIATED ENGINEERING</p> <p>ENERGY MODELING: RENU ENGINEERING</p> <p>COST CONSULTANT: HANSCOMB LIMITED</p>	<p>ARCHITECT</p> <p>kobayashi+zedda</p> <p>Phone 867 633 6874 Fax 867 633 4602 info@kza.yk.ca 26 - 1114 Front Street Whitehorse, YT, Y1A 1A3, CANADA</p> <hr/> <p>CLIENT</p> 
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POND INLET COMMUNITY

R1 - RESIDENTIAL
The general purpose of this land use zone is to establish areas of low density residential development on standard size lots.

1 Permitted Use
Dwelling - duplex

3 Zoning Requirements

	Allowed	Required	Provided
Min. Front Yard Setback (South)	6.0 m	10.0 m	
Min. Rear Yard Setback (North)	6.0 m	8.0 m	
Min. Side Yard Setback (East)	6.0 m	15.0 m	
Min. Side Yard Setback (West)	6.0 m	15.0 m	
Max. Height	8.5 m	9.6 m	
Parking	2	2	

NBCC 2015 CODE REVIEW

Major Occupancy	Group C (Residential)				
Building Height	2 Storeys + Crawl Space				
Crawl Space	218.8 m ²				
Ground Floor Area	229.5 m ²				
Second Floor Area	160.9 m ²				
Gross Floor Area	390.2 m ²				
Building Area	229.5 m ²				
Separation of Major Occupancies	Not Required				
Sprinklered Building	Not Required				
Permitted Construction	Combustible or Non-combustible Construction				
Proposed Construction	Combustible				
Fire Resistance Rating					
Floor assemblies within Suite	Not Required [9.10.8.10]				
Roof	Not Required [9.10.8.1]				
Crawl Space	Not Required [9.10.9.4.4]				
Demising Walls Between Duplex	1 hour FRR [9.10.9.14.3]				
Fuel-Fired Appliances	Not Required [9.10.10.4.2]				
Occupant Load					
Floor	Occupancy Type	Load (Persons)			
1st Floor	Dwelling Unit	8			
2nd Floor	Dwelling Unit	8			
Total	16 Persons				
Spatial Separation	Orientation	Exposed Building Face	Limiting Distance (half is applied)	% Allowed	% Proposed
	North	170 m ²	4m	12%	4.50%
	South	143 m ²	9m	28%	12%
	East	69.5 m ²	6m	57%	1%
	West	69.5 m ²	9m	100%	1%
Fire Alarm	Not Required [9.10.18.2]				
Smoke Alarm	Provided				

GENERAL NOTES

ALL WORK SHALL CONFORM TO THE 2015 EDITION OF THE NATIONAL BUILDING CODE OF CANADA (NBC), AND APPLICABLE MUNICIPAL OR TERRITORIAL BY-LAWS AND REGULATIONS.

THE AUTHORITY HAVING JURISDICTION MAY HAVE ADDITIONAL REQUIREMENTS TO, OR PERMIT RELAXATION FROM, THE STANDARDS OF THE NBC. THE AUTHORITY GOVERNS. ALL VARIATIONS ARE TO BE CONFIRMED BY THE ARCHITECT PRIOR TO IMPLEMENTATION.

ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. CONTRACTOR TO VERIFY ALL WRITTEN DIMENSIONS WITH CONDITIONS FOUND ON SITE.

THE ARCHITECT WILL BE PROVIDING FIELD REVIEWS ON THIS PROJECT. THE ARCHITECT IS TO BE INFORMED OF PERTINENT SITE CONDITIONS AFFECTING THE WORK OR DESIRED FIELD ADJUSTMENTS TO THE DESIGN PRIOR TO COMMENCING WORK. ALLOW REASONABLE NOTIFICATION OF NECESSARY FIELD REVIEWS.

THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

DIMENSIONS ARE FROM GRID LINES OR THE EDGE OF PLYWOOD SHEATHING (FOR EXTERIOR WALLS), CENTRE OF STUDS ON INTERIOR WALLS, EXCEPT AS NOTED.

DIMENSIONS FOR INTERIOR MILLWORK AND OTHER FIXTURES MAY BE SHOWN TO INSIDE FACES OF FINISHES. THESE ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION.

GRADING TO SLOPE AWAY FROM THE PERIMETER OF THE BUILDING TO ENSURE DRAINAGE. SEE LANDSCAPE GRADING PLAN FOR SPOT ELEVATIONS AND MINIMUM SLOPES.

CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES.

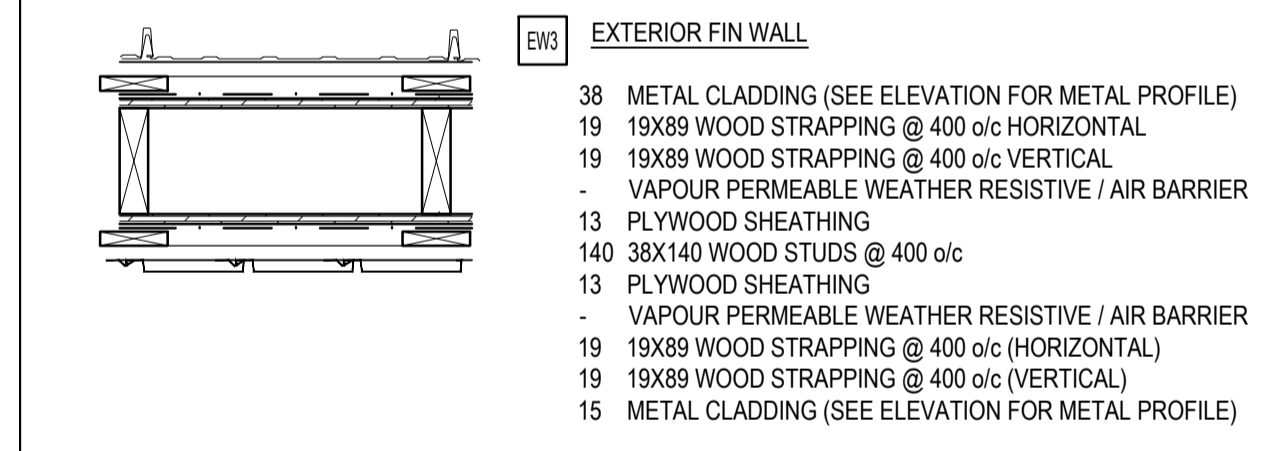
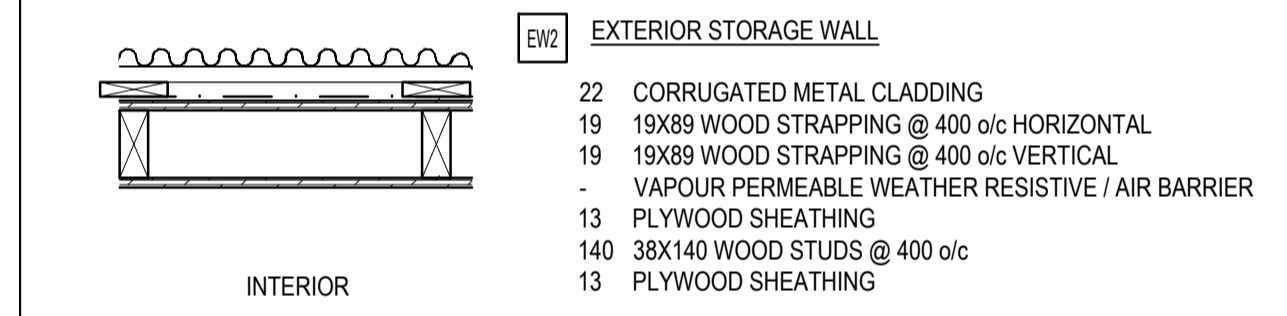
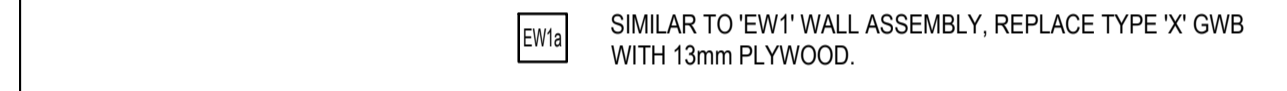
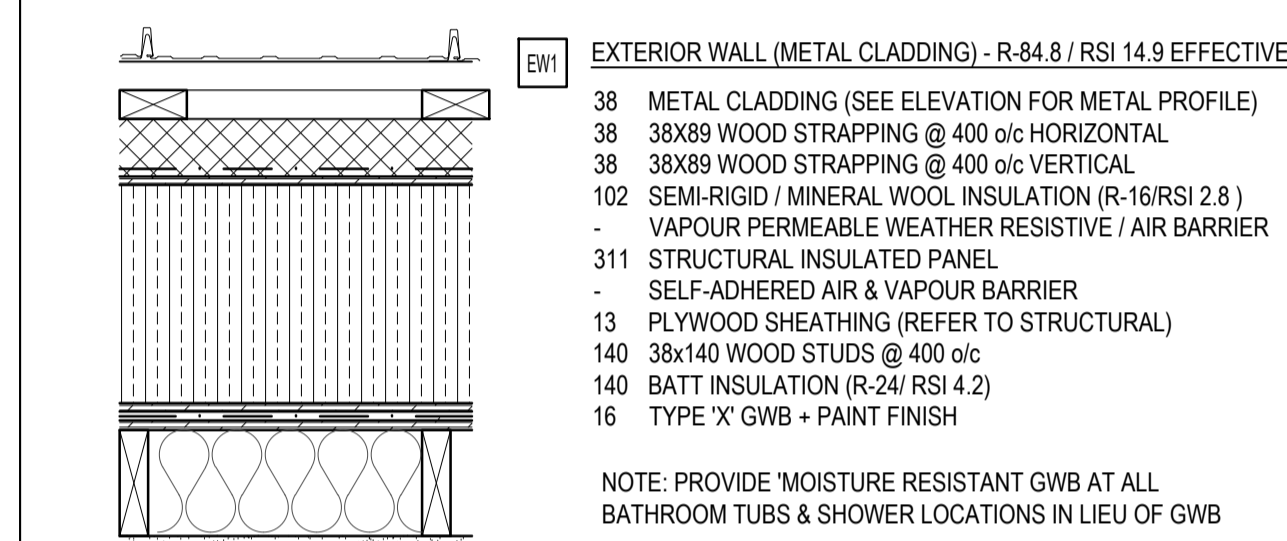
CONTRACTOR SHALL ENSURE THAT THE WORKS COMPLY WITH ALL APPLICABLE SAFETY CODES AND REGULATIONS.

NO CUTTING OR BORING OF STRUCTURAL MEMBERS SHALL BE DONE WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.

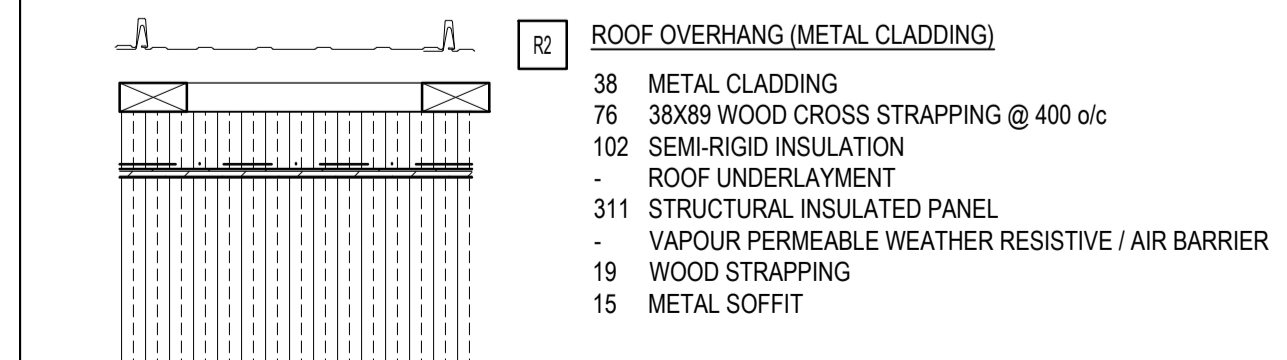
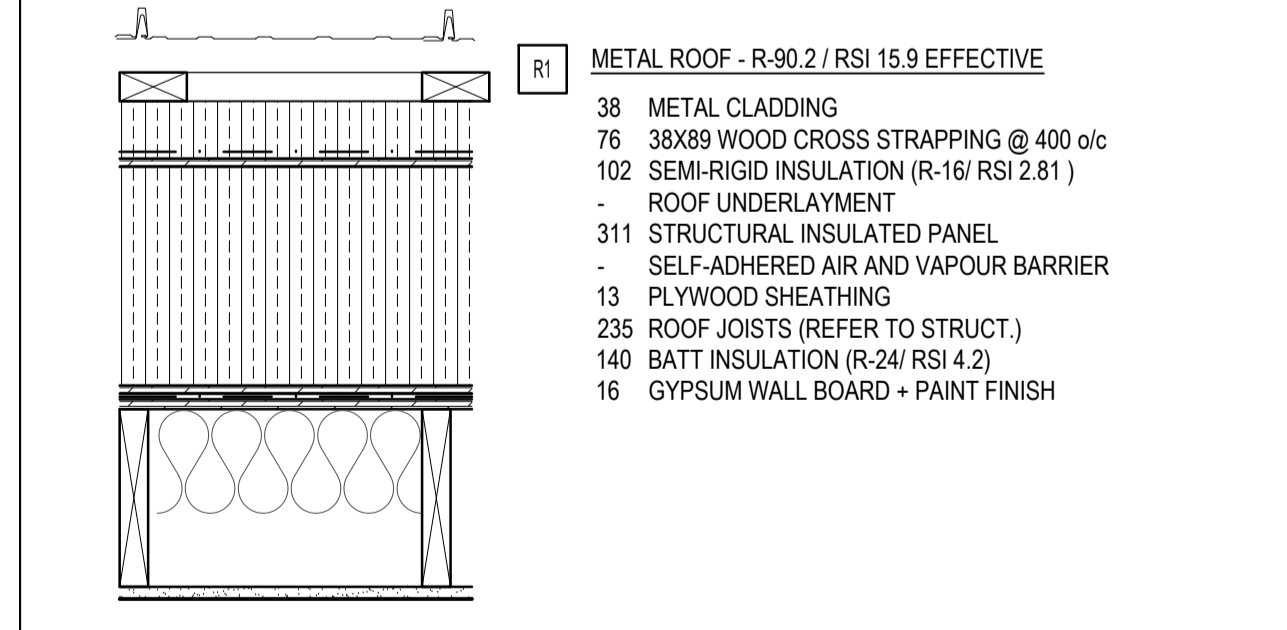
CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL OF DEBRIS AND CLEANLINESS DURING CONSTRUCTION AND TO THOROUGHLY CLEAN ENTIRE BUILDING ON COMPLETION OF WORK.

PRELIMINARY
NOT FOR CONSTRUCTION

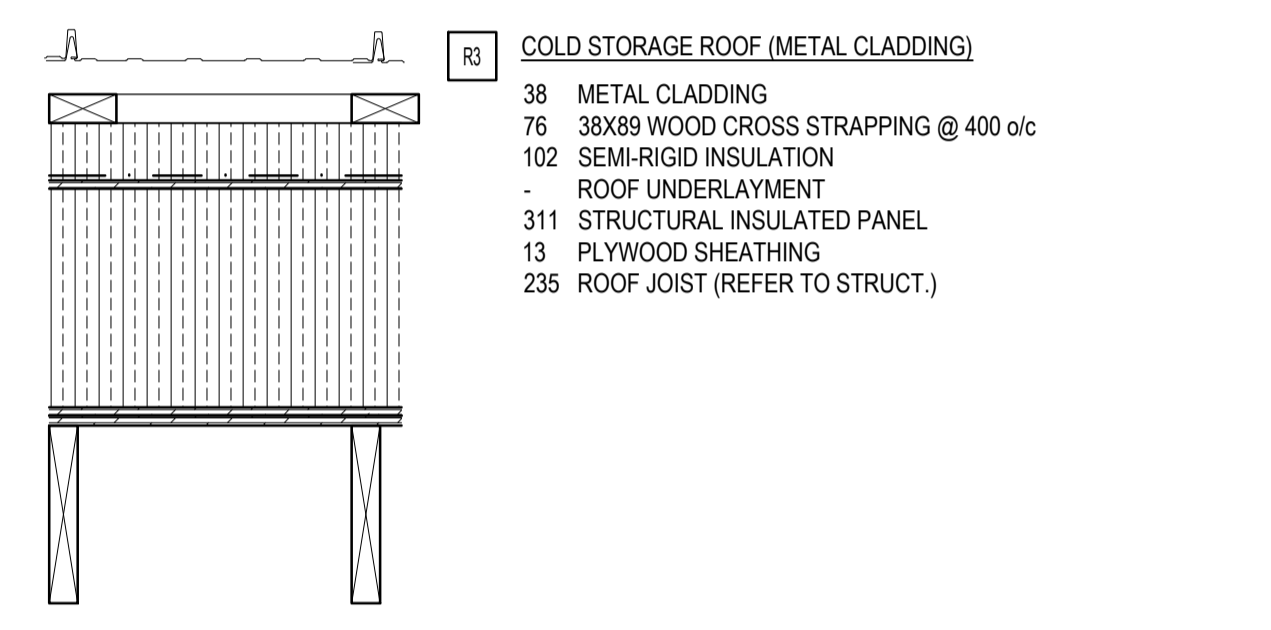
EXTERIOR WALL ASSEMBLIES



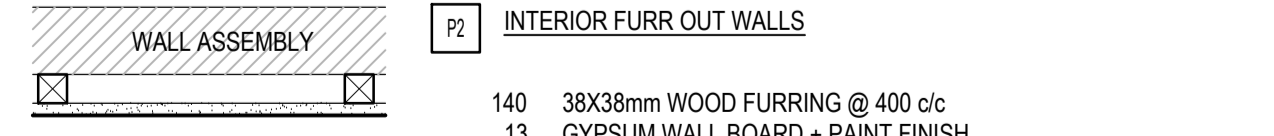
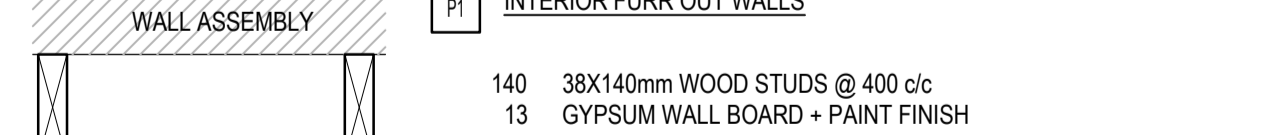
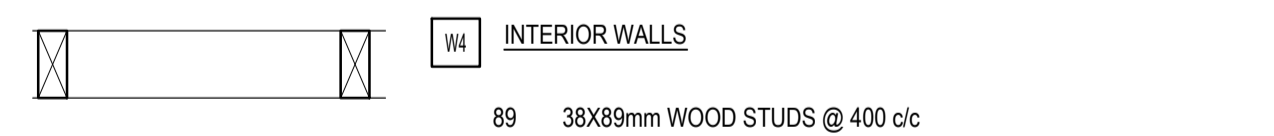
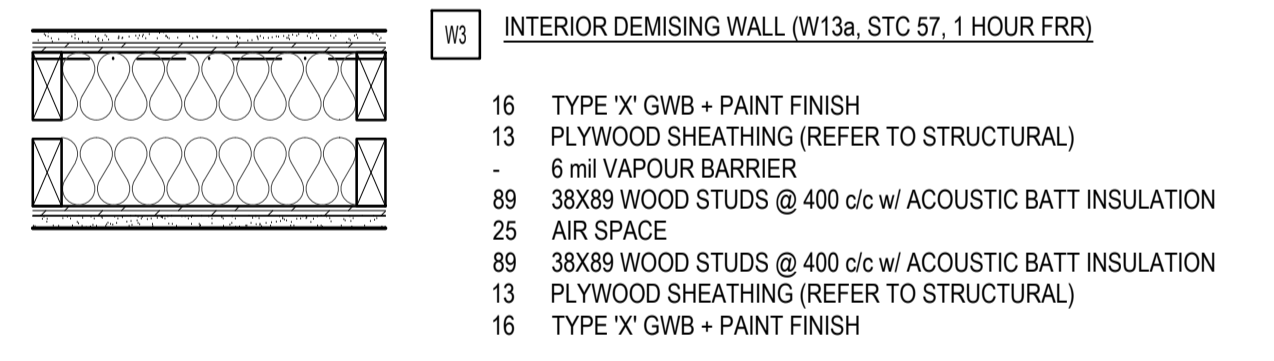
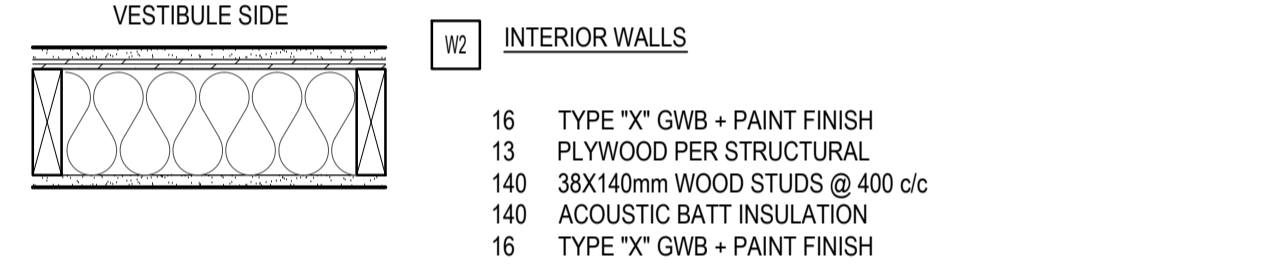
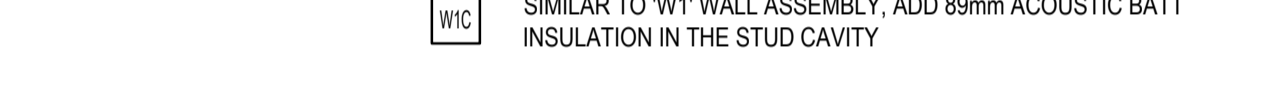
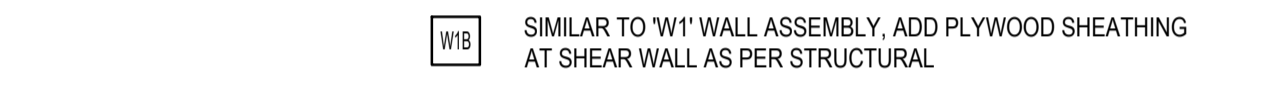
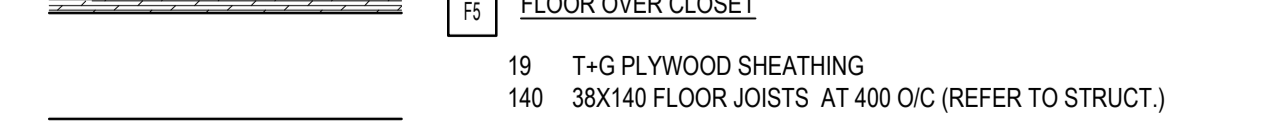
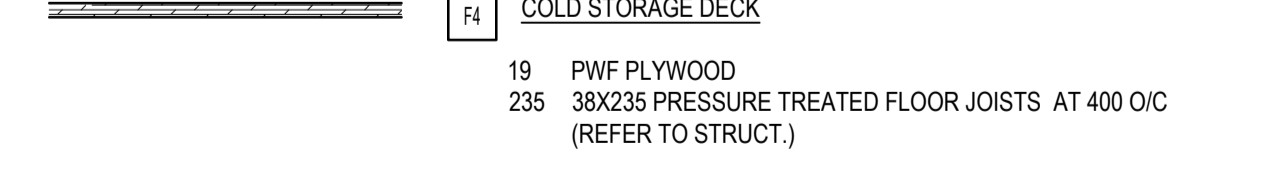
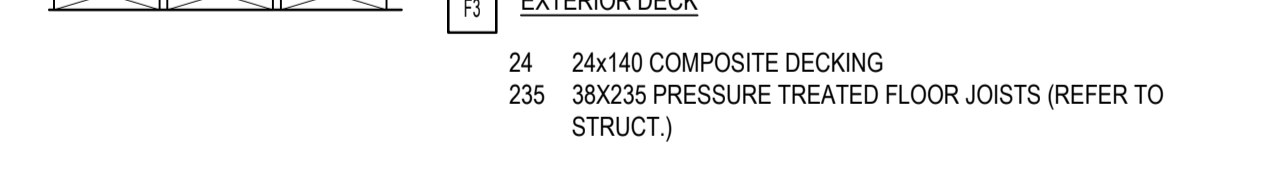
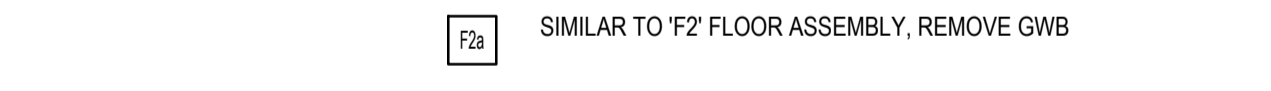
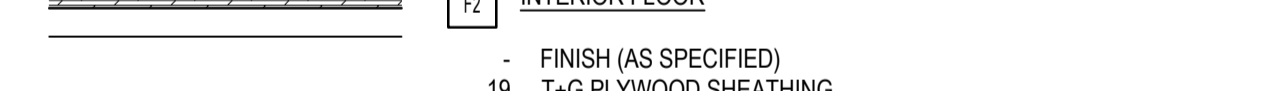
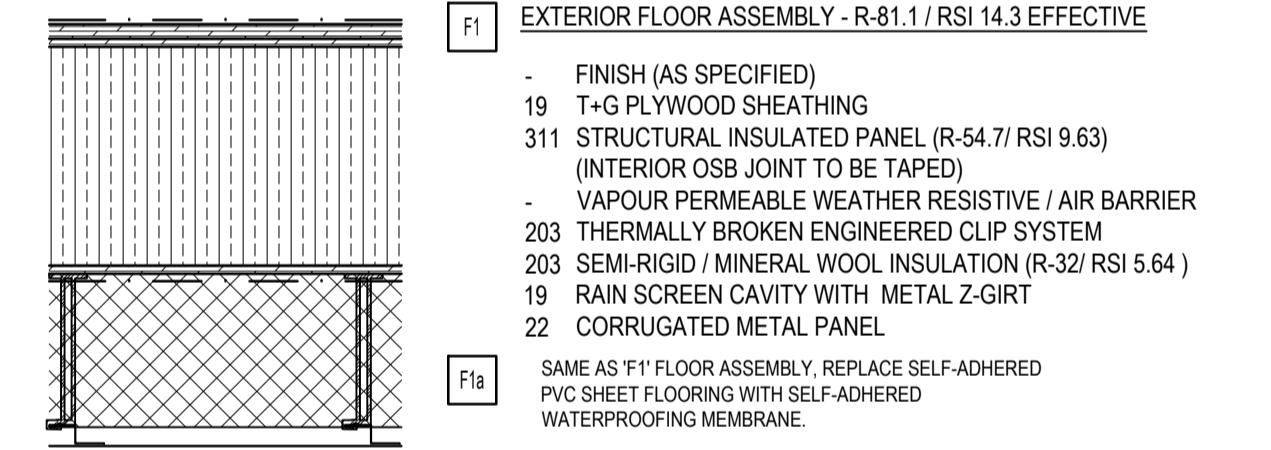
ROOF ASSEMBLIES



INTERIOR WALL ASSEMBLIES



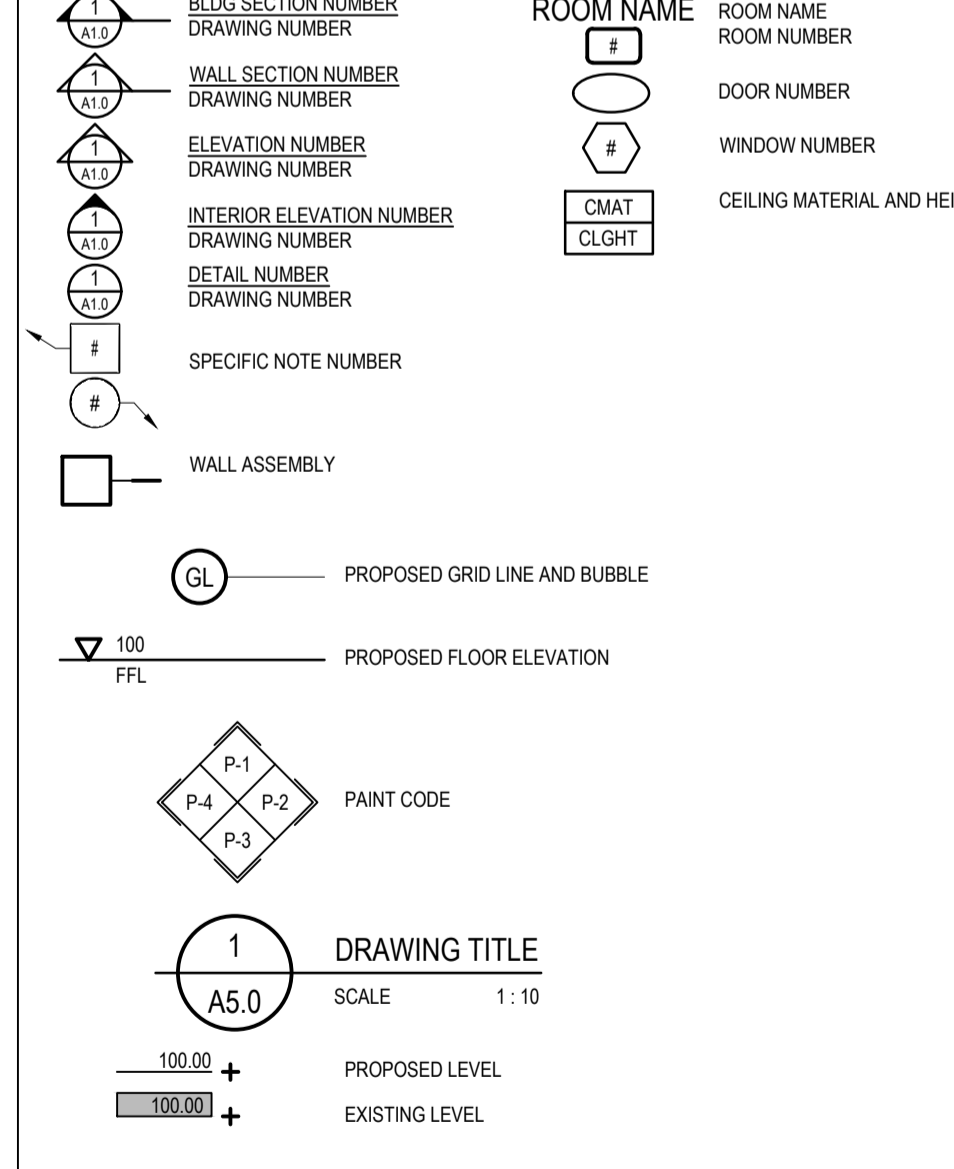
FLOOR ASSEMBLIES



ABBREVIATIONS

@	AT	MIN	MINIMUM
AB	AIR BARRIER	MS	MOP SINK
ADO	AUTOMATIC DOOR OPENER	N.I.C.	NOT IN CONTRACT
AFF	ABOVE FINISHED FLOOR	N.T.S.	NOT TO SCALE
AH	ACCESS HATCH	O.C.	ON CENTRE
AVB	AIR/VAPOUR BARRIER	O/H	OVERHEAD
BB	BULLETIN BOARD	P.LAM.	PLASTIC LAMINATE
BCS	BABY CHANGE STATION	PLY	PLYWOOD
CC	CENTRE TO CENTRE	RES	RESILIENT FLOORING
CL	CENTRE LINE	RD	ROOF DRAIN
CONC	CONCRETE	RO	ROUGH OPENING
CPT	CARPET	S	SINK
DIA	DIAMETER	SAM	SELF-ADHERED MEMBRANE
DN	DOWN	SD	SOAP DISPENSER
DS	DOWNSPOUT	SH	SHELF
ELECT.	ELECTRICAL	SIM	SIMILAR
ENG.	ENGINEERED	SP	SPLASH PAD
EQ	EQUAL	SST	STAINLESS STEEL
EXIST.	EXISTING	ST	STEEL
F	FRIDGE	STRUCT.	STRUCTURAL
FD	FLOOR DRAIN	T/O	TOP OF
FE	FIRE EXTINGUISHER	TD/WD	TISSUE DISPENSER/WASTE DISPOSAL
FR	FREEZER	TP	TOILET PAPER HOLDER
FRR	FIRE RESISTANCE RATING	TYP.	TYPICAL
FS	FRAME SIZE	UIS	UNDERSIDE OF
GB	GRAB BAR	UNO	UNLESS NOTED OTHERWISE
GWB	GYPSUM WALL BOARD	VB	VAPOUR BARRIER
HD	HARDWOOD	VERT.	VERTICAL
HK	HOOK	W/	WITH
HORIZ.	HORIZONTAL	WD	WOOD
MAX	MAXIMUM	WD	WASHER/DRYER
MECH.	MECHANICAL		

DRAWING LEGEND



5		
4		
3		
2	ISSUE FOR TENDER	2022/02/08
1	99% CD SUBMISSION	2021/12/17
0	65% CD SUBMISSION	2021/09/10
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**

Drawn by: **SC**

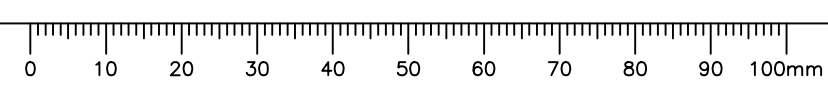
Approved by: **PWSC Project Manager**

Drawing title: **GENERAL NOTES, CODE ANALYSIS, PROJECT DATA AND ZONING & WALL ASSEMBLIES**

Project no./No. du projet: **A0.01**

Drawing no./No. du dessin: **OF XX**

Revision no.: **0**



PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

- COMPACTED GRAVEL DRIVEWAY (SEE CIVIL)
- PROPERTY LINE
- 100.00 + PROPOSED GRADE LEVEL
- 100.00 + EXISTING LEVEL
- PRINCIPAL ENTRANCE

GENERAL NOTE

- CONTRACTOR TO RETAIN SURVEYOR FOR SITE TOPOGRAPHIC SURVEY.
- CONTRACTOR TO RETAIN GEOTECHNICAL ENGINEER TO CONFIRM EXISTING SOIL CONDITION AS PER GEOTECHNICAL REPORT.

SPECIFIC NOTES

- 101 WATER/SANITARY CONNECTION - SEE MECH.
- 102 REFER TO CIVIL FOR PROPOSED GRADING AND DRAINAGE
- 103 FUEL TANK ON METAL SUPPORT ON CONCRETE PAD. SEE STRUCTURAL FOR CONCRETE PAD. CONTRACTOR TO PROVIDE ENGINEERED NON-COMBUSTIBLE TANK STAND.
- 104 POWER POLE
- 105 OPTIONAL RAMP (BY OWNER)
- 106 REMOVABLE PANEL. REFER TO FLOOR PLAN FOR SIZE AND LOCATION.
- 107 OUTLINE OF PARKING STALLS. REFER TO ELECTRICAL FOR EXTERIOR RECEPTACLE FOR VEHICLE PLUG IN.
- 108 TRUCK OUTLINE DEMONSTRATE PATH OF ACCESS (NIC)
- 109 GRADE TRANSITION/ GRADING EXTENTS - REFER TO CIVIL
- 110 TRIODETIC FOUNDATION SUPPORTING POINT (REFER TO STRUCTURAL). FOUNDATION TO SIT ON 200mm GRANULAR PAD AS PER GEOTECHNICAL REPORT. CONTRACTOR TO RETAIN A GEOTECHNICAL ENGINEER TO CONFIRM SOIL CONDITION.



Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/12/08
1	90% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10

Client: **PARKS CANADA AGENCY**

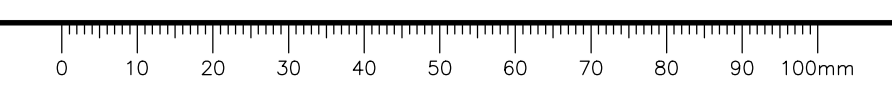
Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**
 Drawn by: **SC**
 Approved by:

PWSSC Project Manager / Administrateur de Projets TPSGC

Drawing title: **SITE PLAN**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A1.01 OF XX	0



PRELIMINARY
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NOTES:
- ALL DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE LINE OF WALL FOR INTERIOR WALLS.
- ALL INTERIOR PARTITIONS "W1" UNLESS NOTED OTHERWISE REFER TO KITCHEN CONSULTANT DRAWINGS FOR KITCHEN AND DRY STORAGE LAYOUT AND EQUIPMENT. PROVIDE BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT.

- LEGEND:**
- DOOR
 - FLOOR DRAIN
 - F.E. FIRE EXTINGUISHER (REFER TO MECH.). REFER TO DETAIL.
 - HB NON-FREEZE HOSE BIB (REFER TO MECH.)
 - HEATING UNITS (REFER TO MECH. AND ELECT.)
 - GR EXTERIOR GUARDRAILS 1070mm TYPICAL
 - HR HANDRAIL TYPICAL
 - 1 Hour Fire Rating

- SPECIFIC NOTES**
- 201 PHOTO VOLTIC ARRAY. REFER TO ELECTRICAL.
 - 202 PROFILE OF DECK AND STAIR ABOVE
 - 203 WOOD STRINGER WITH STEEL GRATING TREADS WITH ALUMINUM POST, RAIL AND PICKETS
 - 204 200mm (8") BUILT UP WOOD CURB
 - 205 OUTLINE OF ROOF/FLOOR ABOVE
 - 206 762 X 914 FLOOR HATCH ACCESS. COORDINATE WITH TANK ACCESS BELOW.
 - 207 NOT IN USE
 - 208 CHEST FREEZER (N.I.C.)
 - 209 HOT WATER TANK - SEE MECH.
 - 210 SNOW GUARD. FINAL LOCATION AND LENGTH BY ROOFING CONTRACTOR.
 - 211 MECHANICAL VENTS - SEE MECH.
 - 212 BULKHEAD ABOVE
 - 213 ERV ABOVE - SEE MECH.
 - 214 WATER TANK - SEE MECH.
 - 215 SANITARY TANK - SEE MECH.
 - 216 FUEL TANK ON METAL STAND ON CONCRETE PAD - REFER TO STRUCTURAL FOR CONCRETE PAD. CONTRACTOR TO PROVIDE ENGINEERED NON-COMBUSTIBLE TANK STAND.
 - 217 REMOVABLE PANEL FOR TANK REPLACEMENT
 - 218 WATER TANK FILL & OVERFLOW - SEE MECH.
 - 219 SEWAGE PUMP OUT - SEE MECH.
 - 220 FLOOR ACCESS HATCH ABOVE
 - 221 900mm PONY WALL
 - 222 ELECTRICAL PANELS. PROVIDE 19mm FIRE RETARDANT PLYWOOD AS PER ELECTRICAL.
 - 223 COAT ROD AND SHELVE TYPICAL
 - 224 MECHANICAL VENT - SEE MECH.
 - 225 1828mm PRIVACY FENCE
 - 226 PV PANEL CONDUIT
 - 227 305 X 305 X 75 mm DEPRESSED AREA IN FLOOR. REFER TO DETAIL.
 - 228 762 X 914 CEILING ACCESS HATCH
 - 229 TRIODETIC FOUNDATION SUPPORT POINT BELOW. REFER TO STRUCTURAL FOR LOCATION AND SPACINGS.

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/02/08
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10

Client: _____ client

PARKS CANADA AGENCY

Project title: _____ Projet

GREENING NORTHERN HOUSING - POND INLET

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.** Conçu par

Drawn by: **SC** Dessiné par

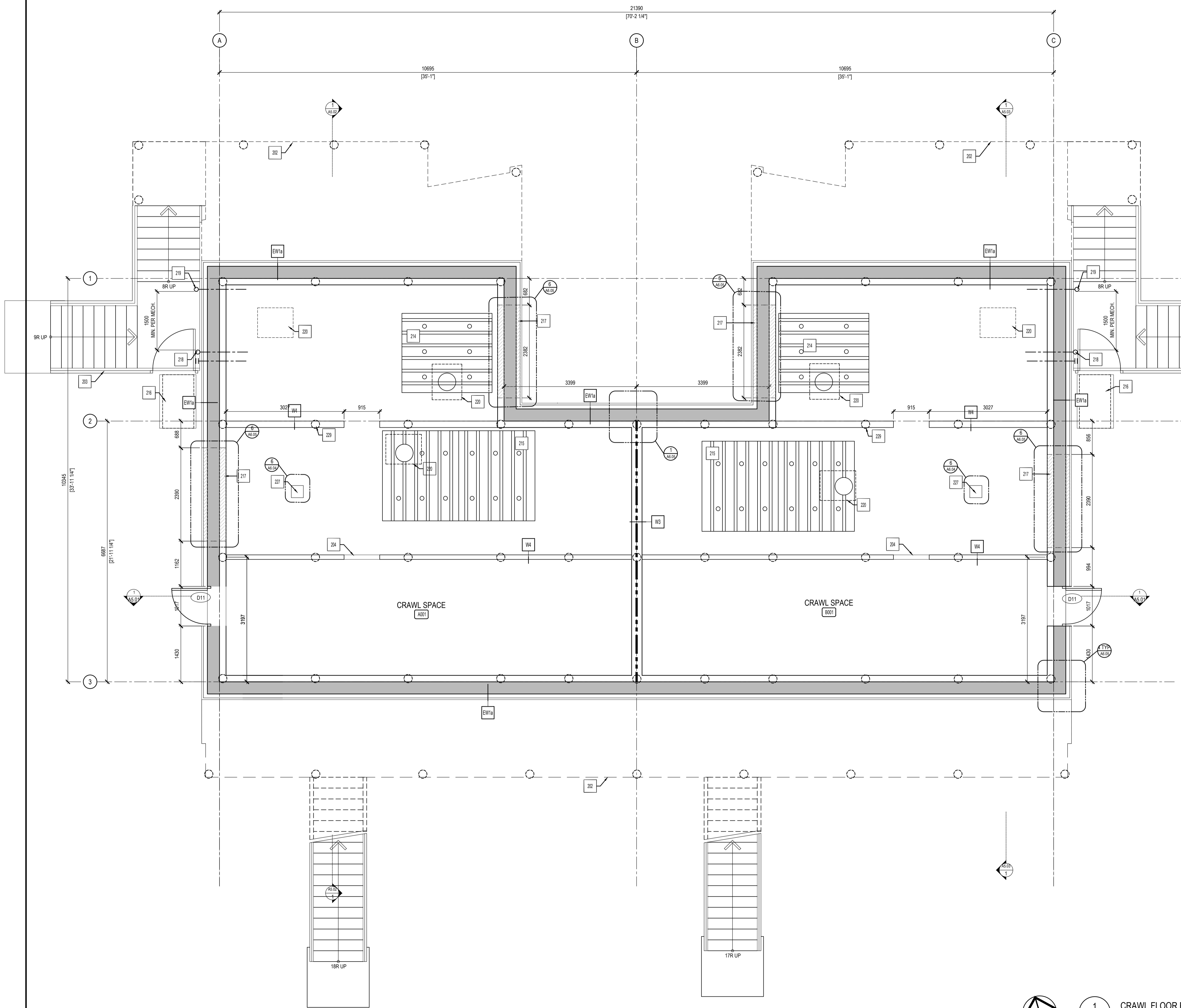
Approved by: _____ Approuvé par

PWSC Project Manager: _____ Administrateur de Projets TPSGC

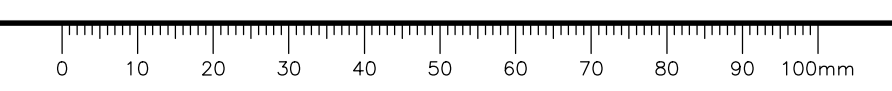
Drawing title: **CRAWL SPACE FLOOR PLAN** Titre du dessin

Project no./No. du projet: _____ Drawing no./No. du dessin: **A2.01** Révision no.: **0**

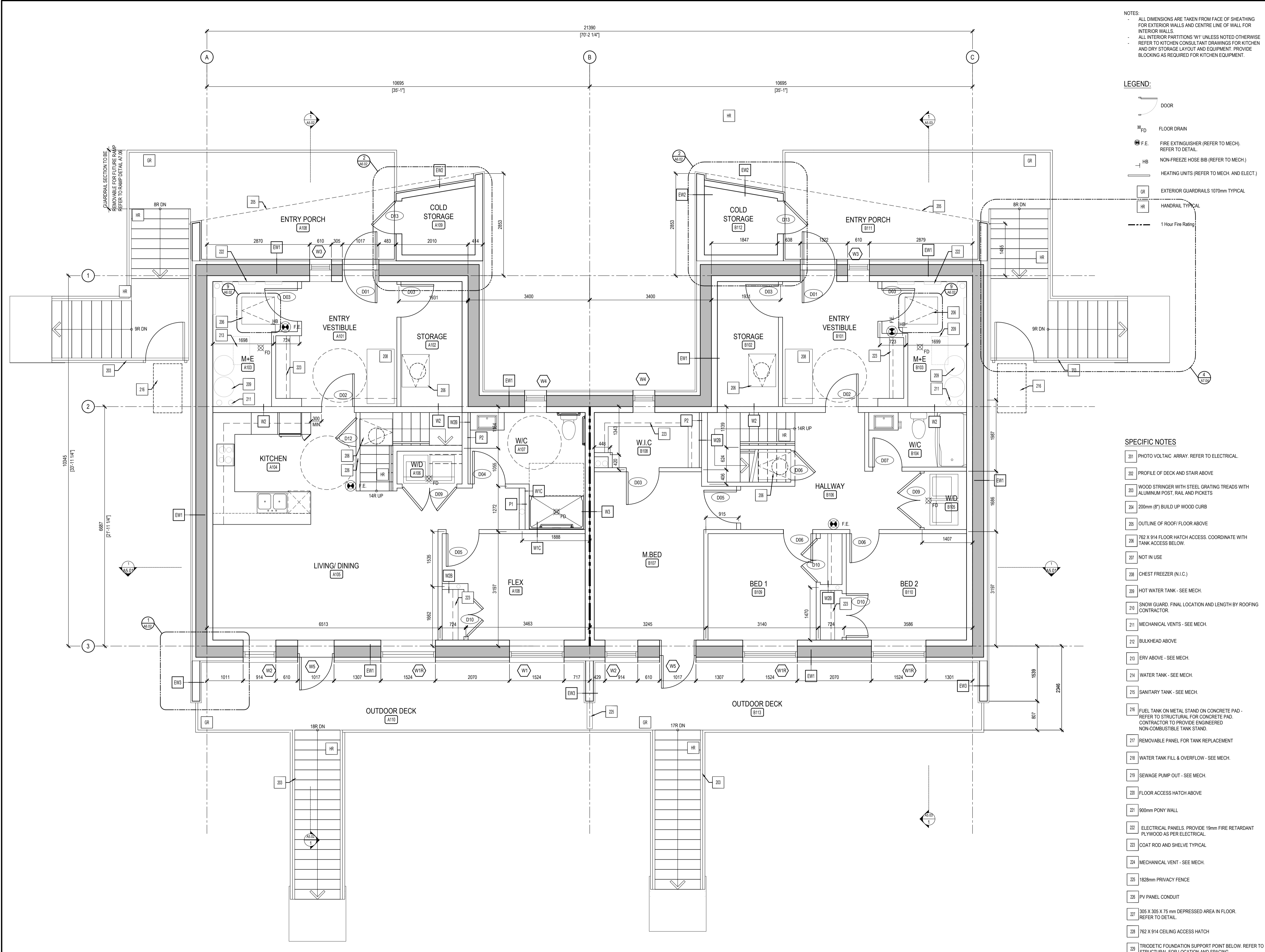
OF XX



1
A2.01 CRAWL FLOOR PLAN
SCALE: 1:50



PRELIMINARY
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- NOTES:**
- ALL DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE LINE OF WALL FOR INTERIOR WALLS.
 - ALL INTERIOR PARTITIONS "W" UNLESS NOTED OTHERWISE REFER TO KITCHEN CONSULTANT DRAWINGS FOR KITCHEN AND DRY STORAGE LAYOUT AND EQUIPMENT. PROVIDE BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT.
- LEGEND:**
- DOOR
 - FLOOR DRAIN
 - FIRE EXTINGUISHER (REFER TO MECH.). REFER TO DETAIL.
 - NON-FREEZE HOSE BIB (REFER TO MECH.)
 - HEATING UNITS (REFER TO MECH. AND ELECT.)
 - EXTERIOR GUARDRAILS 1070mm TYPICAL
 - HANDRAIL TYPICAL
 - 1 Hour Fire Rating

- SPECIFIC NOTES**
- PHOTO VOLTAC ARRAY. REFER TO ELECTRICAL.
 - PROFILE OF DECK AND STAIR ABOVE
 - WOOD STRINGER WITH STEEL GRATING TREADS WITH ALUMINUM POST, RAIL AND PICKETS
 - 200mm (8") BUILT UP WOOD CURB
 - OUTLINE OF ROOF/FLOOR ABOVE
 - 762 X 914 FLOOR HATCH ACCESS. COORDINATE WITH TANK ACCESS BELOW.
 - NOT IN USE
 - CHEST FREEZER (N.I.C.)
 - HOT WATER TANK - SEE MECH.
 - SNOW GUARD. FINAL LOCATION AND LENGTH BY ROOFING CONTRACTOR.
 - MECHANICAL VENTS - SEE MECH.
 - BULKHEAD ABOVE
 - ERV ABOVE - SEE MECH.
 - WATER TANK - SEE MECH.
 - SANITARY TANK - SEE MECH.
 - FUEL TANK ON METAL STAND ON CONCRETE PAD - REFER TO STRUCTURAL FOR CONCRETE PAD. CONTRACTOR TO PROVIDE ENGINEERED NON-COMBUSTIBLE TANK STAND.
 - REMOVABLE PANEL FOR TANK REPLACEMENT
 - WATER TANK FILL & OVERFLOW - SEE MECH.
 - SEWAGE PUMP OUT - SEE MECH.
 - FLOOR ACCESS HATCH ABOVE
 - 900mm PONY WALL
 - ELECTRICAL PANELS. PROVIDE 19mm FIRE RETARDANT PLYWOOD AS PER ELECTRICAL.
 - COAT ROD AND SHELVE TYPICAL
 - MECHANICAL VENT - SEE MECH.
 - 1828mm PRIVACY FENCE
 - PV PANEL CONDUIT
 - 305 X 305 X 75 mm DEPRESSED AREA IN FLOOR. REFER TO DETAIL.
 - 762 X 914 CEILING ACCESS HATCH
 - TRIODETIC FOUNDATION SUPPORT POINT BELOW. REFER TO STRUCTURAL FOR LOCATION AND SPACINGS.

5		
4		
2022/01/28		
2		ISSUED FOR TENDERS
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10
Revision	Description	Date

Client: **PARKS CANADA AGENCY**

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**

Drawn by: **SC**

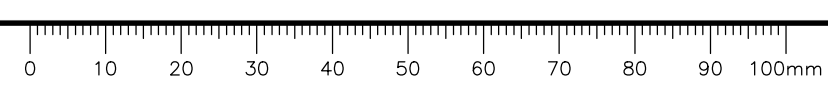
Approved by:

Project no./No. du projet: **A2.02**

Drawing no./No. du dessin: **0**

Revision no.: **OF XX**

1 GROUND FLOOR PLAN
SCALE 1:50



PRELIMINARY
NOT FOR CONSTRUCTION

- NOTES:**
- ALL DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE LINE OF WALL FOR INTERIOR WALLS.
 - ALL INTERIOR PARTITIONS "W1" UNLESS NOTED OTHERWISE. REFER TO KITCHEN CONSULTANT DRAWINGS FOR KITCHEN AND DRY STORAGE LAYOUT AND EQUIPMENT. PROVIDE BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT.
- LEGEND:**
- DOOR
 - FLOOR DRAIN
 - F.E. FIRE EXTINGUISHER (REFER TO MECH.). REFER TO DETAIL.
 - HB NON-FREEZE HOSE BIB (REFER TO MECH.)
 - HEATING UNITS (REFER TO MECH. AND ELECT.)
 - GR EXTERIOR GUARDRAILS 1070mm TYPICAL
 - HR HANDRAIL TYPICAL
 - 1 Hour Fire Rating

- SPECIFIC NOTES**
- 201 PHOTO VOLTIC ARRAY. REFER TO ELECTRICAL.
 - 202 PROFILE OF DECK AND STAIR ABOVE
 - 203 WOOD STRINGER WITH STEEL GRATING TREADS WITH ALUMINUM POST, RAIL AND PICKETS
 - 204 200mm (8") BUILD UP WOOD CURB
 - 205 OUTLINE OF ROOF/FLOOR ABOVE
 - 206 762 X 914 FLOOR HATCH ACCESS. COORDINATE WITH TANK ACCESS BELOW.
 - 207 NOT IN USE
 - 208 CHEST FREEZER (N.I.C.)
 - 209 HOT WATER TANK - SEE MECH.
 - 210 SNOW GUARD. FINAL LOCATION AND LENGTH BY ROOFING CONTRACTOR.
 - 211 MECHANICAL VENTS - SEE MECH.
 - 212 BULKHEAD ABOVE
 - 213 ERV ABOVE - SEE MECH.
 - 214 WATER TANK - SEE MECH.
 - 215 SANITARY TANK - SEE MECH.
 - 216 FUEL TANK ON METAL STAND ON CONCRETE PAD - REFER TO STRUCTURAL FOR CONCRETE PAD. CONTRACTOR TO PROVIDE ENGINEERED NON-COMBUSTIBLE TANK STAND.
 - 217 REMOVABLE PANEL FOR TANK REPLACEMENT
 - 218 WATER TANK FILL & OVERFLOW - SEE MECH.
 - 219 SEWAGE PUMP OUT - SEE MECH.
 - 220 FLOOR ACCESS HATCH ABOVE
 - 221 900mm PONY WALL
 - 222 ELECTRICAL PANELS. PROVIDE 19mm FIRE RETARDANT PLYWOOD AS PER ELECTRICAL.
 - 223 COAT ROD AND SHELVES TYPICAL
 - 224 MECHANICAL VENT - SEE MECH.
 - 225 1828mm PRIVACY FENCE
 - 226 PV PANEL CONDUIT
 - 227 305 X 305 X 75 mm DEPRESSED AREA IN FLOOR. REFER TO DETAIL.
 - 228 762 X 914 CEILING ACCESS HATCH
 - 229 TRODEGIC FOUNDATION SUPPORT POINT BELOW. REFER TO STRUCTURAL FOR LOCATION AND SPACINGS.

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/1/28
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10

Client: **PARKS CANADA AGENCY**

Project title: **GREENING NORTHERN HOUSING - POND INLET**

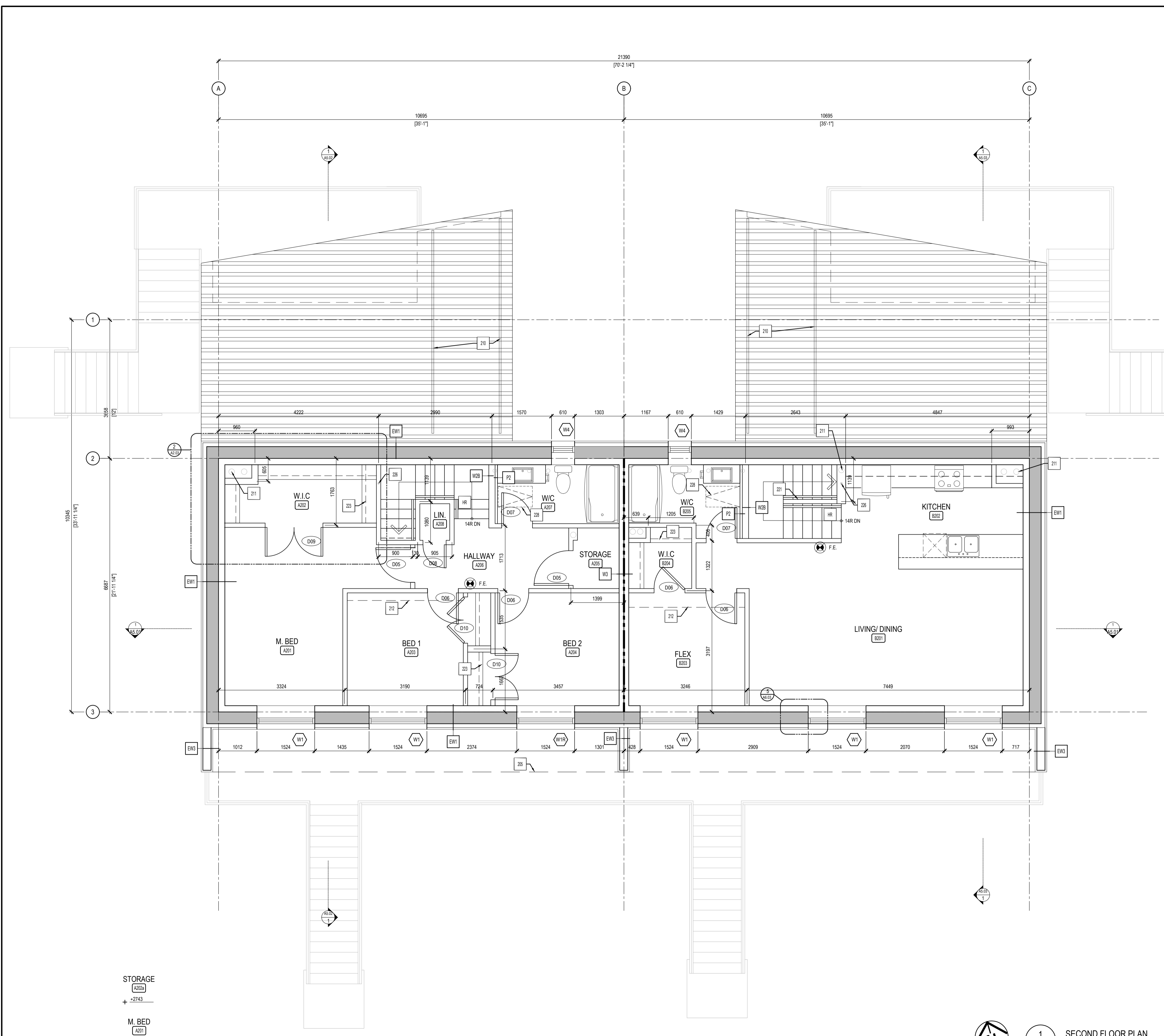
Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**

Drawn by: **SC**

Approved by: **PWGSC Project Manager**

Drawing title: **SECOND FLOOR PLAN**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A2.03	0



STORAGE
A202a
+2745

M. BED
A201

2 FLOOR PLAN - STORAGE ABOVE A202a
A2.03 SCALE 1:50

1 SECOND FLOOR PLAN
A2.03 SCALE 1:50

PRELIMINARY
NOT FOR CONSTRUCTION

NOTES:
- ALL DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE LINE OF WALL FOR INTERIOR WALLS.
- ALL INTERIOR PARTITIONS "W" UNLESS NOTED OTHERWISE REFER TO KITCHEN CONSULTANT DRAWINGS FOR KITCHEN AND DRY STORAGE LAYOUT AND EQUIPMENT. PROVIDE BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT.

- LEGEND:**
- DOOR
 - FLOOR DRAIN
 - F.E. FIRE EXTINGUISHER (REFER TO MECH. REFER TO DETAIL.)
 - HB NON-FREEZE HOSE BIB (REFER TO MECH.)
 - HEATING UNITS (REFER TO MECH. AND ELECT.)
 - GR EXTERIOR GUARDRAILS 1070mm TYPICAL
 - HR HANDRAIL TYPICAL
 - 1 Hour Fire Rating

- SPECIFIC NOTES**
- 201 PHOTO VOLTAIC ARRAY. REFER TO ELECTRICAL.
 - 202 PROFILE OF DECK AND STAIR ABOVE
 - 203 WOOD STRINGER WITH STEEL GRATING TREADS WITH ALUMINUM POST, RAIL AND PICKETS
 - 204 200mm (8") BUILD UP WOOD CURB
 - 205 OUTLINE OF ROOF/FLOOR ABOVE
 - 206 762 X 914 FLOOR HATCH ACCESS. COORDINATE WITH TANK ACCESS BELOW.
 - 207 NOT IN USE
 - 208 CHEST FREEZER (N.I.C.)
 - 209 HOT WATER TANK - SEE MECH.
 - 210 SNOW GUARD. FINAL LOCATION AND LENGTH BY ROOFING CONTRACTOR.
 - 211 MECHANICAL VENTS - SEE MECH.
 - 212 BULKHEAD ABOVE
 - 213 ERV ABOVE - SEE MECH.
 - 214 WATER TANK - SEE MECH.
 - 215 SANITARY TANK - SEE MECH.
 - 216 FUEL TANK ON METAL STAND ON CONCRETE PAD - REFER TO STRUCTURAL FOR CONCRETE PAD. CONTRACTOR TO PROVIDE ENGINEERED NON-COMBUSTIBLE TANK STAND.
 - 217 REMOVABLE PANEL FOR TANK REPLACEMENT
 - 218 WATER TANK FILL & OVERFLOW - SEE MECH.
 - 219 SEWAGE PUMP OUT - SEE MECH.
 - 220 FLOOR ACCESS HATCH ABOVE
 - 221 900mm PONY WALL
 - 222 ELECTRICAL PANELS. PROVIDE 19mm FIRE RETARDANT PLYWOOD AS PER ELECTRICAL.
 - 223 COAT ROD AND SHELVES TYPICAL
 - 224 MECHANICAL VENT - SEE MECH.
 - 225 1828mm PRIVACY FENCE
 - 226 PV PANEL CONDUIT
 - 227 305 X 305 X 75 mm DEPRESSED AREA IN FLOOR. REFER TO DETAIL.
 - 228 762 X 914 CEILING ACCESS HATCH
 - 229 TRIODETIC FOUNDATION SUPPORT POINT BELOW. REFER TO STRUCTURAL FOR LOCATION AND SPACING.

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/1/28
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10

Client: **PARKS CANADA AGENCY**

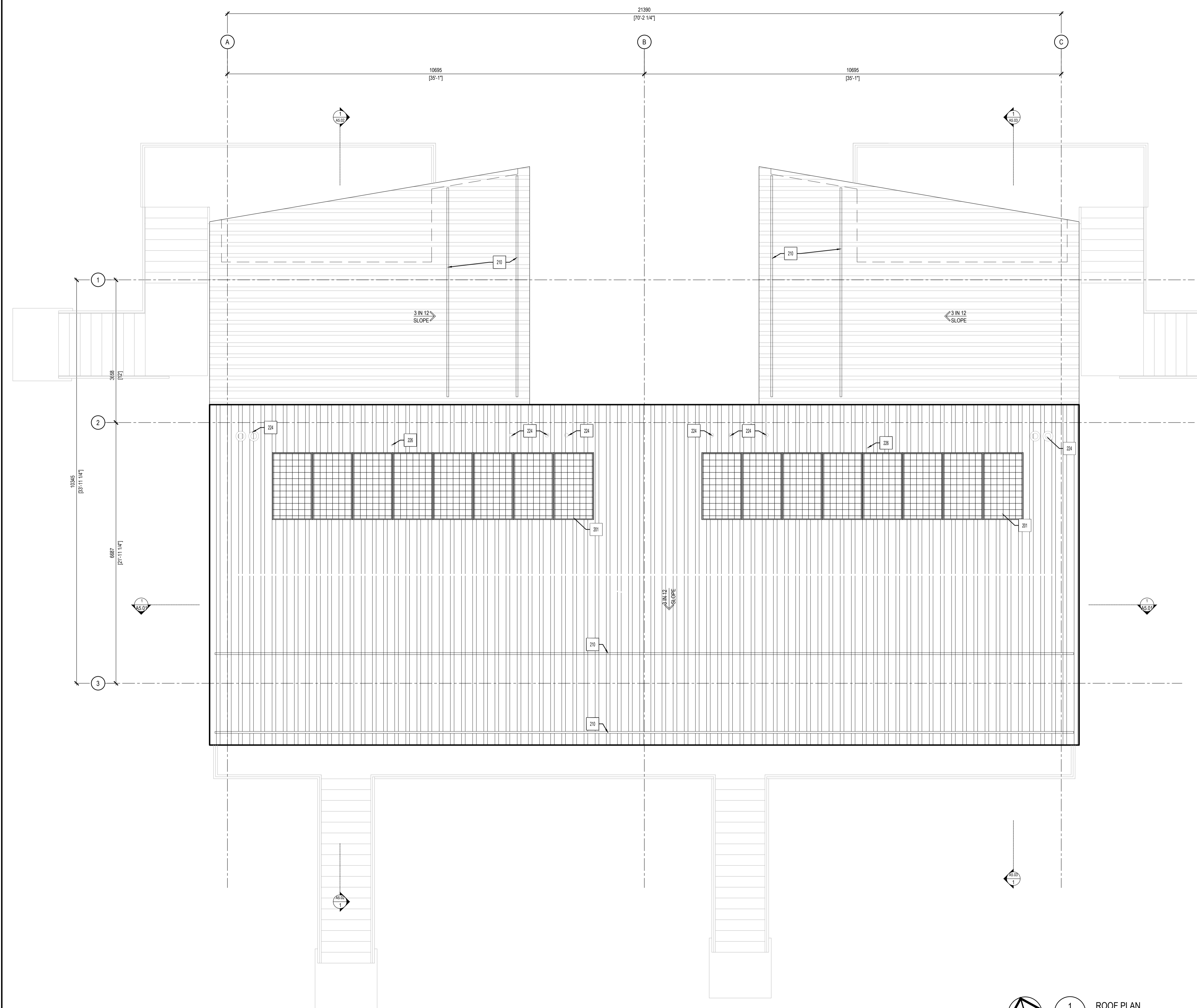
Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**
 Drawn by: **SC**
 Approved by:

PWGSC Project Manager / Administrateur de Projets TPSGC

Drawing title: **ROOF PLAN**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A2.04	0
	OF XX	

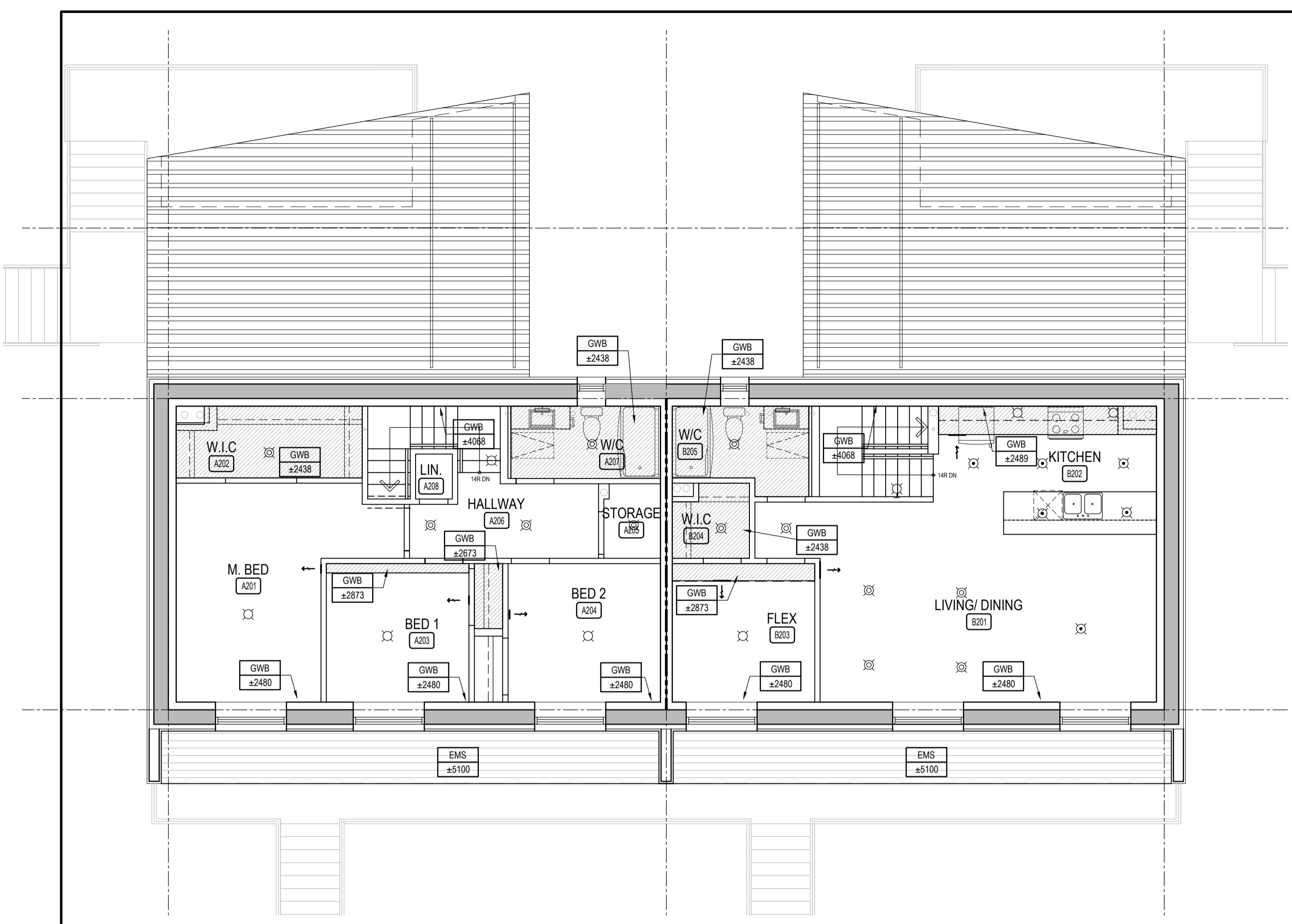


1 ROOF PLAN
A2.04 SCALE 1:50

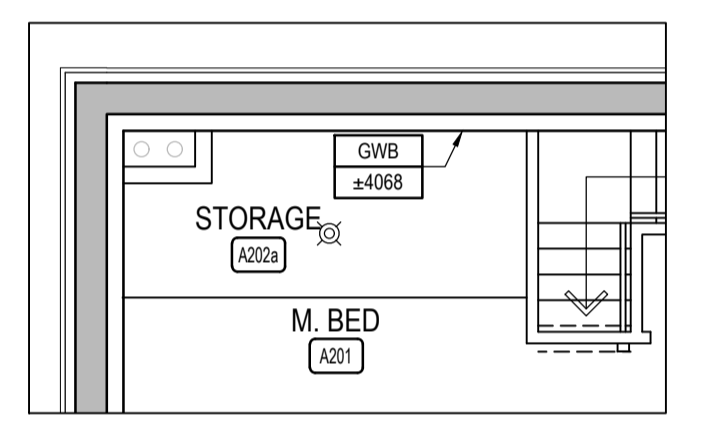
PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

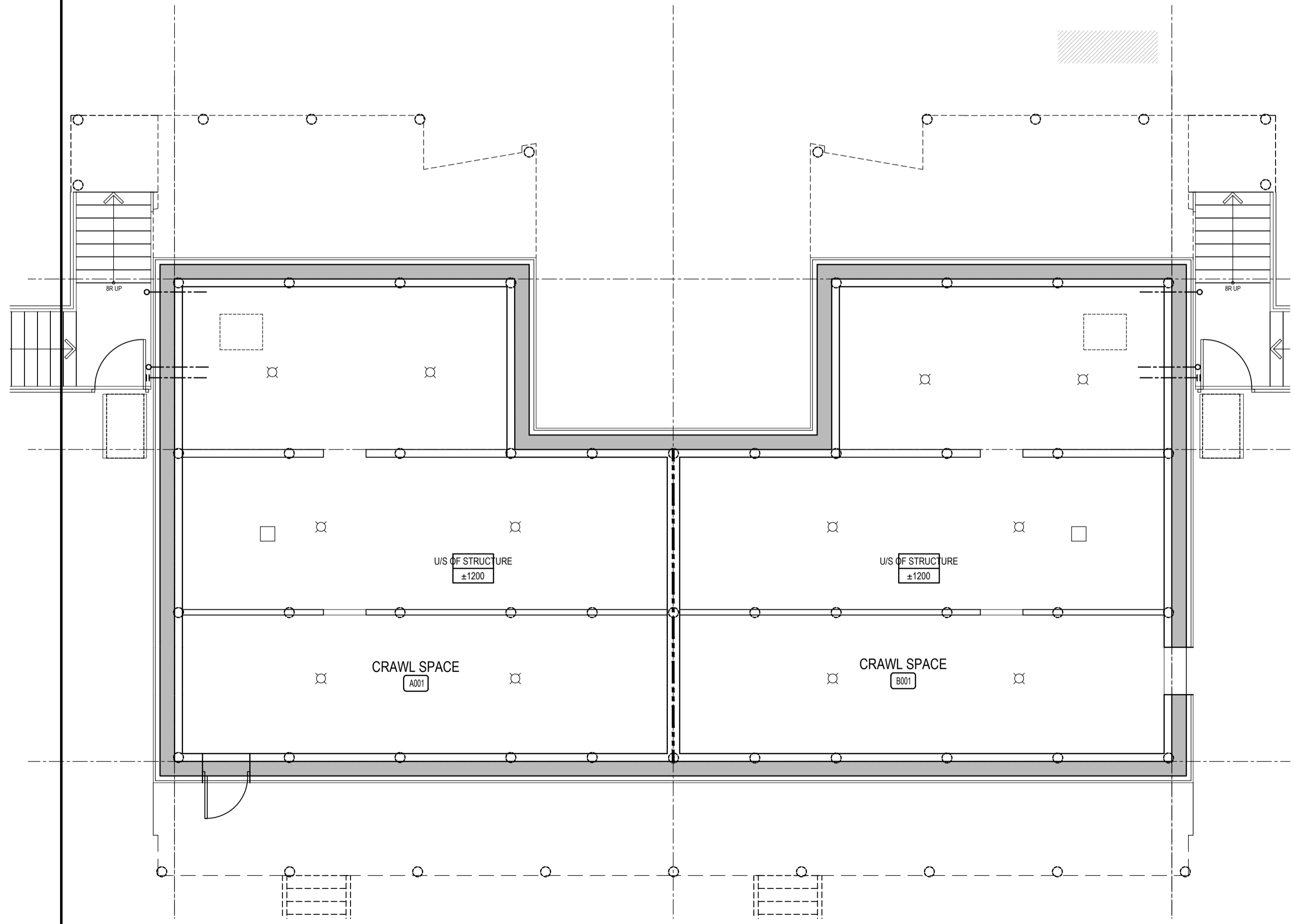
- (GWB) - DROP CEILING WITH PAINTED GYPSUM WALL BOARD
- (EMS) - EXTERIOR METAL SOFFIT
- CMAT CLGHT CEILING MATERIAL AND HEIGHT
- LIGHTING SYMBOLS (REFER TO ELECTRICAL)



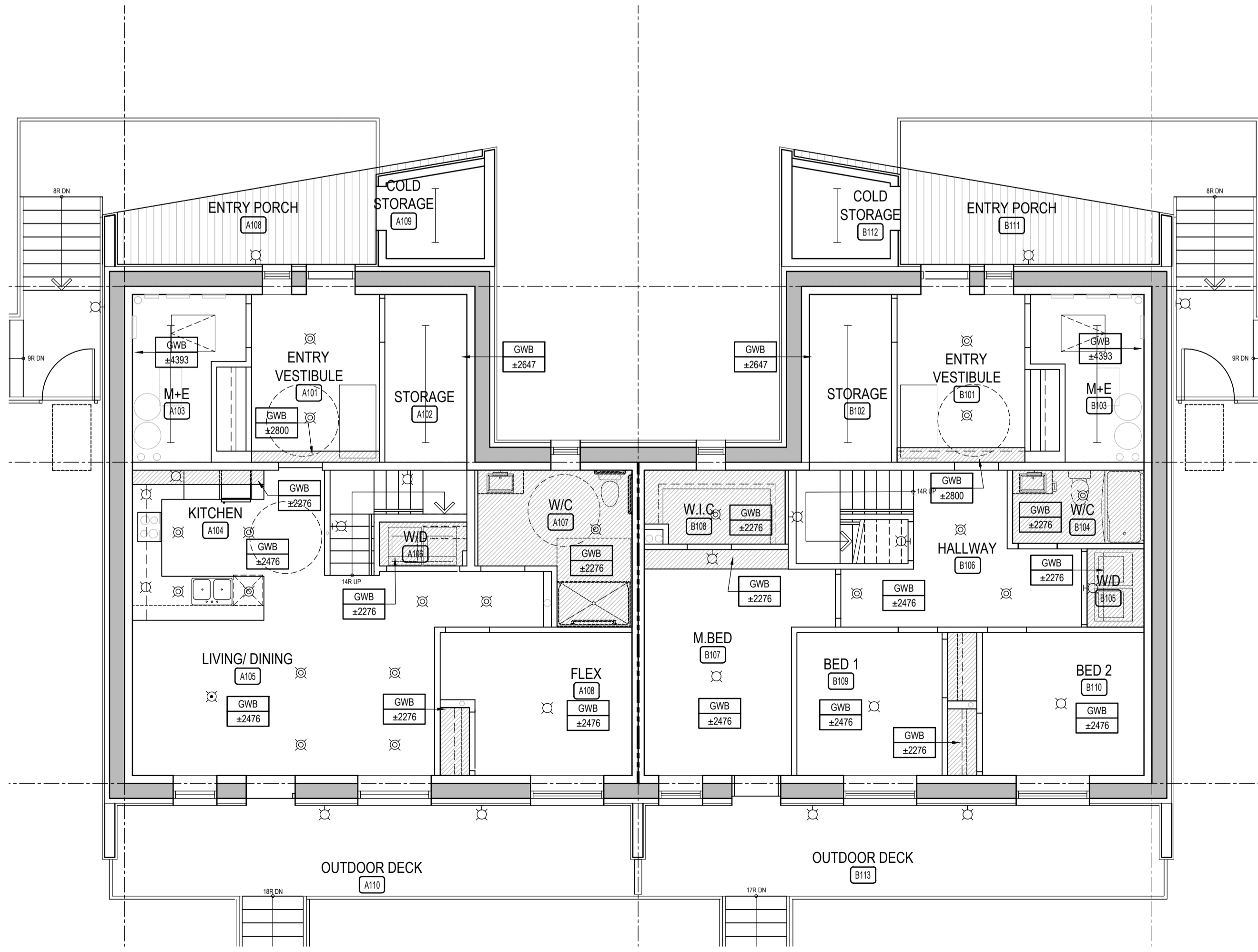
3 SECOND FLOOR REFLECTED CEILING PLAN
A3.01 SCALE 1:75



4 A202a STORAGE REFLECTED CEILING PLAN
A3.01 SCALE 1:75



1 CRAWL SPACE REFLECTED CEILING PLAN
A3.01 SCALE 1:75



2 GROUND FLOOR REFLECTED CEILING PLAN
A3.01 SCALE 1:75

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/12/08
1	90% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/06/10

Client: Parks Canada Agency

Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: kza
Drawn by: sc
Approved by: Andrew Oosting

Project no./No. du projet: A3.01
Drawing no./No. du dessin: OF XX
Revision no.: 0

PRELIMINARY
NOT FOR CONSTRUCTION

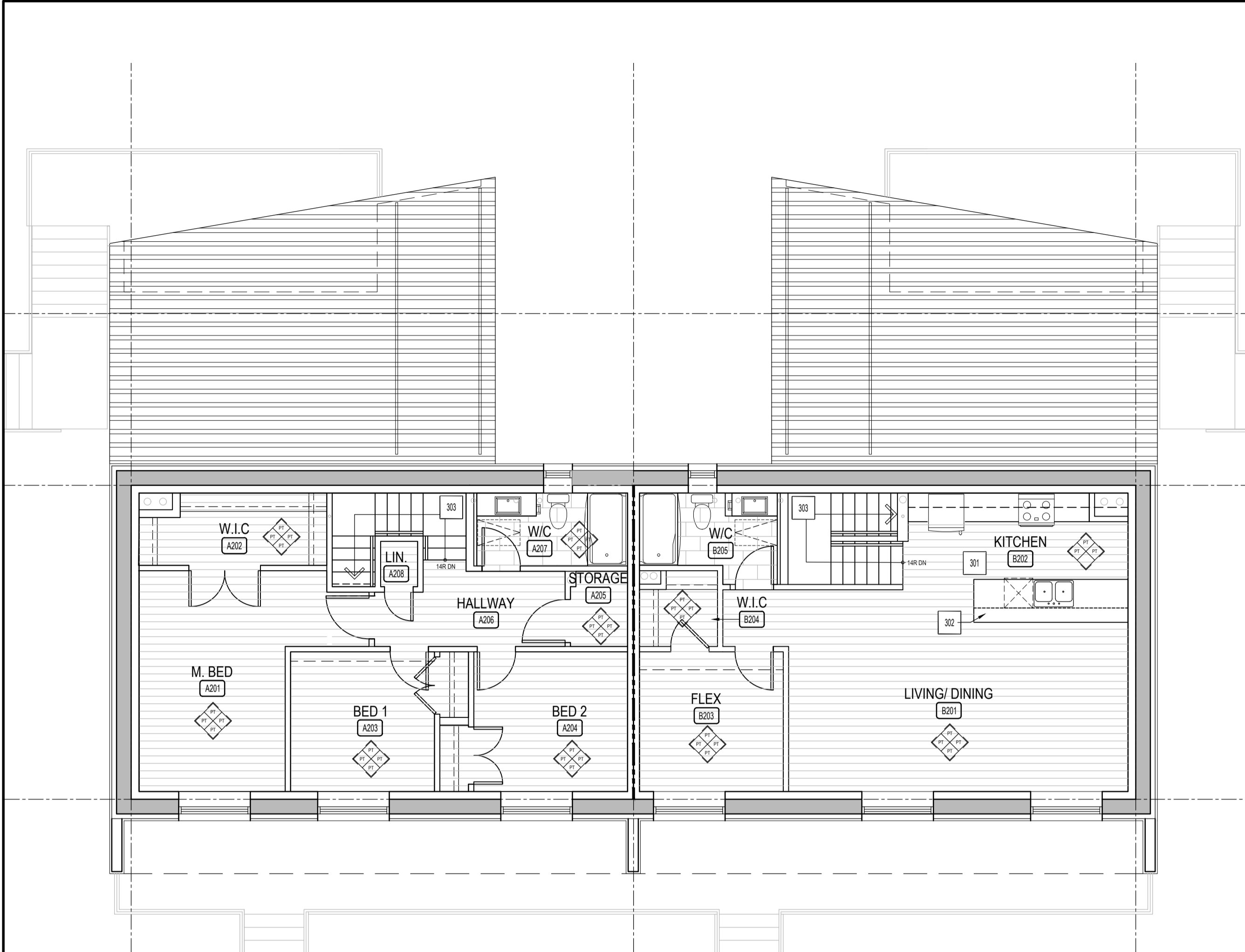
LEGEND

- LUXURY VINYL TILE TYPE 1
WALL BASE: WOOD COVERED BASE
- LUXURY VINYL TILE TYPE 2
WALL BASE: WOOD COVERED BASE
- SELF-ADHERED PVC
- SELF-ADHERED WATERPROOFING MEMBRANE
- COMPOSITE WOOD DECK
- PLYWOOD

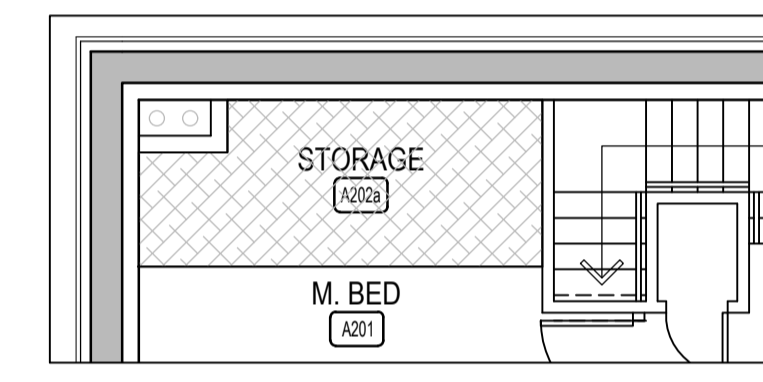
WALL FINISH CODE
PT - PAINTED 'GWB'

SPECIFIC NOTES

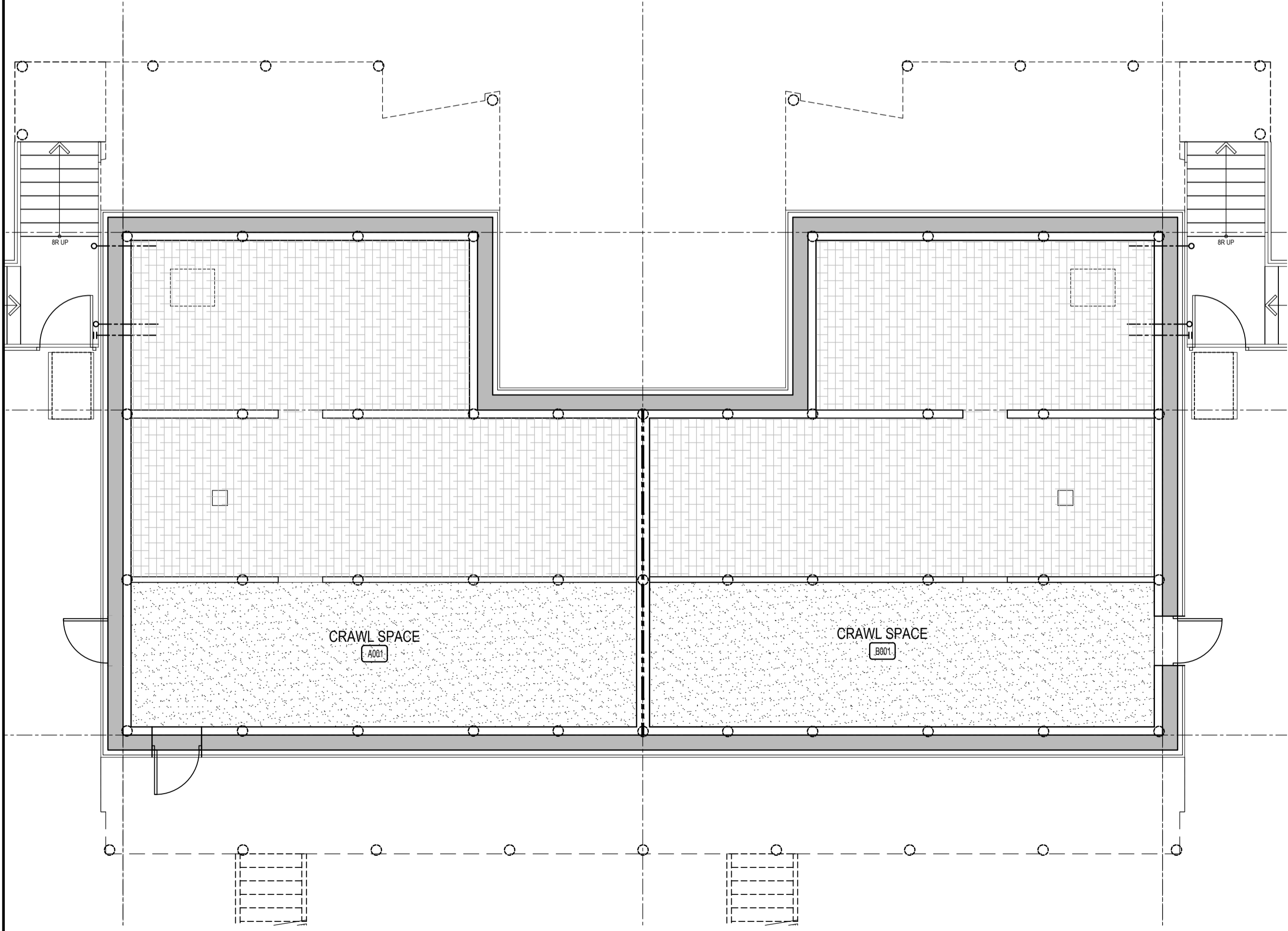
- 301 FLOOR FINISH TO EXTEND UNDER APPLIANCES (FRIDGE, DISHWASHER AND STOVE).
- 302 FLOOR FINISH TO EXTEND UNDER COUNTER OVERHANG.
- 303 STAIR FLOOR FINISH TO BE LVT TYPE 1



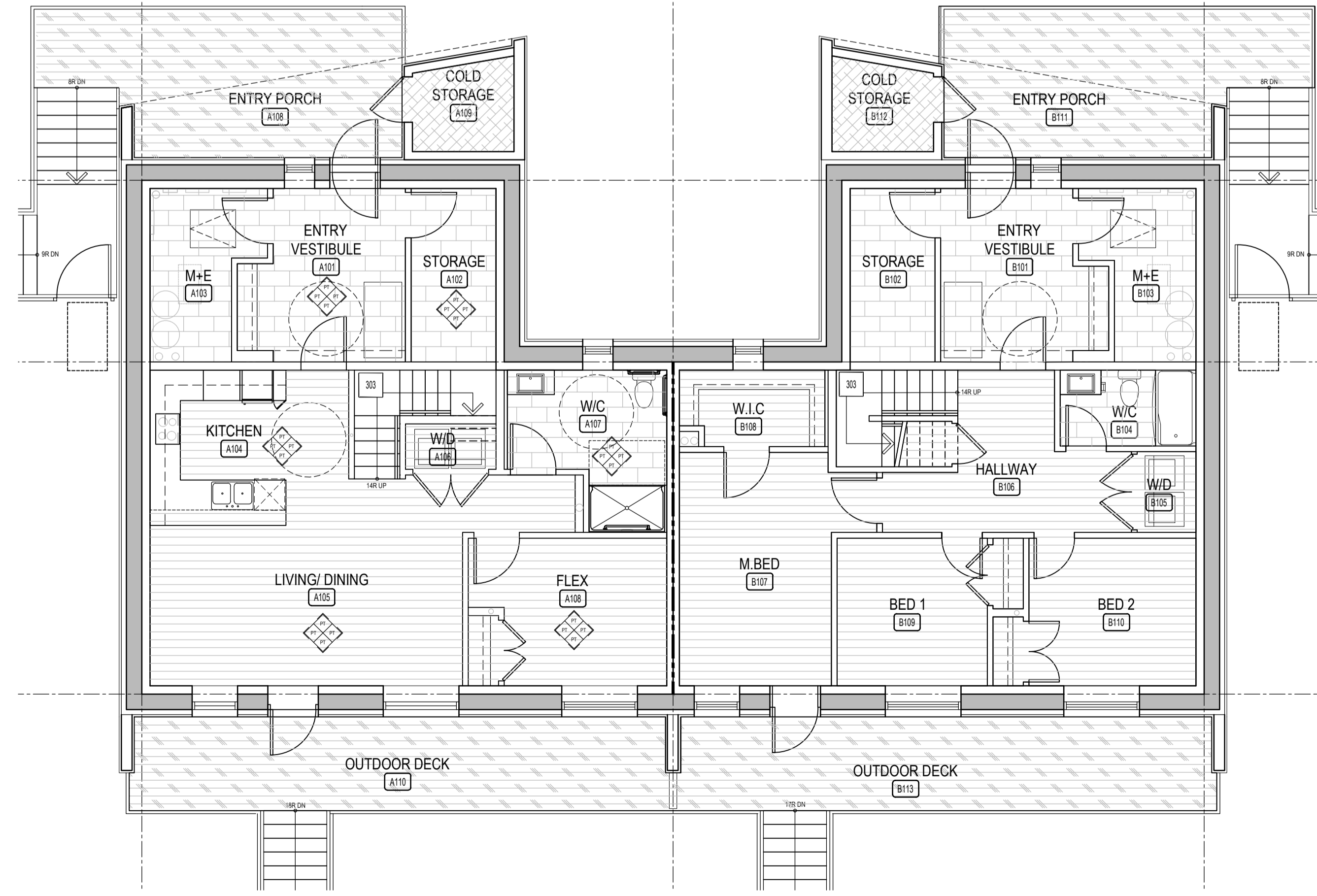
3 SECOND FLOOR
A3.02 SCALE 1:75



4 A202a STORAGE FINISH PLAN
A3.02 SCALE 1:75



1 CRAWL SPACE
A3.02 SCALE 1:75



2 GROUND FLOOR
A3.02 SCALE 1:75

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/1/28
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10

Client: Parks Canada Agency

Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: kza

Drawn by: sc

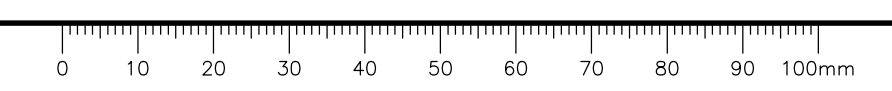
Approved by: Andrew Oosting

PWSSC Project Manager / Administrateur de Projets TPSSC

Drawing title: FLOOR FINISH PLANS

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A3.02	0

OF XX



PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

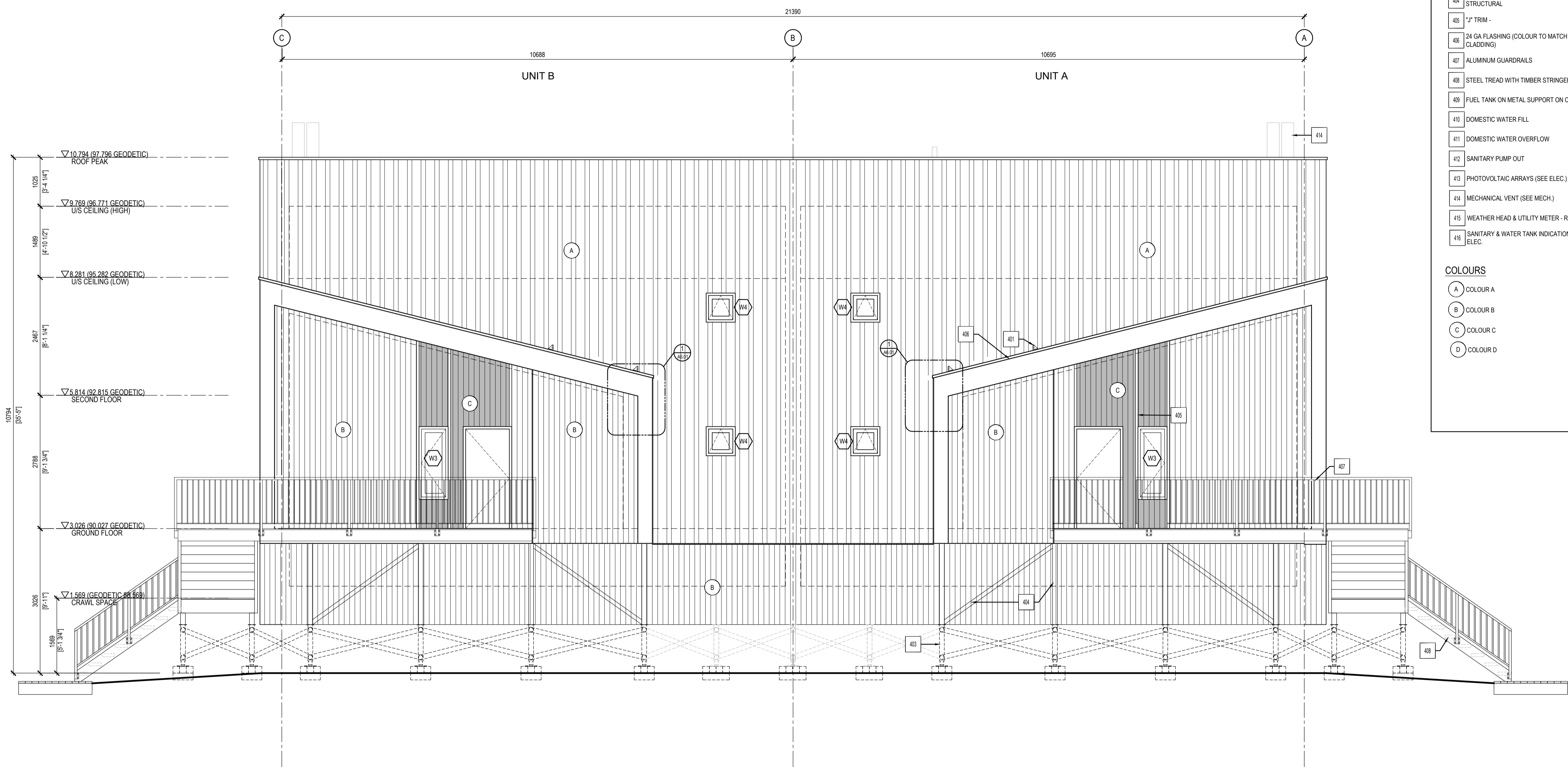
- EXTERIOR FINISH TYPE 1: STANDING SEAM METAL ROOFING & CLADDING
- EXTERIOR FINISH TYPE 2: CORRUGATED METAL SIDING
- EXTERIOR FINISH TYPE 3: CORRUGATED METAL CLADDING (COLOURED)
- EXTERIOR FINISH TYPE 4: WOOD GRAINED METAL SIDING
- DOWNSPOUTS (HEAT TRACED)

SPECIFIC NOTES

- 401 SNOW GUARDS
- 402 NOT IN USE
- 403 STEEL MULTI-POINT STRUCTURAL FRAMING (REFER TO STRUCTURAL DRAWINGS)
- 404 STEEL SUPPORT & BRACING. REFER TO STRUCTURAL
- 405 "J" TRIM
- 406 24 GA FLASHING (COLOUR TO MATCH ADJACENT CLADDING)
- 407 ALUMINUM GUARDRAILS
- 408 STEEL TREAD WITH TIMBER STRINGER
- 409 FUEL TANK ON METAL SUPPORT ON CONCRETE PAD.
- 410 DOMESTIC WATER FILL
- 411 DOMESTIC WATER OVERFLOW
- 412 SANITARY PUMP OUT
- 413 PHOTOVOLTAIC ARRAYS (SEE ELEC.)
- 414 MECHANICAL VENT (SEE MECH.)
- 415 WEATHER HEAD & UTILITY METER - REFER TO ELEC.
- 416 SANITARY & WATER TANK INDICATION LIGHTS - REFER TO ELEC.

COLOURS

- A COLOUR A
- B COLOUR B
- C COLOUR C
- D COLOUR D



SPATIAL CALCULATION:
 WINDOW AREA: 7.67 m²
 EXPOSED BUILDING FACE: 170 m²
 ACTUAL LIMITING DISTANCE: 8m
 LIMITING DISTANCE USED FOR NON-SPRINKLER BUILDING: 4m
 % OF EXPOSING BUILDING FACE ALLOWED: 12%
 % OF EXPOSING BUILDING FACE PROVIDED: 4.5%

1 NORTH ELEVATION
 A4.01 SCALE 1:50

5		
4		
3		
2	ISSUED FOR TENDER	20220128
1	99% CD SUBMISSION	20211217
0	60% CD SUBMISSION	20210910
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title / Projet

GREENING NORTHERN HOUSING - POND INLET

Designed by / Conçu par

KOBAYASHI + ZEDDA ARCHITECTS LTD.

Drawn by / Dessiné par
SC

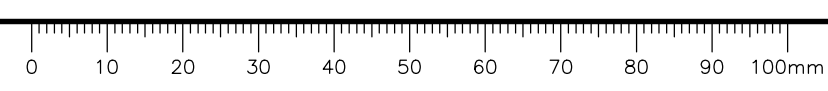
Approved by / Approuvé par

PWGSC Project Manager / Administrateur de Projets TPSGC

Drawing title / Titre du dessin
NORTH ELEVATION

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
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A4.01
OF XX
0



PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

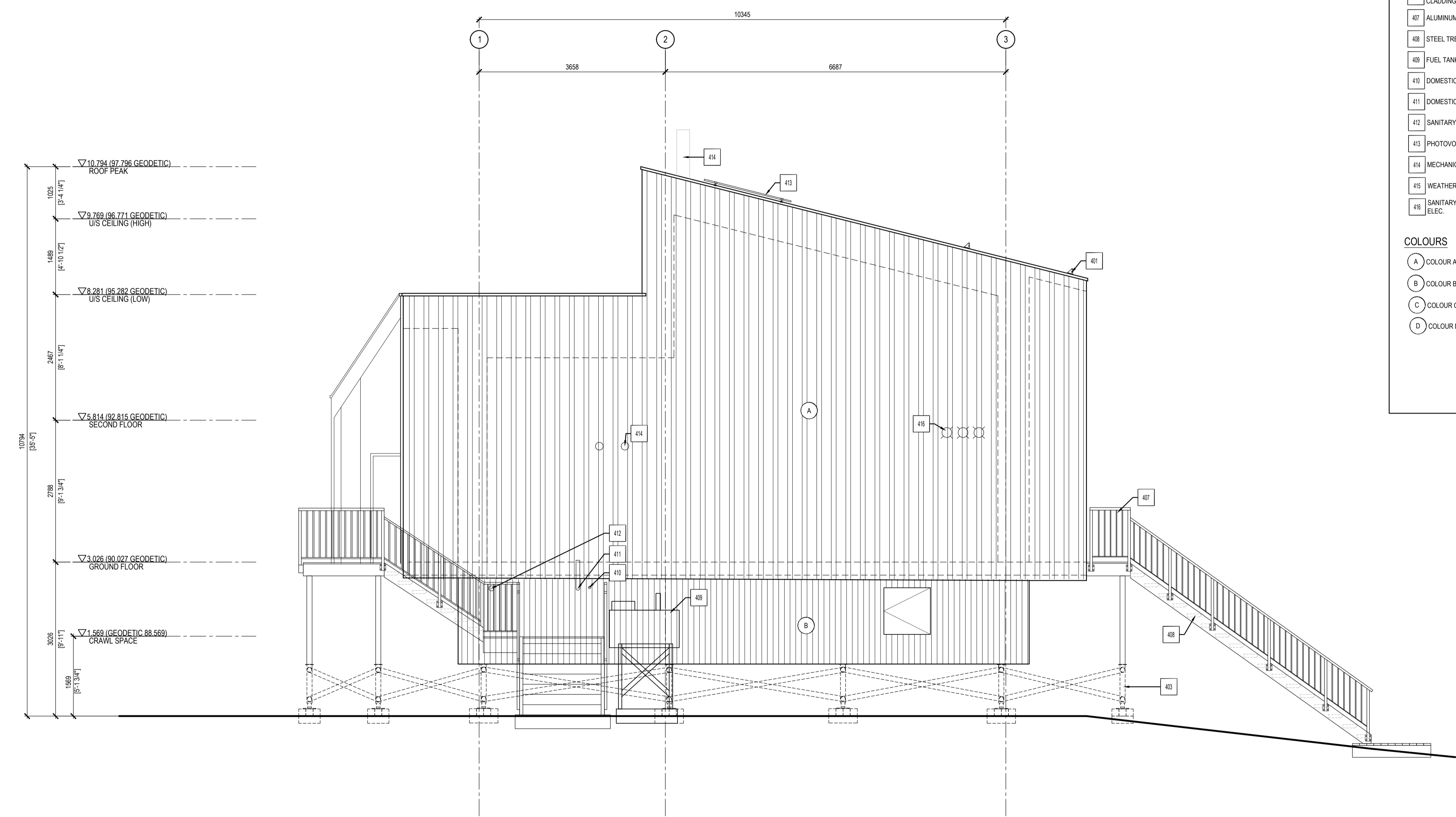
- EXTERIOR FINISH TYPE 1: STANDING SEAM METAL ROOFING & CLADDING
- EXTERIOR FINISH TYPE 2: CORRUGATED METAL SIDING
- EXTERIOR FINISH TYPE 3: CORRUGATED METAL CLADDING (COLOURED)
- EXTERIOR FINISH TYPE 4: WOOD GRAINED METAL SIDING
- DOWNSPOUTS (HEAT TRACED)

SPECIFIC NOTES

- 401 SNOW GUARDS
- 402 NOT IN USE
- 403 STEEL MULTI-POINT STRUCTURAL FRAMING (REFER TO STRUCTURAL DRAWINGS)
- 404 STEEL SUPPORT & BRACING. REFER TO STRUCTURAL
- 405 "J" TRIM
- 406 24 GA FLASHING (COLOUR TO MATCH ADJACENT CLADDING)
- 407 ALUMINUM GUARDRAILS
- 408 STEEL TREAD WITH TIMBER STRINGER
- 409 FUEL TANK ON METAL SUPPORT ON CONCRETE PAD.
- 410 DOMESTIC WATER FILL
- 411 DOMESTIC WATER OVERFLOW
- 412 SANITARY PUMP OUT
- 413 PHOTOVOLTAIC ARRAYS (SEE ELEC.)
- 414 MECHANICAL VENT (SEE MECH.)
- 415 WEATHER HEAD & UTILITY METER - REFER TO ELEC.
- 416 SANITARY & WATER TANK INDICATION LIGHTS - REFER TO ELEC.

COLOURS

- A COLOUR A
- B COLOUR B
- C COLOUR C
- D COLOUR D



SPATIAL CALCULATION:
 WINDOW AREA: 0.7 m²
 EXPOSED BUILDING FACE: 69.5 m²
 ACTUAL LIMITING DISTANCE: 16.7 m
 LIMITING DISTANCE USED FOR NON-SPRINKLER BUILDING: 8m
 % OF EXPOSING BUILDING FACE ALLOWED: 100%
 % OF EXPOSING BUILDING FACE PROVIDED: 1%

1 WEST ELEVATION
A4.02 SCALE 1:50

5		
4		
3		
2	ISSUED FOR TENDER	2022/1/28
1	99% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**
 Drawn by: **SC**
 Approved by:

PWOSC Project Manager / Administrateur de Projets TPSGC

Drawing title: **WEST ELEVATION**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A4.02	0
	OF XX	

PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

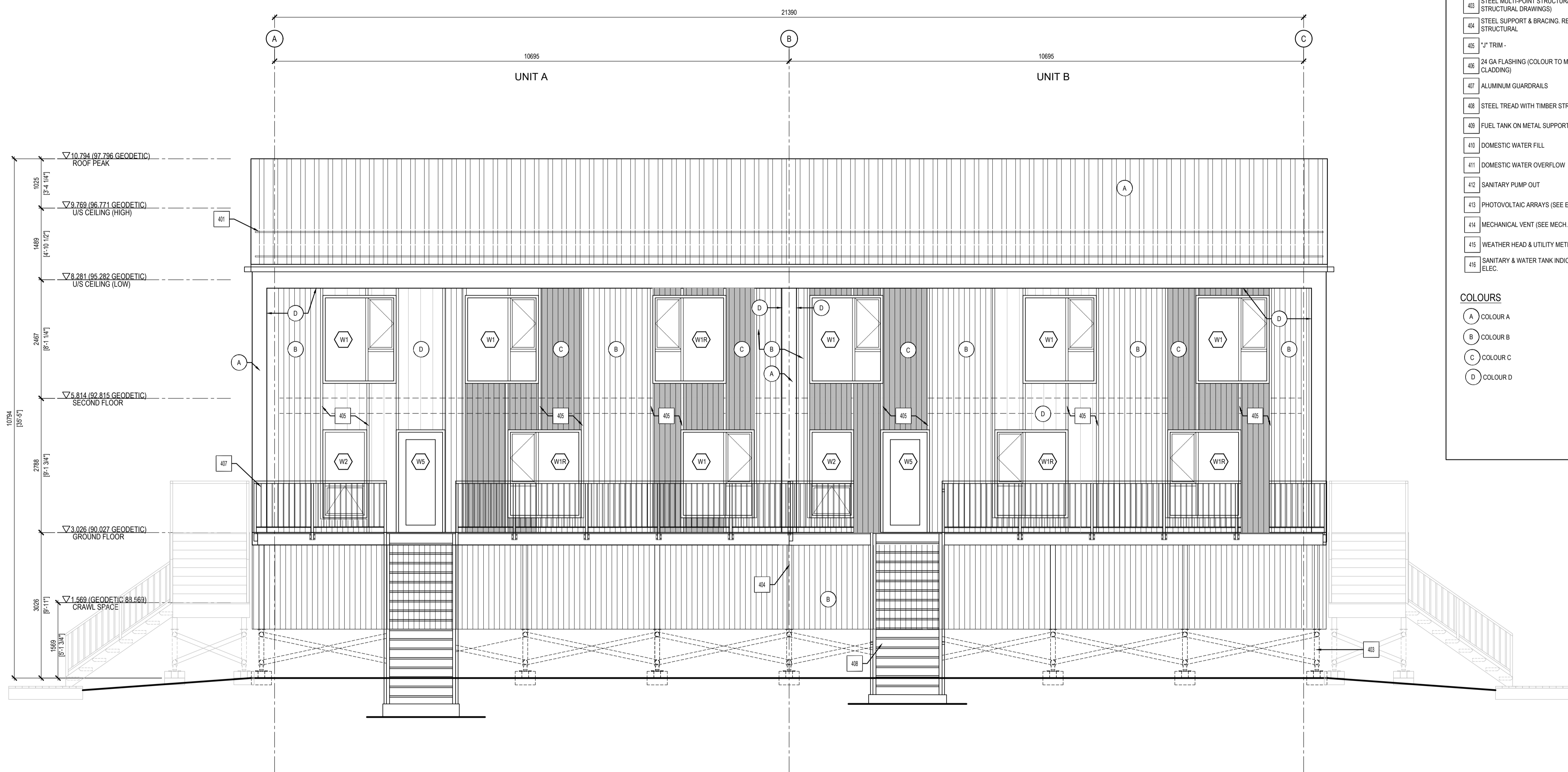
- EXTERIOR FINISH TYPE 1: STANDING SEAM METAL ROOFING & CLADDING
- EXTERIOR FINISH TYPE 2: CORRUGATED METAL SIDING
- EXTERIOR FINISH TYPE 3: CORRUGATED METAL CLADDING (COLOURED)
- EXTERIOR FINISH TYPE 4: WOOD GRAINED METAL SIDING
- DOWNSPOUTS (HEAT TRACED)

SPECIFIC NOTES

- 401 SNOW GUARDS
- 402 NOT IN USE
- 403 STEEL MULTI-POINT STRUCTURAL FRAMING (REFER TO STRUCTURAL DRAWINGS)
- 404 STEEL SUPPORT & BRACING. REFER TO STRUCTURAL
- 405 "J" TRIM
- 406 24 GA FLASHING (COLOUR TO MATCH ADJACENT CLADDING)
- 407 ALUMINUM GUARDRAILS
- 408 STEEL TREAD WITH TIMBER STRINGER
- 409 FUEL TANK ON METAL SUPPORT ON CONCRETE PAD.
- 410 DOMESTIC WATER FILL
- 411 DOMESTIC WATER OVERFLOW
- 412 SANITARY PUMP OUT
- 413 PHOTOVOLTAIC ARRAYS (SEE ELEC.)
- 414 MECHANICAL VENT (SEE MECH.)
- 415 WEATHER HEAD & UTILITY METER - REFER TO ELEC.
- 416 SANITARY & WATER TANK INDICATION LIGHTS - REFER TO ELEC.

COLOURS

- A COLOUR A
- B COLOUR B
- C COLOUR C
- D COLOUR D



SPATIAL CALCULATION:
 WINDOW AREA: 17.4 m²
 EXPOSED BUILDING FACE: 143 m²
 ACTUAL LIMITING DISTANCE: 18 m
 LIMITING DISTANCE USED FOR NON-SPRINKLER BUILDING: 9m
 % OF EXPOSING BUILDING FACE ALLOWED: 28%
 % OF EXPOSING BUILDING FACE PROVIDED: 12%

1 SOUTH ELEVATION
A4.03 SCALE 1:50

5		
4		
3		
2	ISSUED FOR TENDER	2022/10/28
1	99% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title Projet

GREENING NORTHERN HOUSING - POND INLET

Designed by Conçu par
KOBAYASHI + ZEDDA ARCHITECTS LTD.

Drawn by Dessiné par
SC

Approved by Approuvé par

PWSC Project Manager Administrateur de Projets TPSOC

Drawing title Titre du dessin

SOUTH ELEVATION

Project no./No. du projet Drawing no./No. du dessin Revision no.

A4.03
OF XX **0**

PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

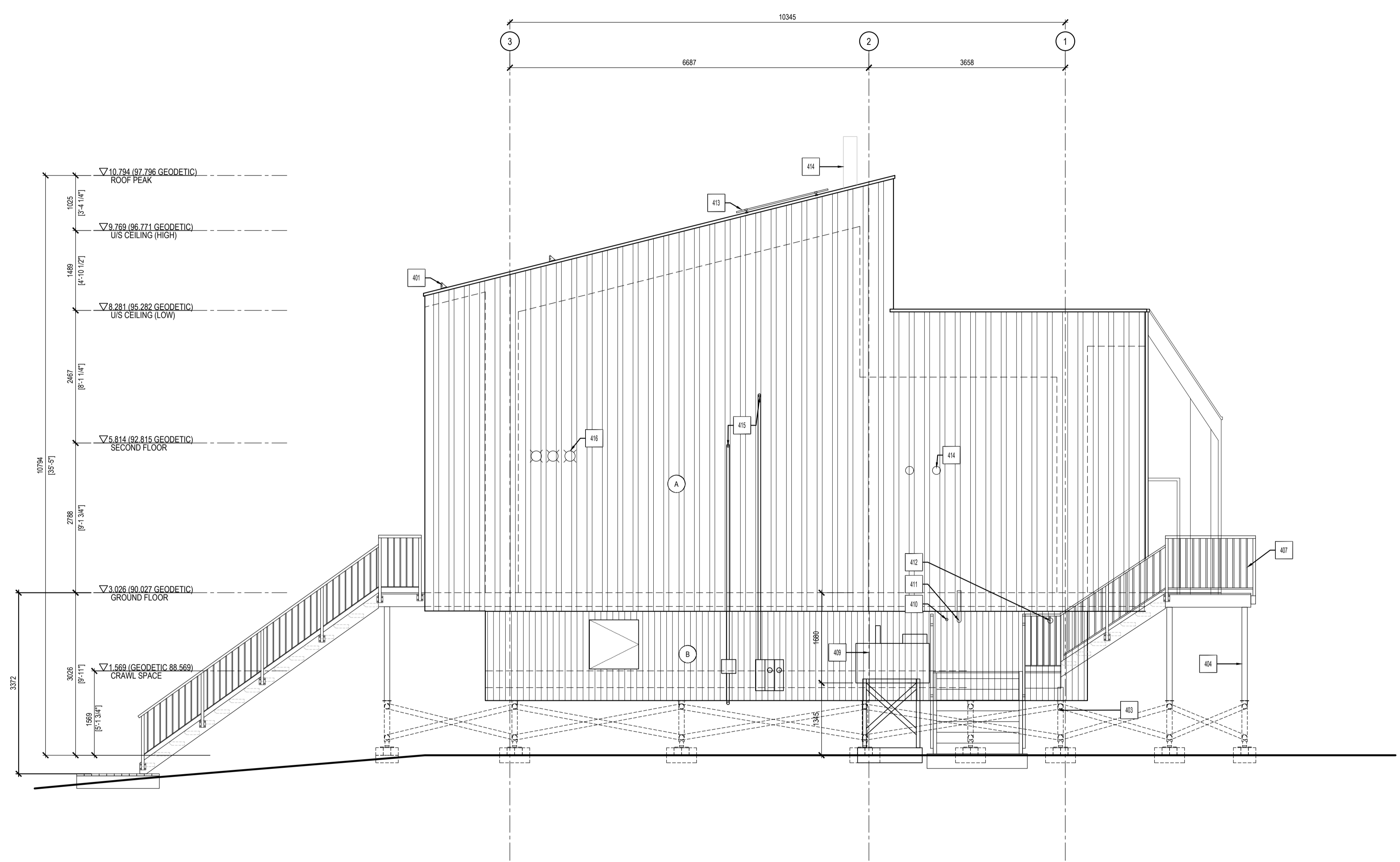
- EXTERIOR FINISH TYPE 1: STANDING SEAM METAL ROOFING & CLADDING
- EXTERIOR FINISH TYPE 2: CORRUGATED METAL SIDING
- EXTERIOR FINISH TYPE 3: CORRUGATED METAL CLADDING (COLOURED)
- EXTERIOR FINISH TYPE 4: WOOD GRAINED METAL SIDING
- DOWNSPOUTS (HEAT TRACED)

SPECIFIC NOTES

- 401 SNOW GUARDS
- 402 NOT IN USE
- 403 STEEL MULTI-POINT STRUCTURAL FRAMING (REFER TO STRUCTURAL DRAWINGS)
- 404 STEEL SUPPORT & BRACING. REFER TO STRUCTURAL
- 405 "J" TRIM
- 406 24 GA FLASHING (COLOUR TO MATCH ADJACENT CLADDING)
- 407 ALUMINUM GUARDRAILS
- 408 STEEL TREAD WITH TIMBER STRINGER
- 409 FUEL TANK ON METAL SUPPORT ON CONCRETE PAD.
- 410 DOMESTIC WATER FILL
- 411 DOMESTIC WATER OVERFLOW
- 412 SANITARY PUMP OUT
- 413 PHOTOVOLTAIC ARRAYS (SEE ELEC.)
- 414 MECHANICAL VENT (SEE MECH.)
- 415 WEATHER HEAD & UTILITY METER - REFER TO ELEC.
- 416 SANITARY & WATER TANK INDICATION LIGHTS - REFER TO ELEC.

COLOURS

- A COLOUR A
- B COLOUR B
- C COLOUR C
- D COLOUR D



SPATIAL CALCULATION:
 WINDOW AREA: 0.0 m²
 EXPOSED BUILDING FACE: 69.5 m²
 ACTUAL LIMITING DISTANCE: 15.4 m
 LIMITING DISTANCE USED FOR NON-SPRINKLER BUILDING: 6m
 % OF EXPOSING BUILDING FACE ALLOWED: 57%
 % OF EXPOSING BUILDING FACE PROVIDED: 1%

1 EAST ELEVATION
 A4.04 SCALE 1:50

5		
4		
3		
2	ISSUED FOR TENDER	20220128
1	99% CD SUBMISSION	20211217
0	60% CD SUBMISSION	20210910
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title Project

GREENING NORTHERN HOUSING - POND INLET

Designed by	Conçu par
KOBAYASHI + ZEDDA ARCHITECTS LTD.	
Drawn by	Dessiné par
SC	
Approved by	Approuvé par
PWSC Project Manager	Administrateur de Projets TPSGC

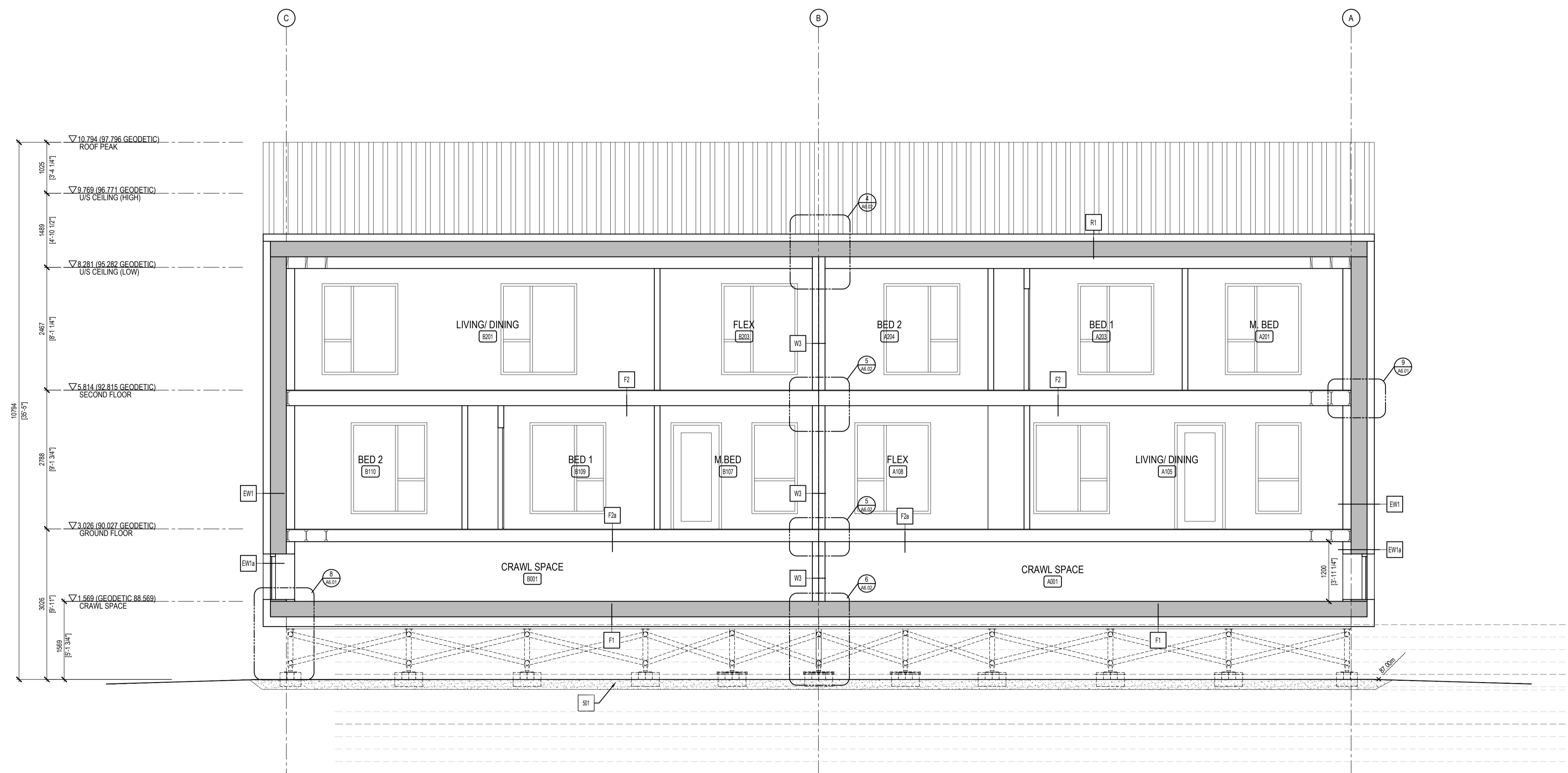
Drawing title Titre du dessin
EAST ELEVATION

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A4.04	0
	OF XX	

SPECIFIC NOTES

501 TRIODETIC FOUNDATION SYSTEM TO BE INSTALLED ON GRAVEL PAD OF A MINIMUM THICKNESS OF 200mm. REFER TO GEOTECHNICAL REPORT

PRELIMINARY
NOT FOR CONSTRUCTION



1 SECTION A
A5.01 SCALE 1:50

5		
4		
3		
2	ISSUED FOR TENDER	2022/10/8
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10
Revision	Description	Date

Client client

PARKS CANADA AGENCY

Project title Projet

GREENING NORTHERN HOUSING - POND INLET

Designed by Conçu par
KOBAYASHI + ZEDDA ARCHITECTS LTD.

Drawn by Dessiné par
SC

Approved by Approuvé par

PWSSC Project Manager Administrateur de Projets TPSSC

Drawing title Titre du dessin

SECTION A

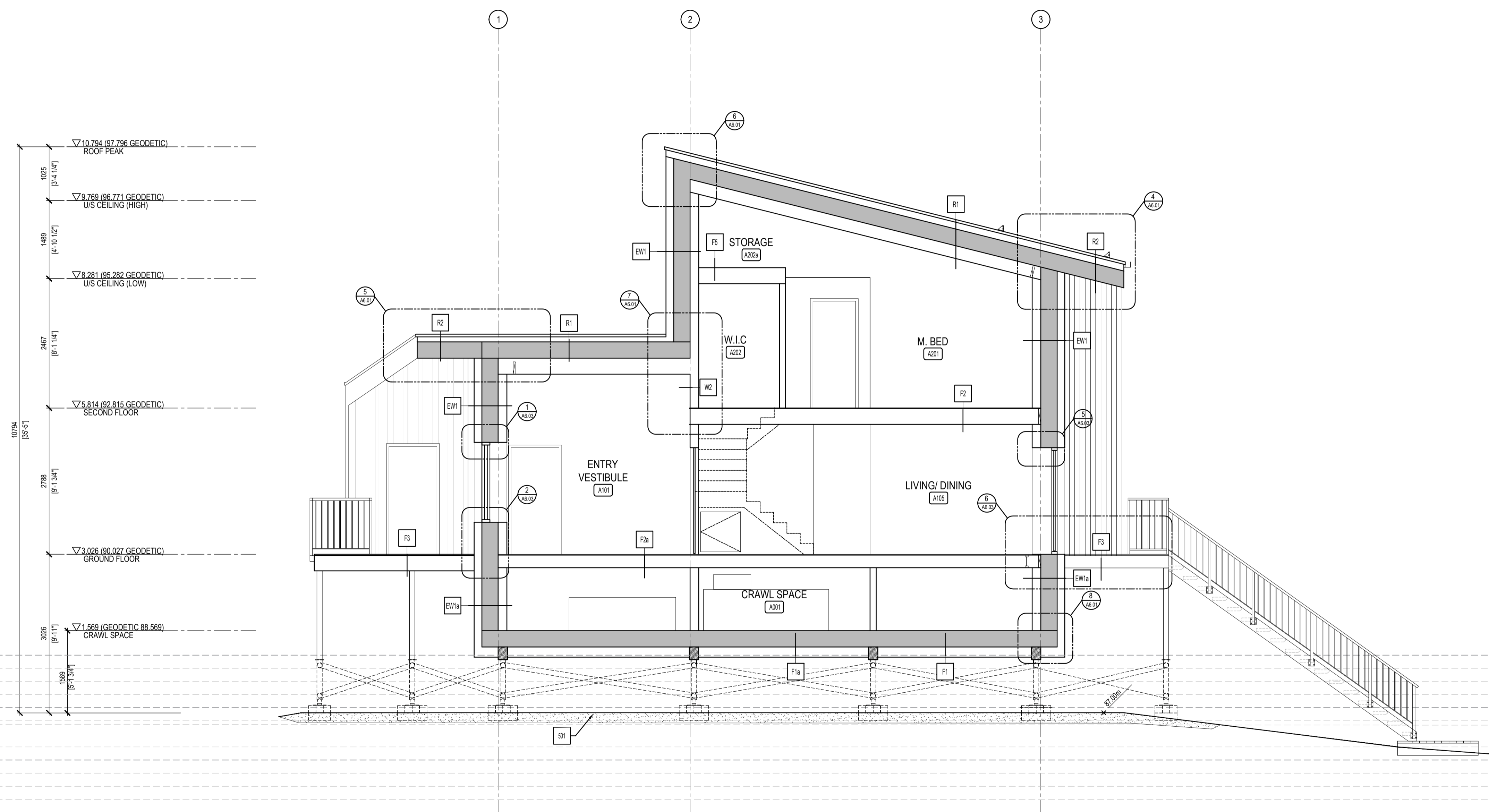
Project no./No. du projet Drawing no./No. du dessin Revision no.

A5.01
OF **XX** **0**

SPECIFIC NOTES

501 TRIODETIC FOUNDATION SYSTEM TO BE INSTALLED ON GRAVEL PAD OF A MINIMUM THICKNESS OF 200mm. REFER TO GEOTECHNICAL REPORT

PRELIMINARY
NOT FOR CONSTRUCTION



1 SECTION B
A5.02 SCALE 1:50

5		
4		
3		
2	ISSUED FOR TENDER	2022/10/8
1	90% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10
Revision	Description	Date

Client: PARKS CANADA AGENCY

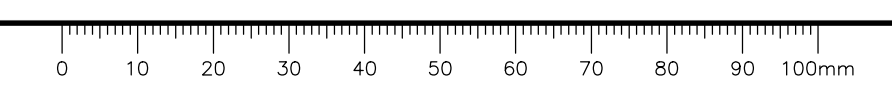
Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: KOBAYASHI + ZEDDA ARCHITECTS LTD.
Drawn by: SC
Approved by:

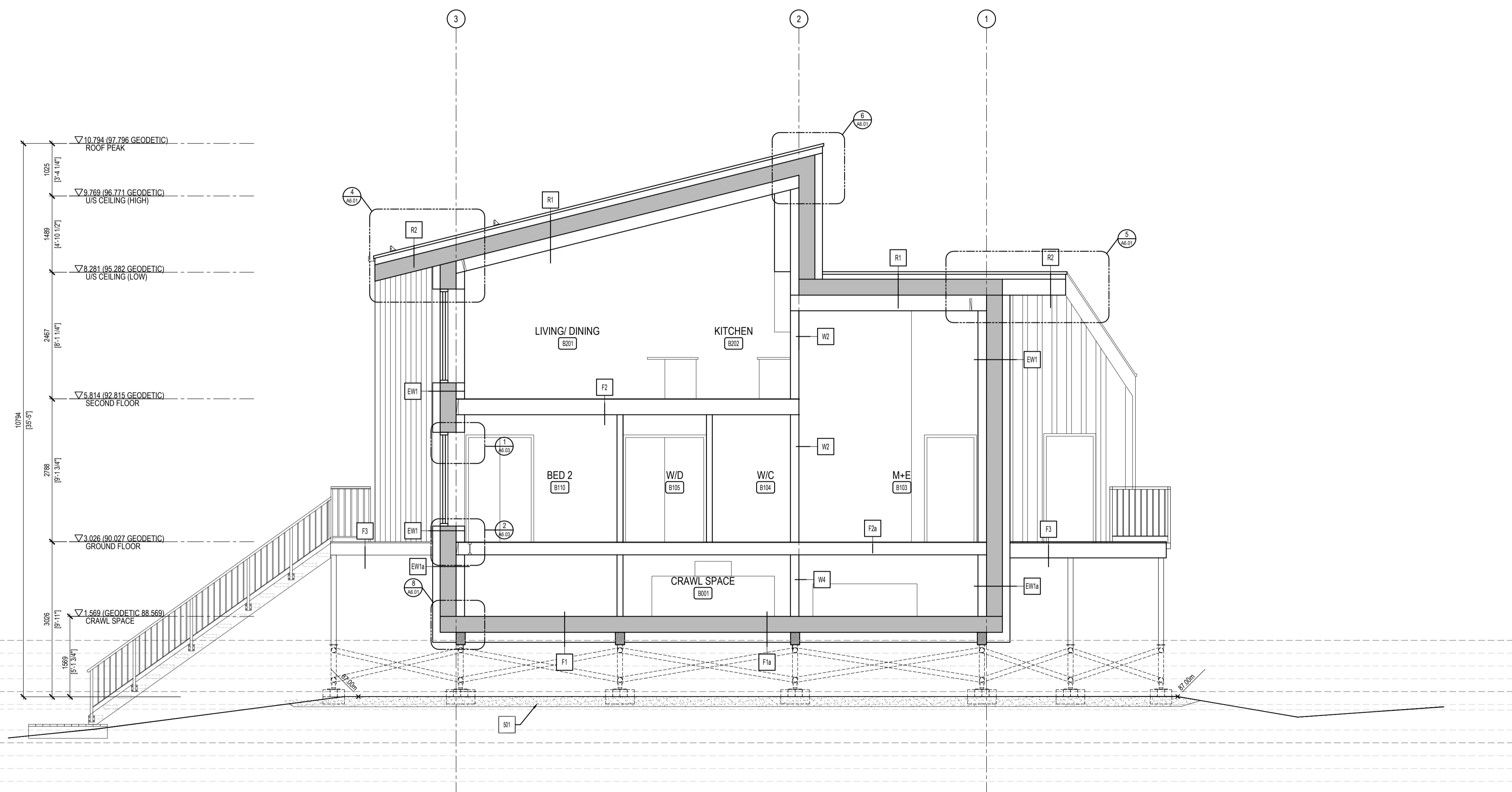
PWSSC Project Manager / Administrateur de Projets TPSGC

Drawing title: SECTION B

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A5.02 OF XX	0



PRELIMINARY
NOT FOR CONSTRUCTION



10734 [35'-5"]
 1025 [3'-4 1/4"]
 1489 [4'-10 1/2"]
 2467 [8'-1 1/4"]
 2768 [9'-1 3/4"]
 3026 [9'-11"]
 1588 [5'-2 3/4"]
 1025 [3'-4 1/4"]
 1489 [4'-10 1/2"]
 2467 [8'-1 1/4"]
 2768 [9'-1 3/4"]
 3026 [9'-11"]

∇ 10.794 (97.796 GEODETIC)
ROOF PEAK
 ∇ 9.789 (96.771 GEODETIC)
UIS CEILING (HIGH)
 ∇ 8.281 (85.282 GEODETIC)
UIS CEILING (LOW)
 ∇ 5.814 (92.815 GEODETIC)
SECOND FLOOR
 ∇ 3.026 (90.027 GEODETIC)
GROUND FLOOR
 ∇ 1.569 (GEODETIC 88.569)
CRAWL SPACE

1 SECTION C
A5.03 - SCALE - 1:50

5		
4		
3		
2	ISSUED FOR TENDER	2022/12/08
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10
Revision	Description	Date

Client: client

PARKS CANADA AGENCY

Project title: Projet

GREENING NORTHERN HOUSING - POND INLET

Designed by: Conçu par
KOBAYASHI + ZEDDA ARCHITECTS LTD.

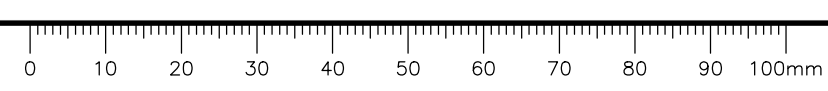
Drawn by: Dessiné par
SC

Approved by: Approuvé par

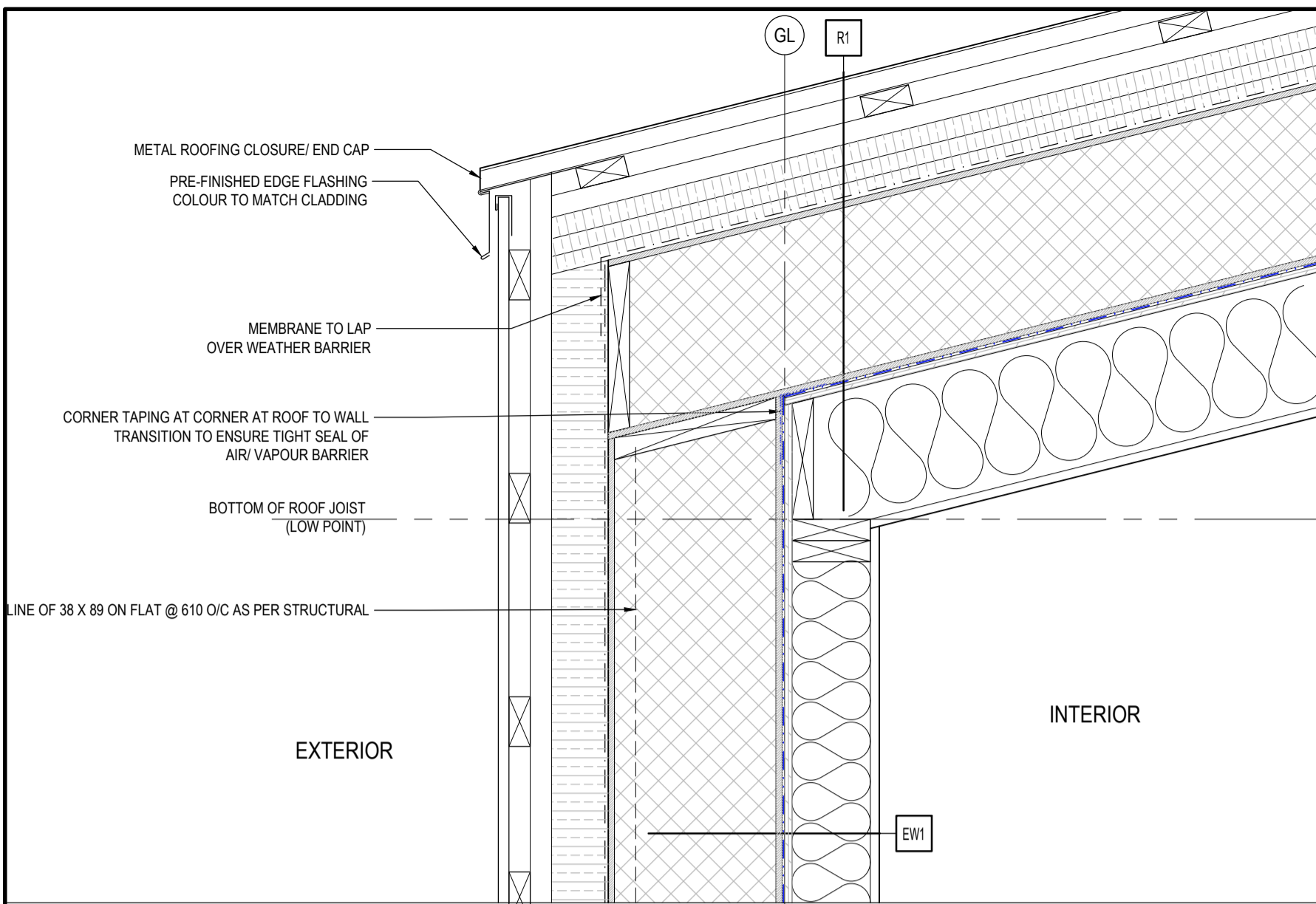
PWSC Project Manager: Administrateur de Projets TPSCG

Drawing title: Titre du dessin
SECTION C

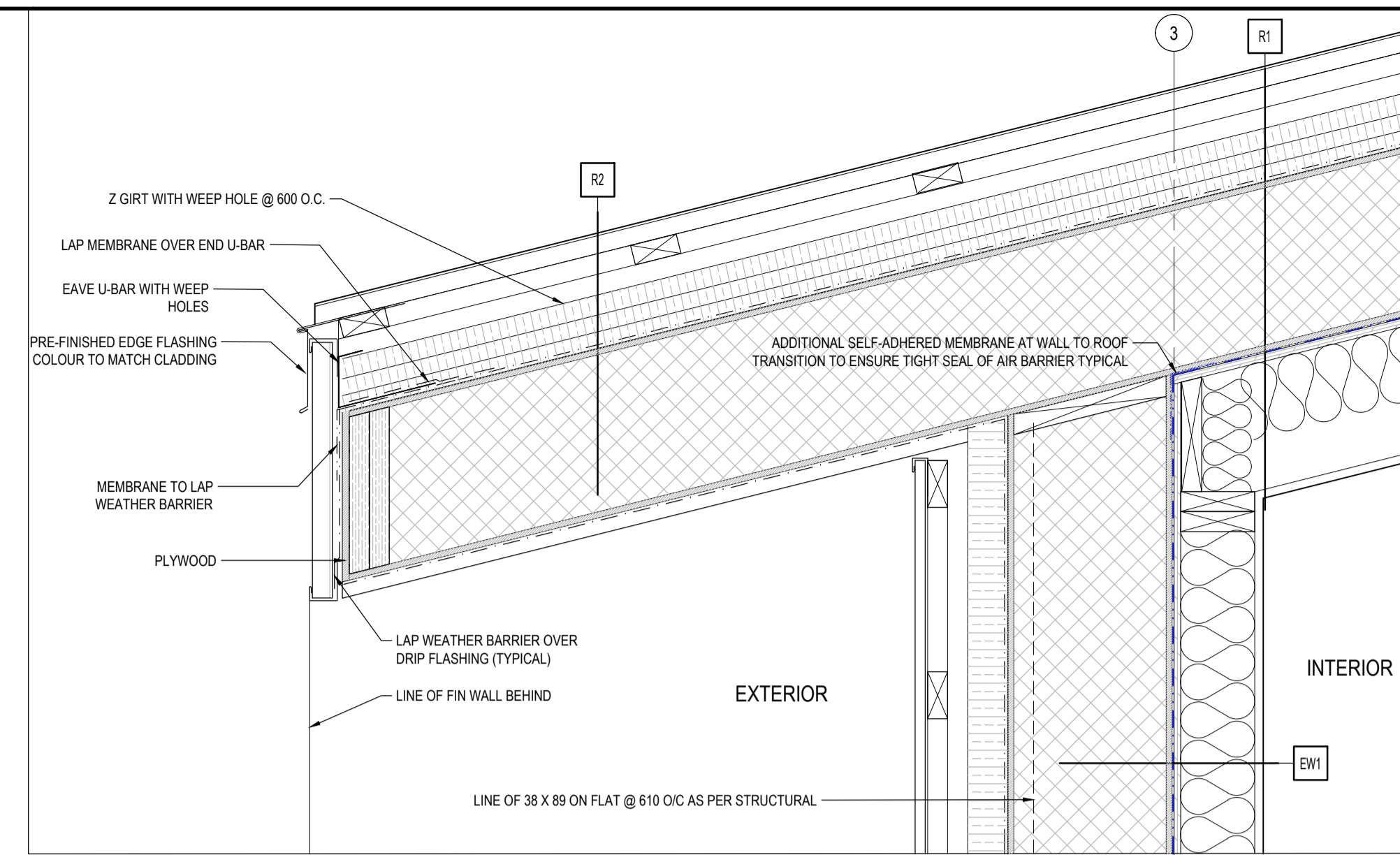
Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A5.03	0
	OF XX	



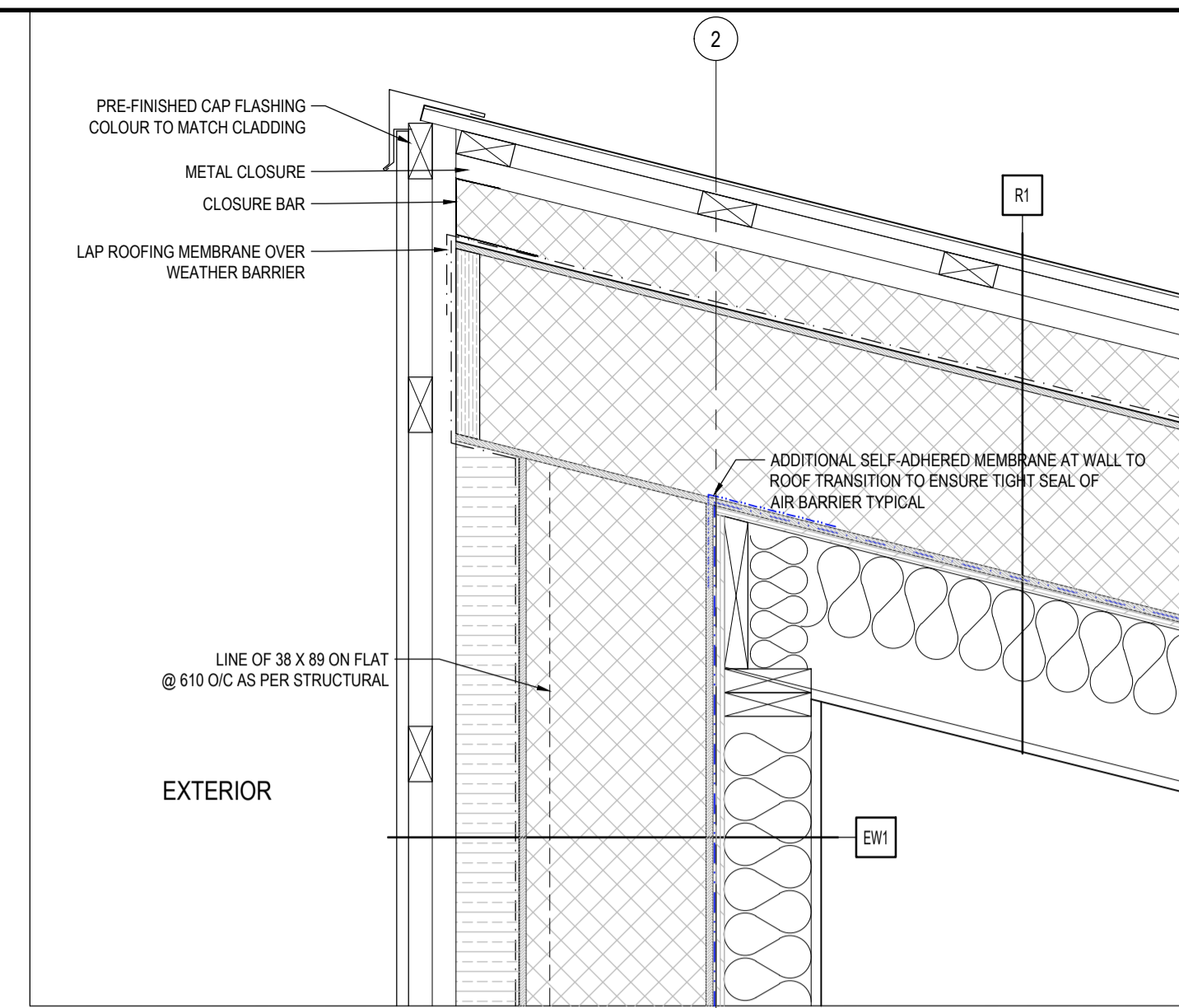
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NOT FOR CONSTRUCTION



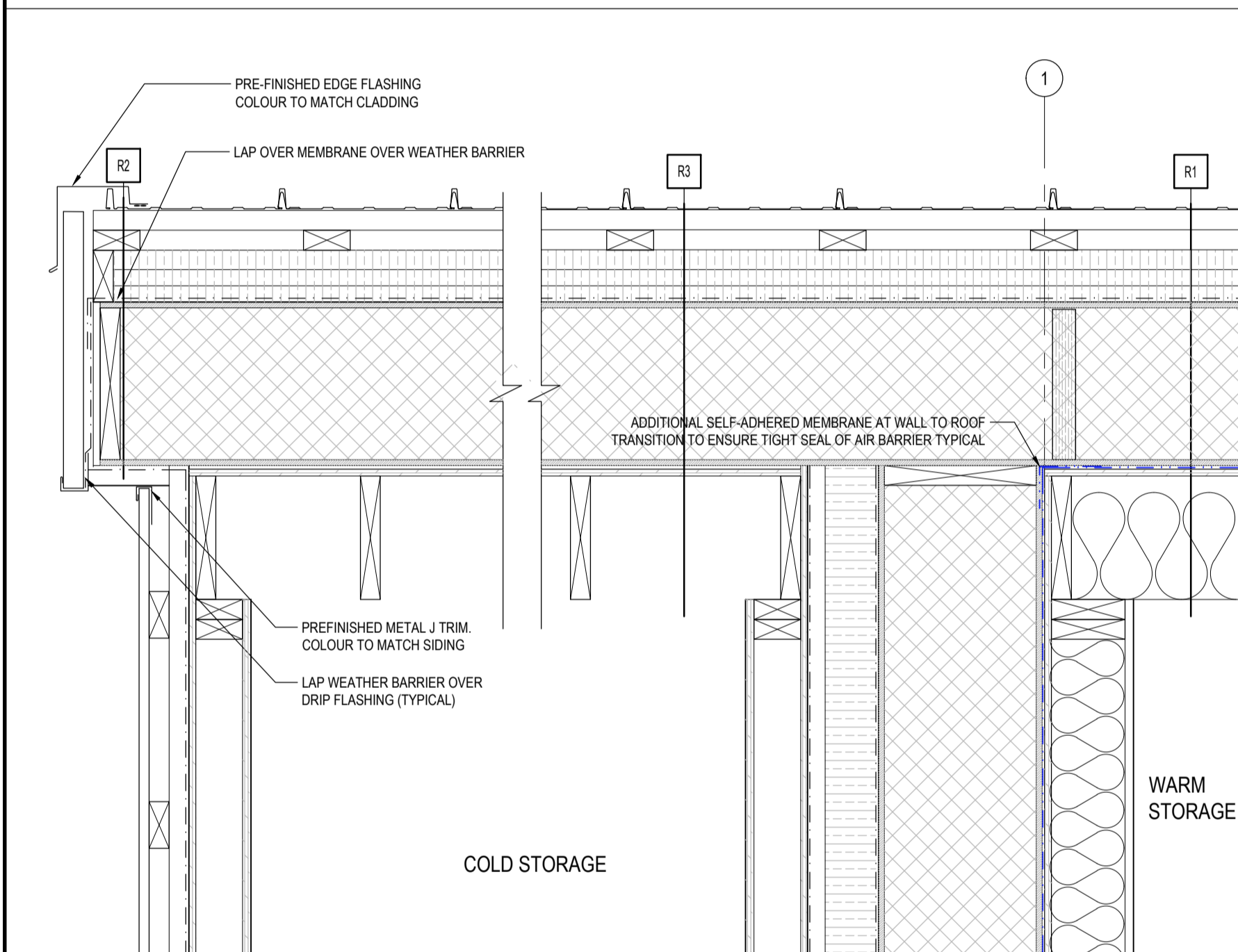
1 ROOF TO WALL
A6.01 SCALE 1:10



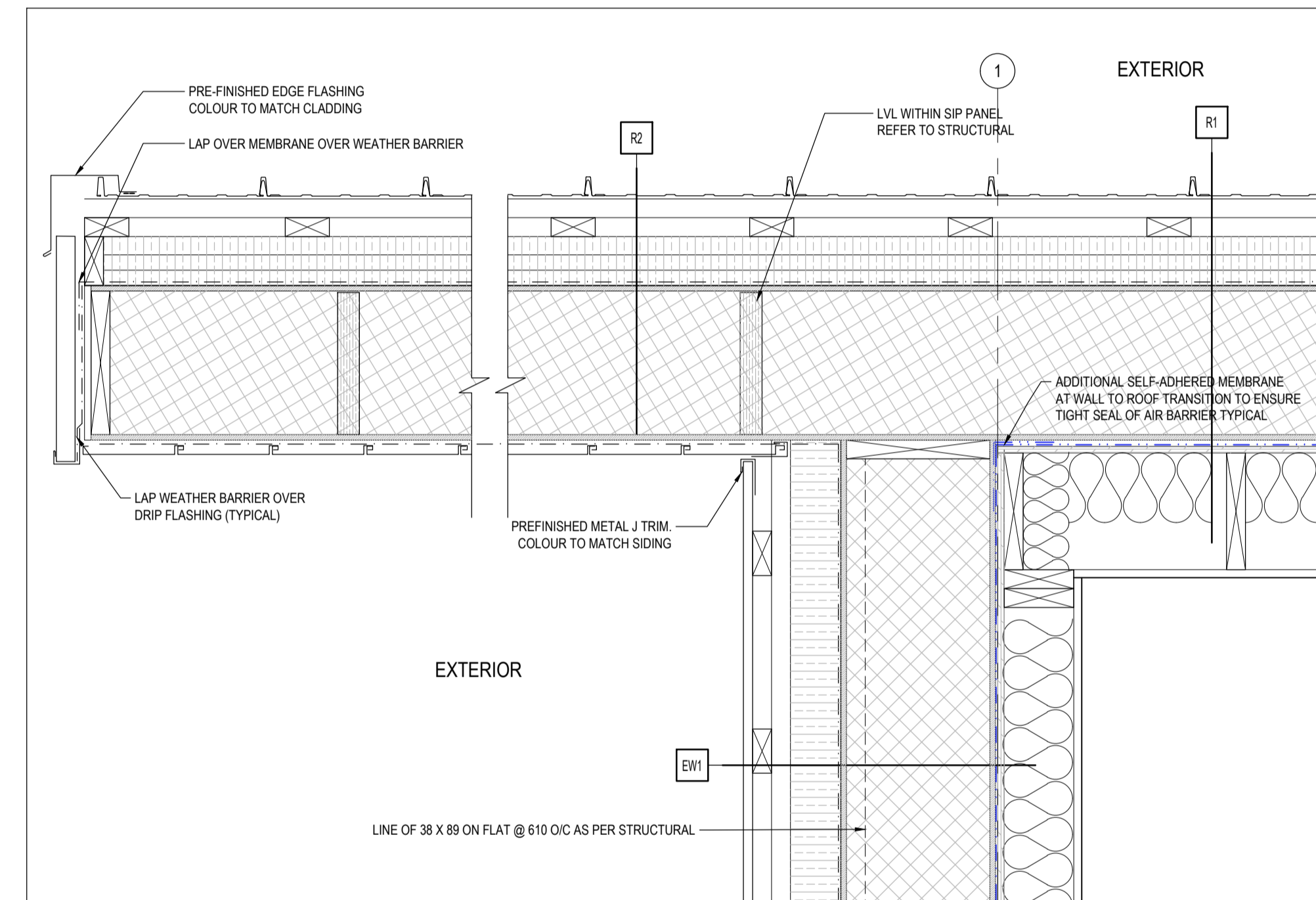
4 ROOF OVERHANG
A6.01 SCALE 1:10



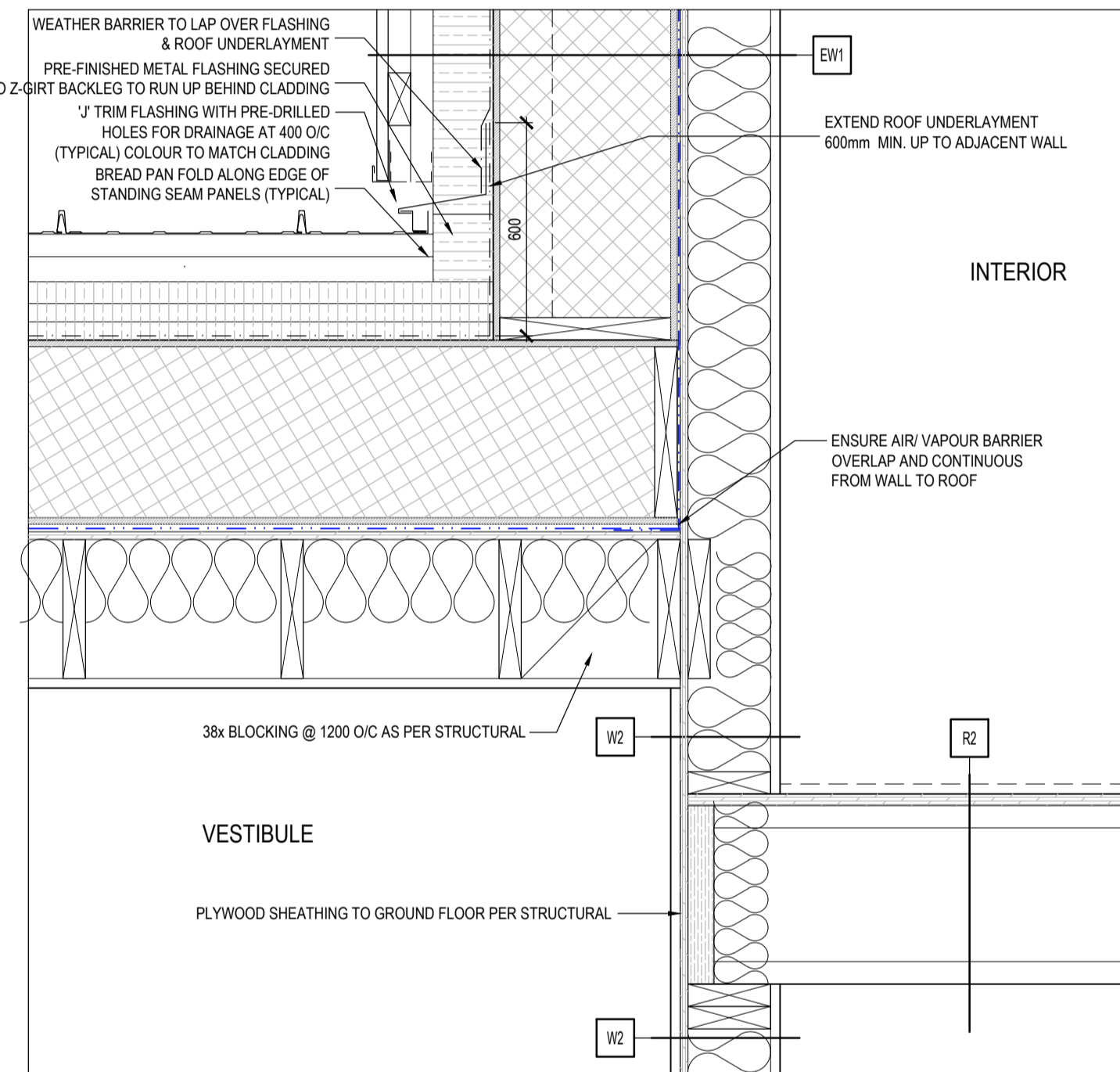
6 ROOF PEAK EDGE
A6.01 SCALE 1:10



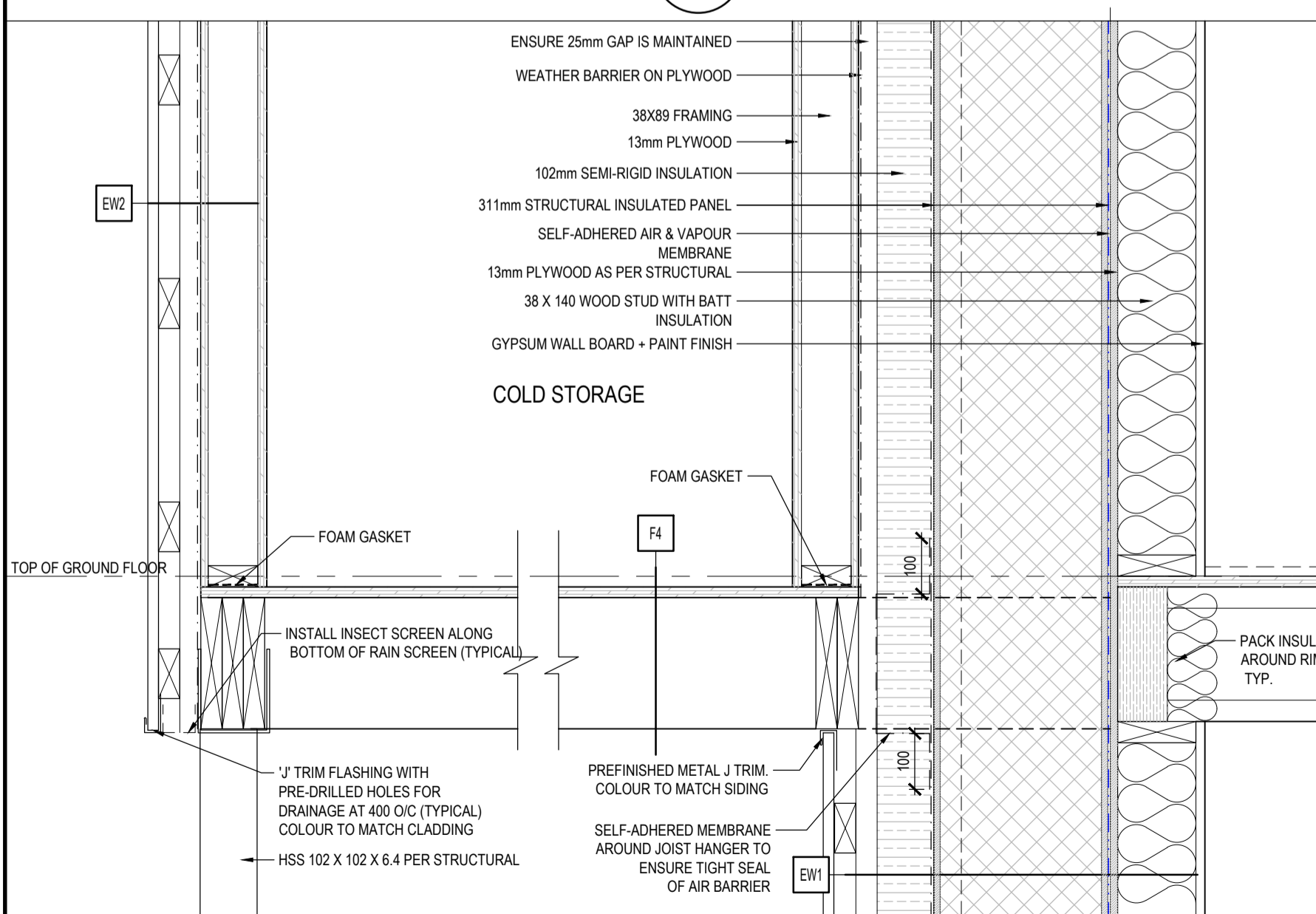
2 DETAIL SECTION THROUGH COLD STORAGE ROOF
A6.01 SCALE 1:10



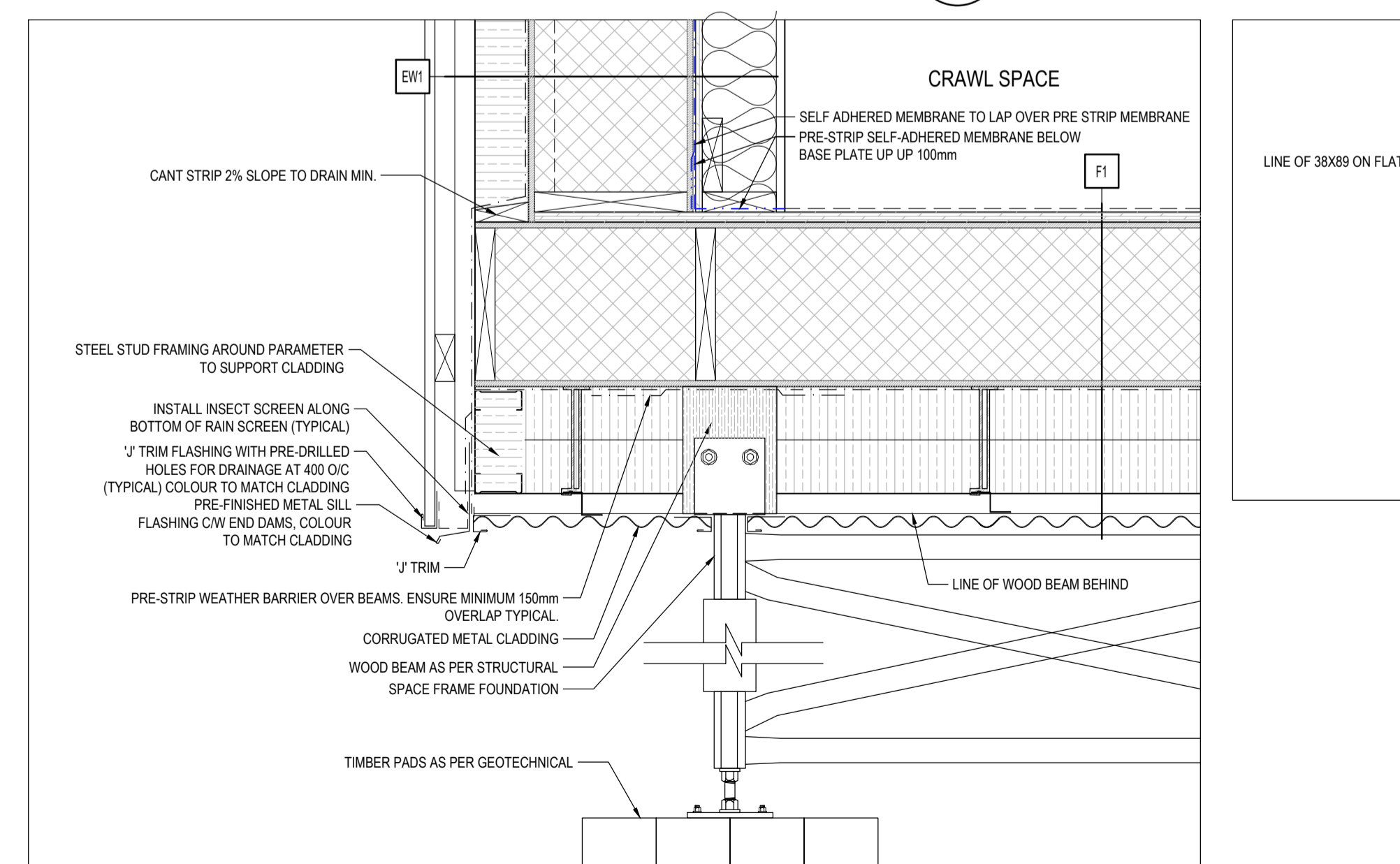
5 LOWER ROOF OVERHANG
A6.01 SCALE 1:10



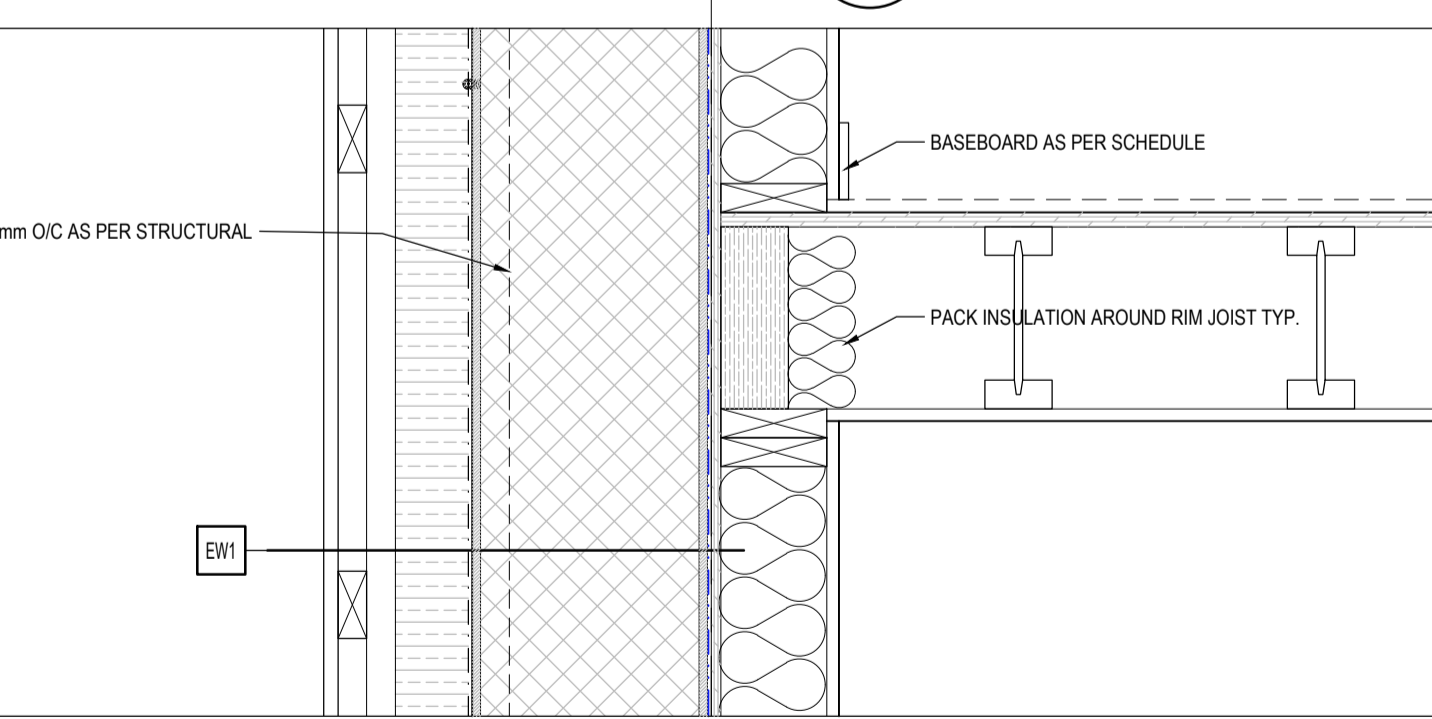
7 EXT. WALL TO ROOF
A6.01 SCALE 1:10



3 DETAIL SECTION THROUGH COLD STORAGE FLOOR
A6.01 SCALE 1:10



8 EXTERIOR WALL TO FLOOR TO FOUNDATION
A6.01 SCALE 1:10



9 INTERIOR FLOOR TO EXTERIOR WALL TYP.
A6.01 SCALE 1:10

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/02/08
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10

Client: PARKS CANADA AGENCY

Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: KOBAYASHI + ZEDDA ARCHITECTS LTD.

Drawn by: SC

Approved by: Andrew Oosting

PWSSC Project Manager: Andrew Oosting

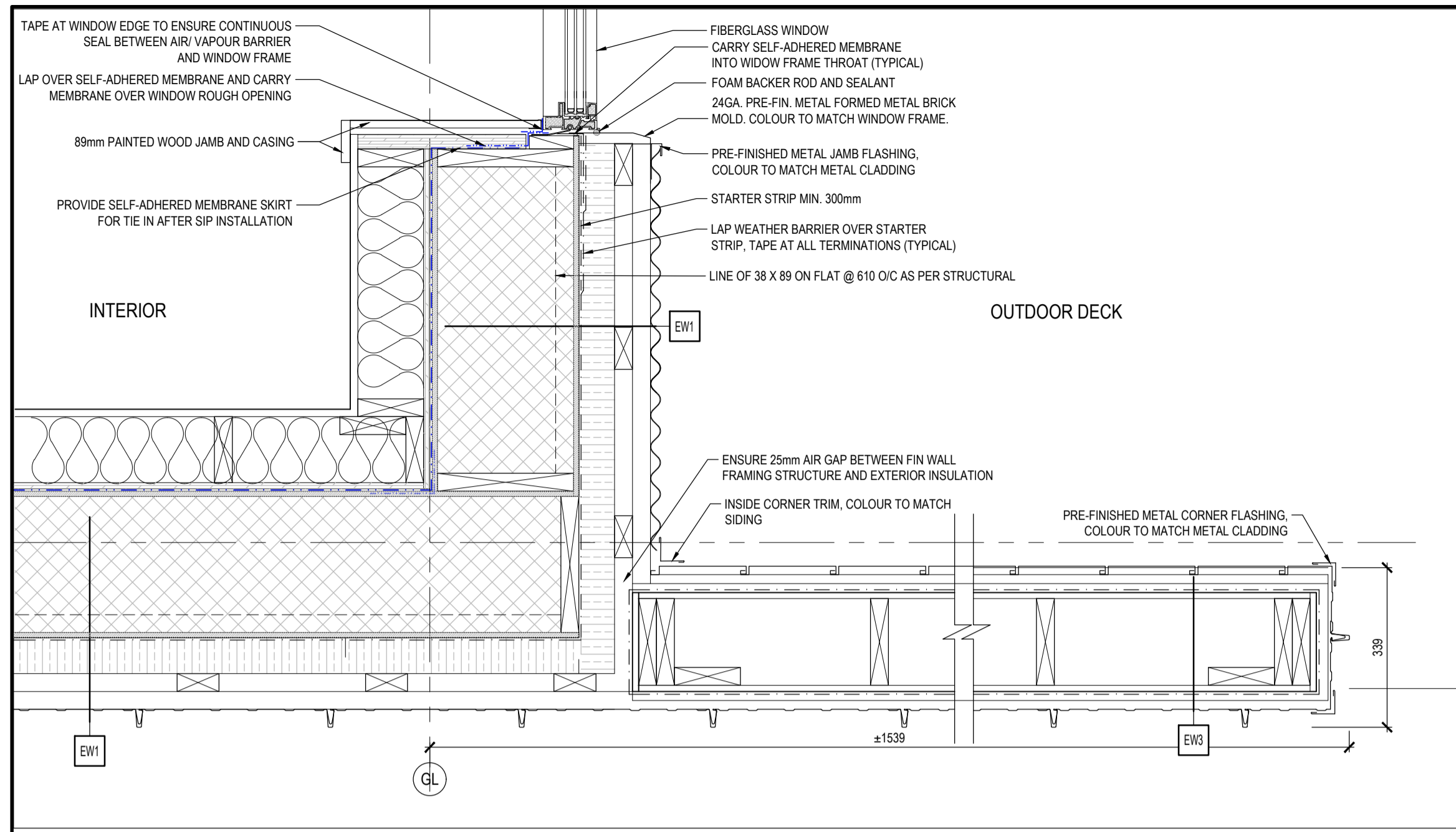
Drawing title: DETAILS

Project no./No. du projet: A6.01

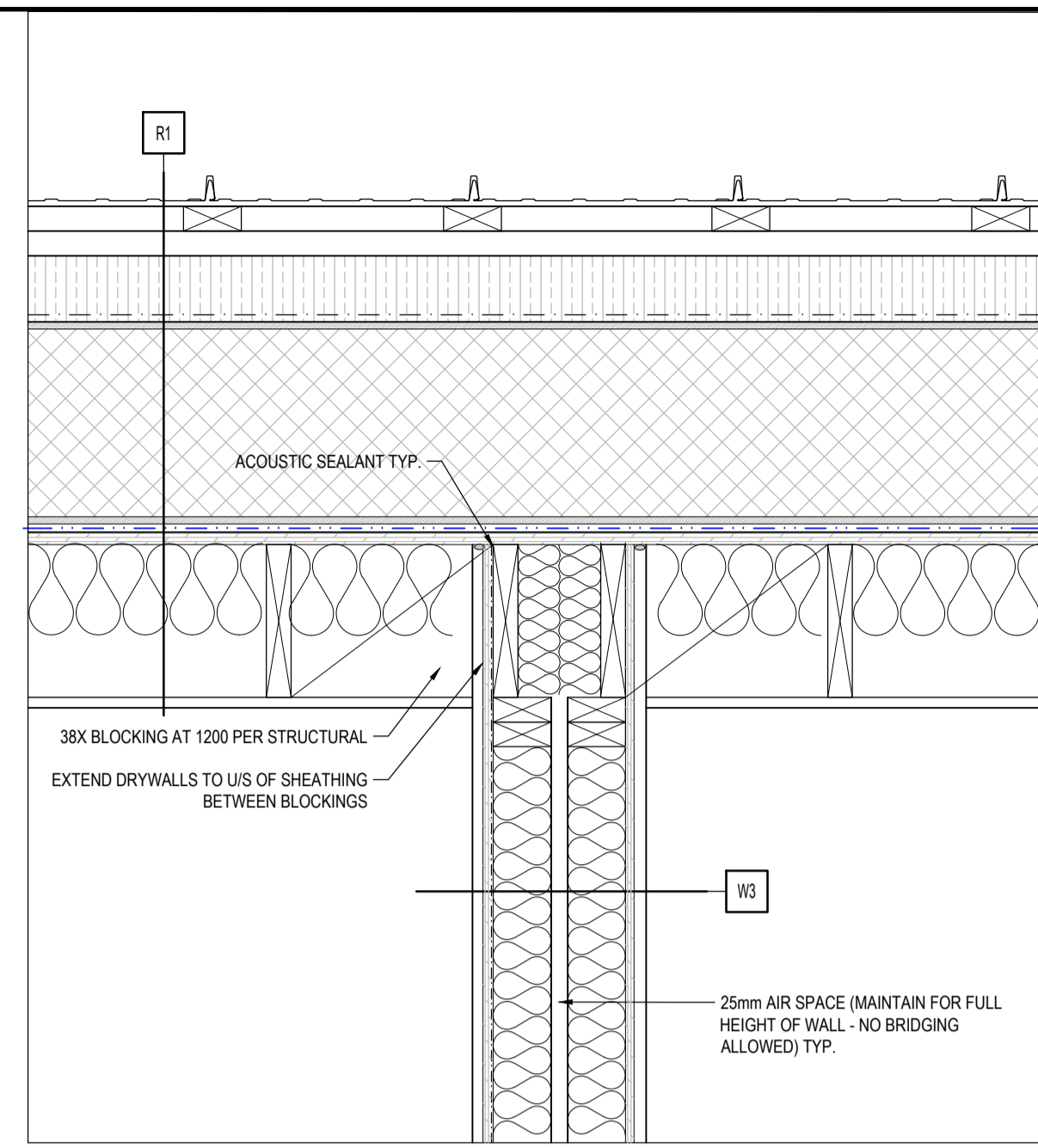
Drawing no./No. du dessin: OF XX

Revision no.: 0

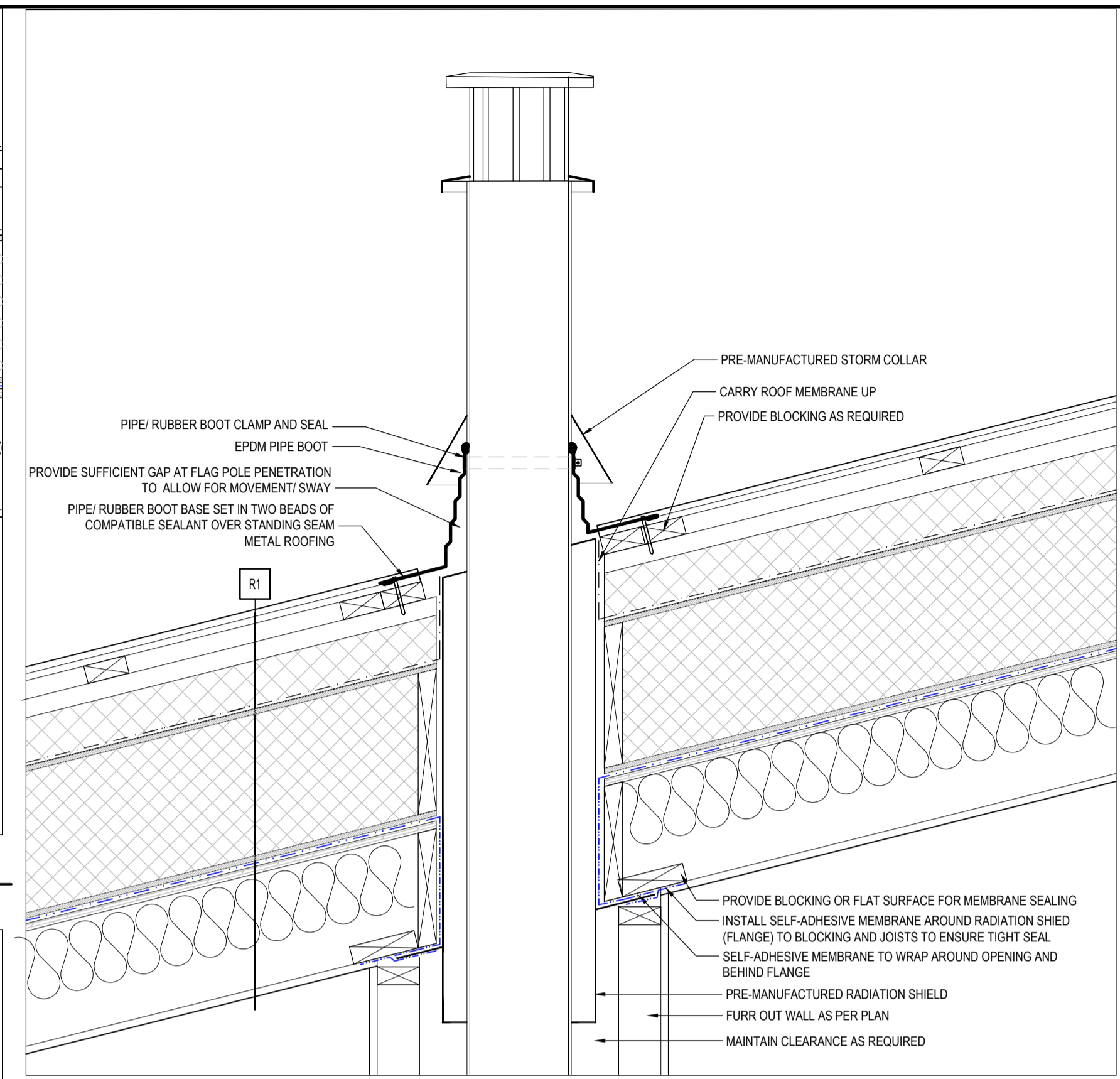
PRELIMINARY
NOT FOR CONSTRUCTION



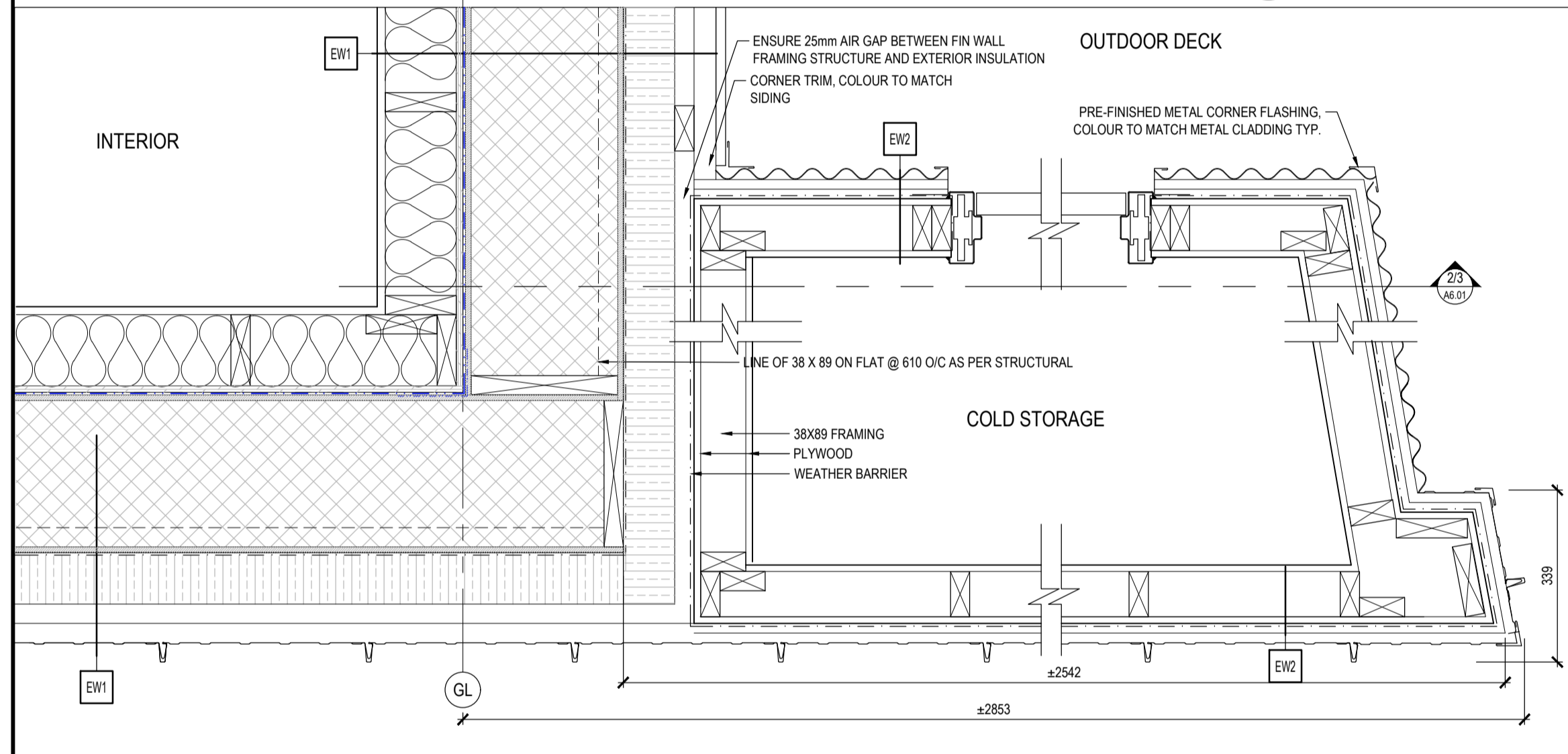
1 PLAN-FIN WALL
SCALE 1:10



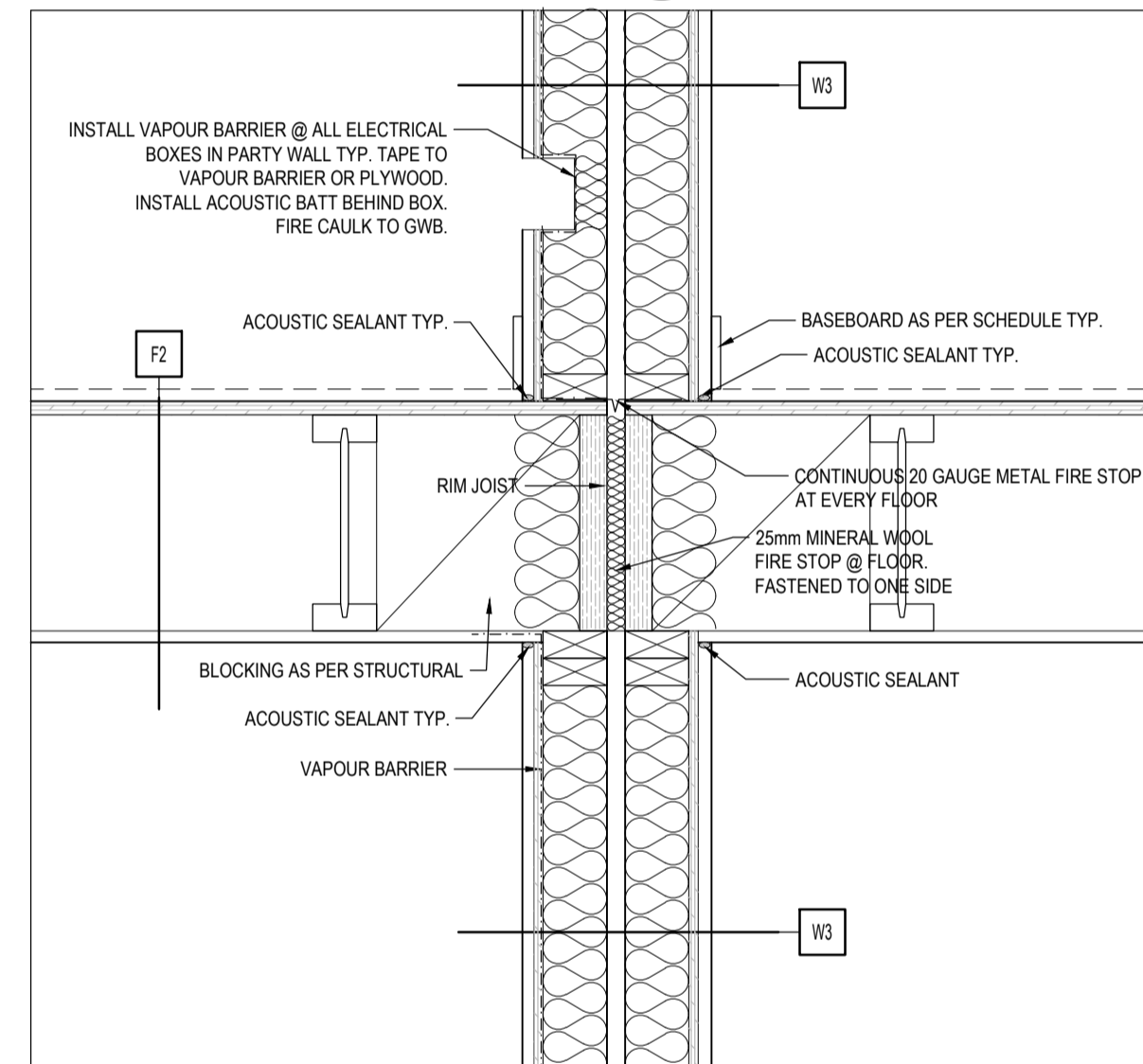
4 DEMISING WALL @ ROOF
SCALE 1:10



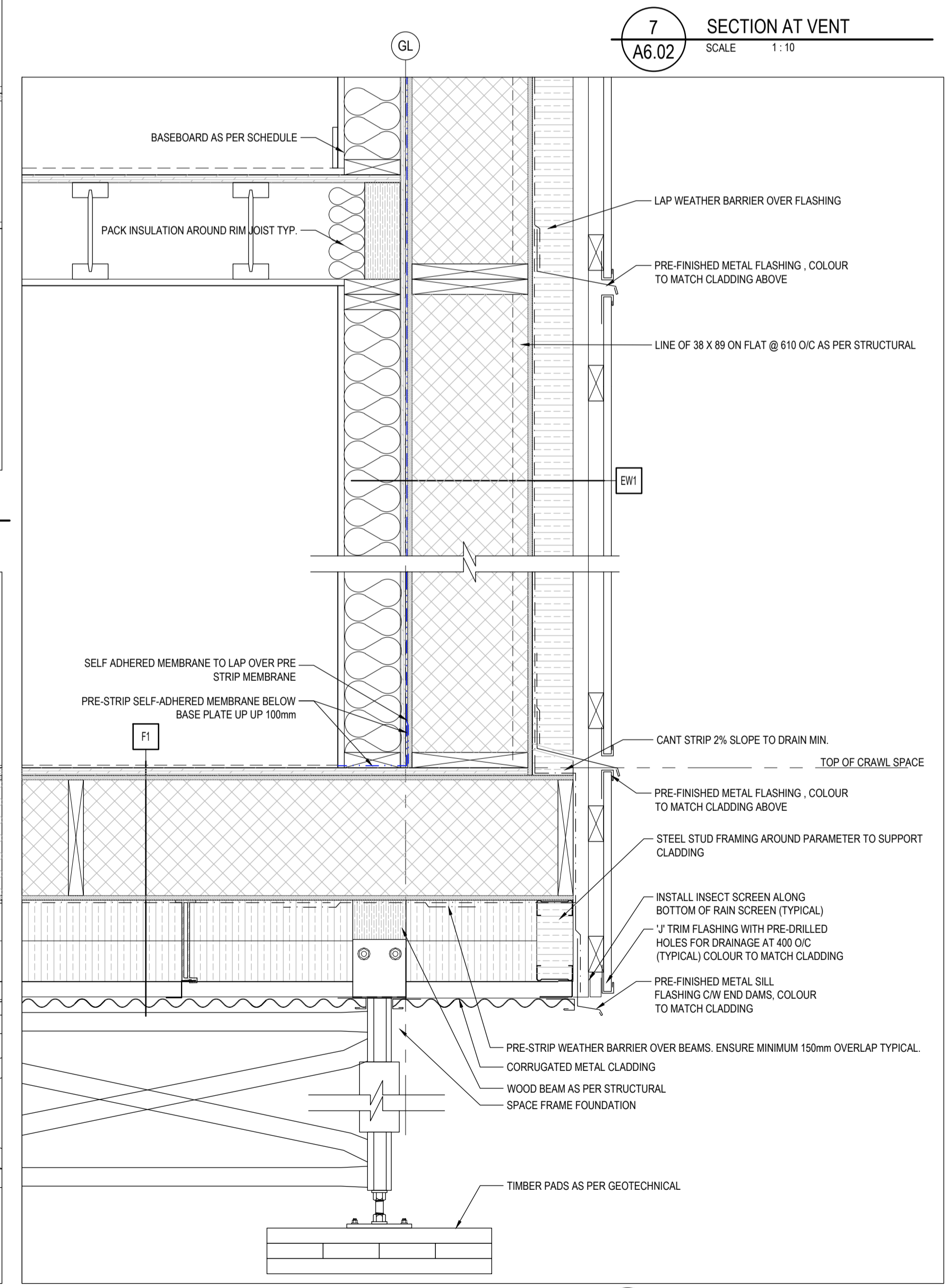
7 SECTION AT VENT
SCALE 1:10



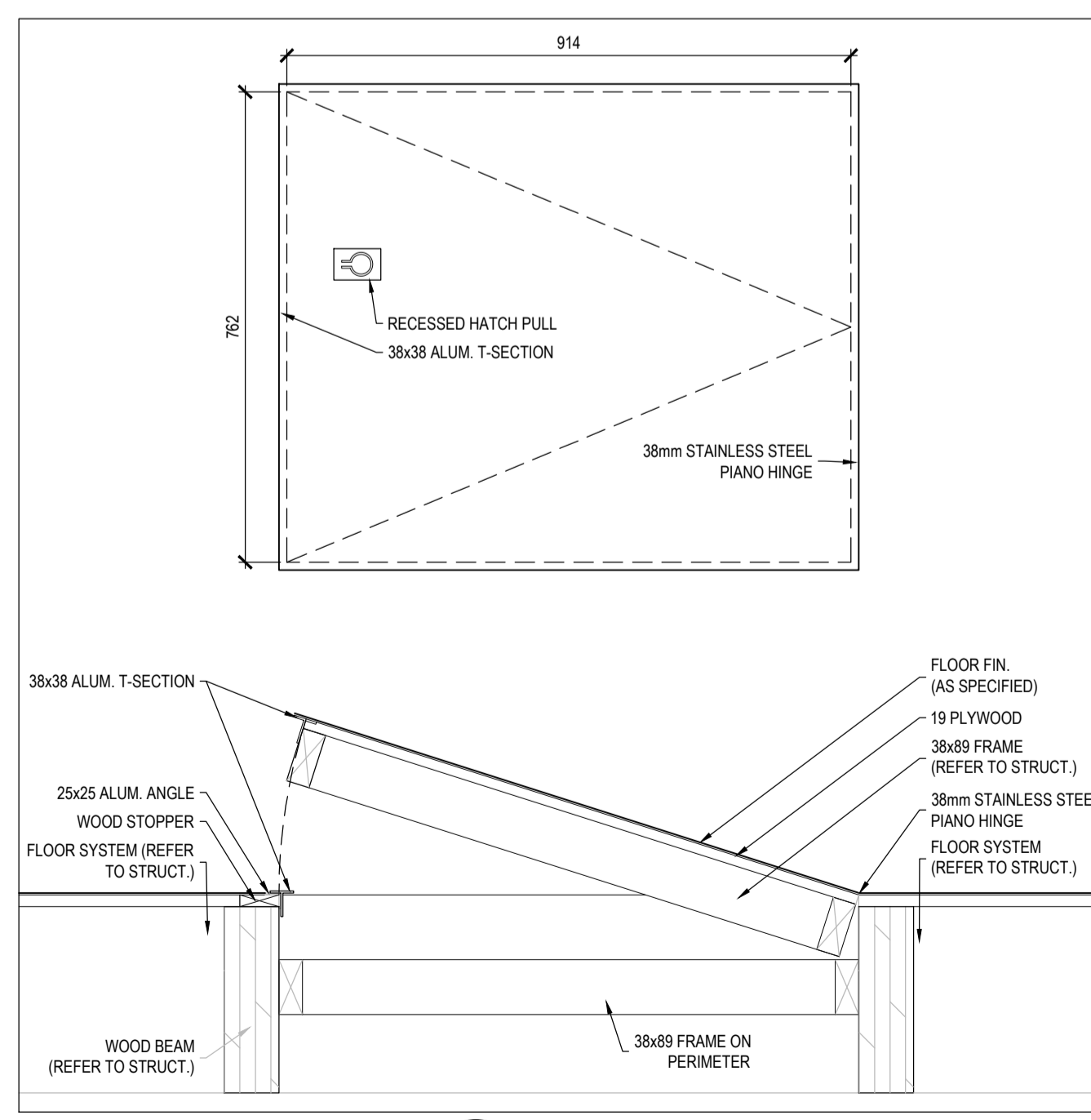
2 PLAN-WALL TO COLD STORAGE
SCALE 1:10



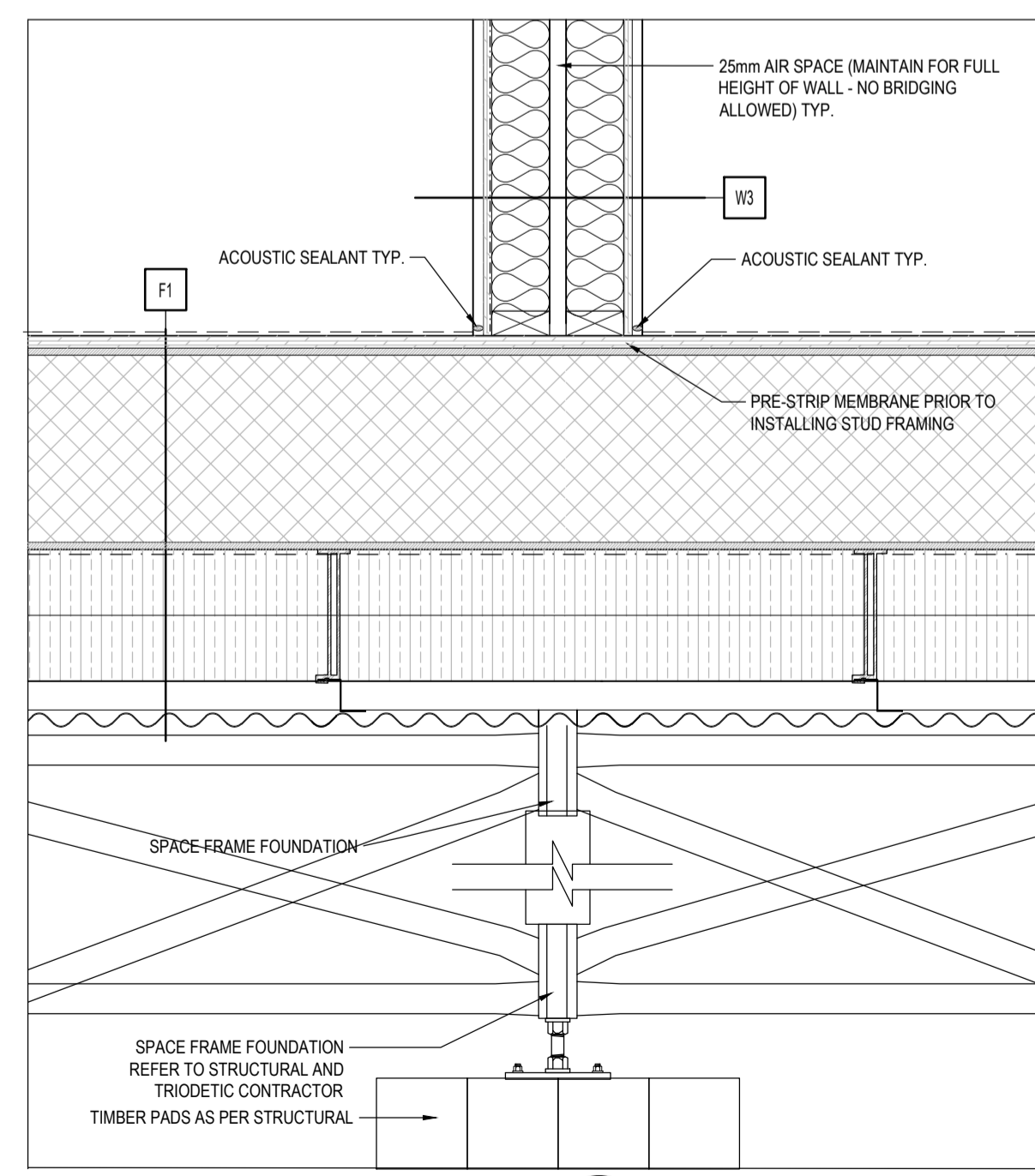
5 DEMISING WALL @ FLOOR
SCALE 1:10



8 SECTION AT REMOVABLE PANEL
SCALE 1:10



9 PLAN & SECTION OF INTERIOR FLOOR HATCH
SCALE 1:10



6 DEMISING @ SIP FLOOR
SCALE 1:10

5		
4		
3		
2	ISSUED FOR TENDER	2022/1/28
1	90% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title: **GREENING NORTHERN HOUSING - POND INLET**

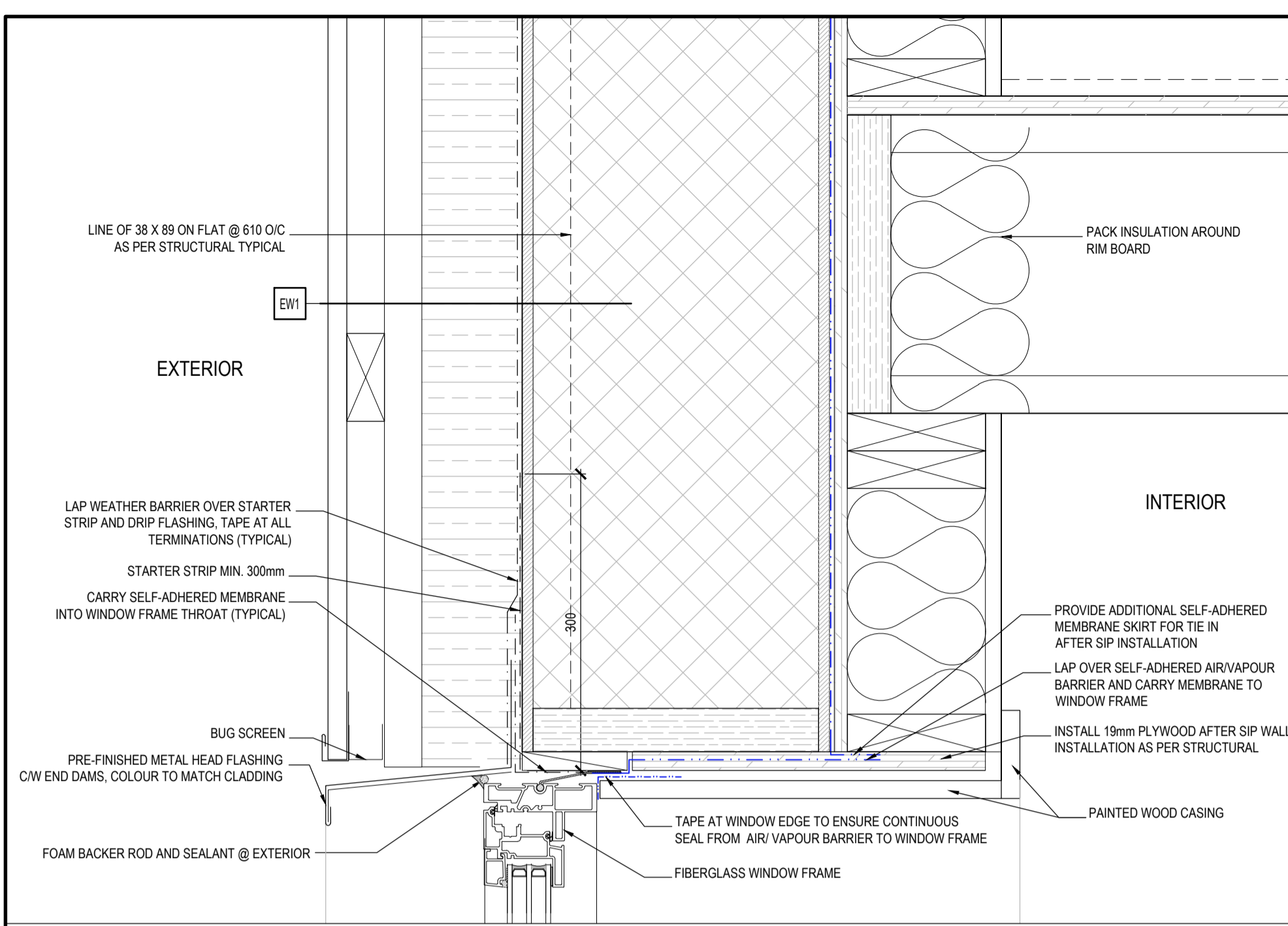
Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**

Approved by: **PWSSC Project Manager**

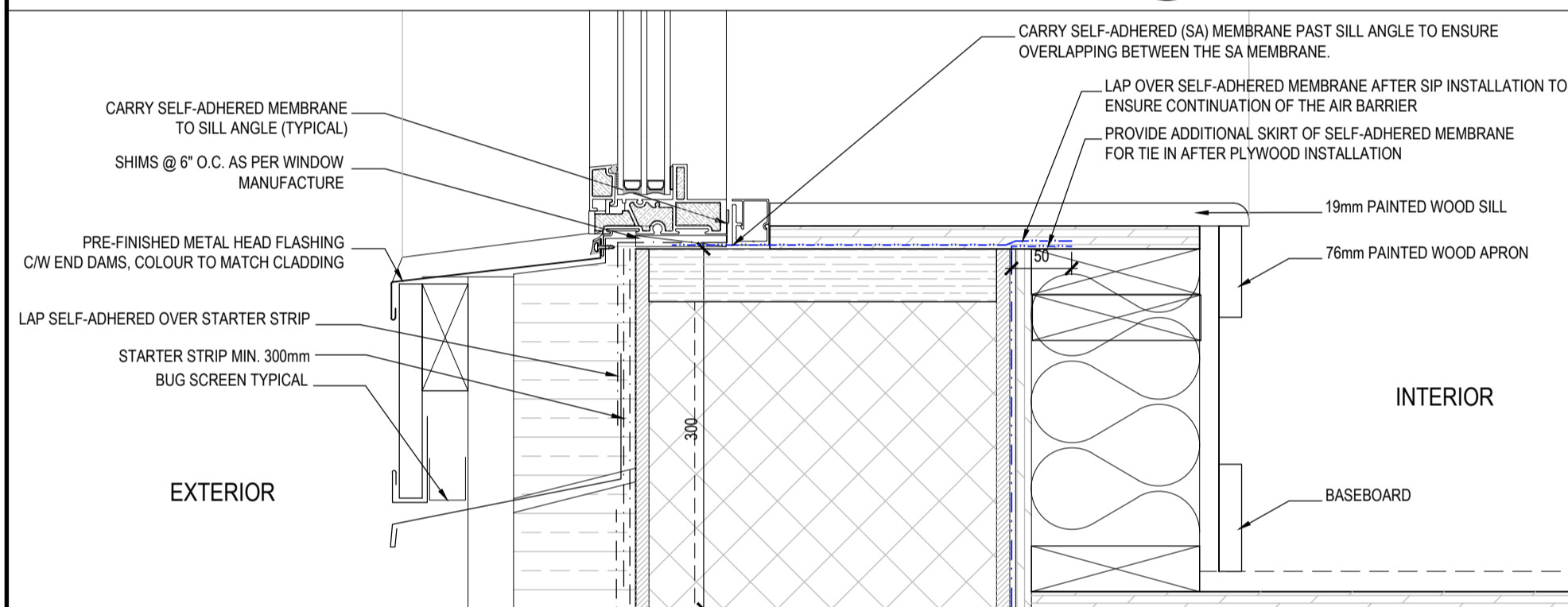
Drawing title: **DETAILS**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A6.02	0
	OF XX	

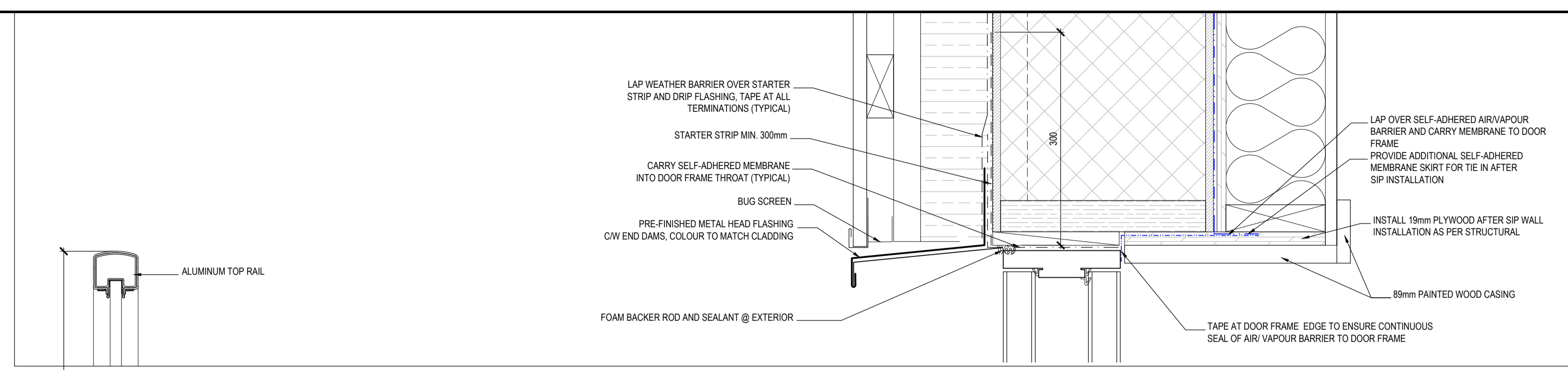
PRELIMINARY
NOT FOR CONSTRUCTION



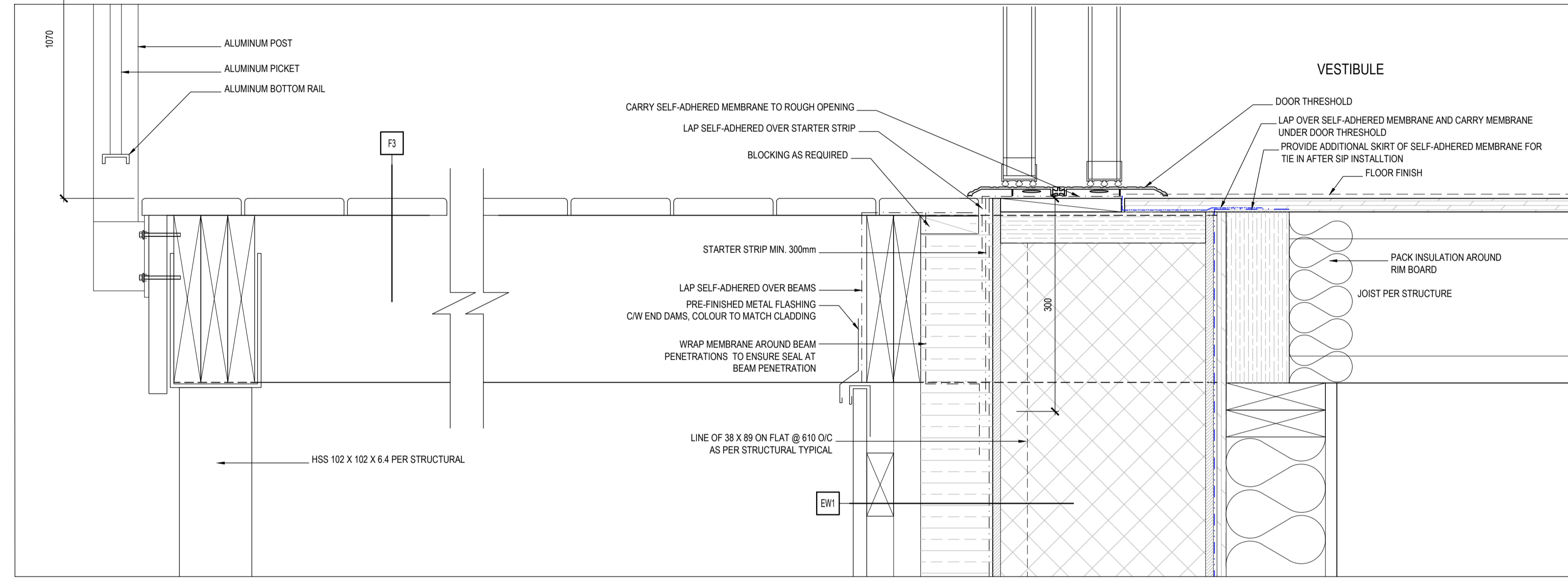
1 WINDOW HEAD
SCALE 1:5
A6.03



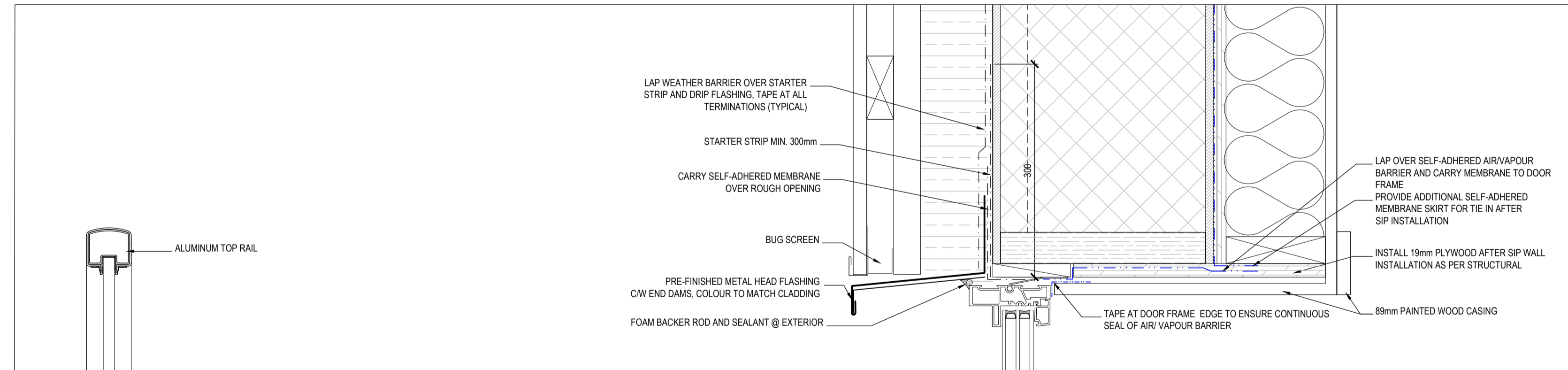
2 WINDOW SILL
SCALE 1:5
A6.03



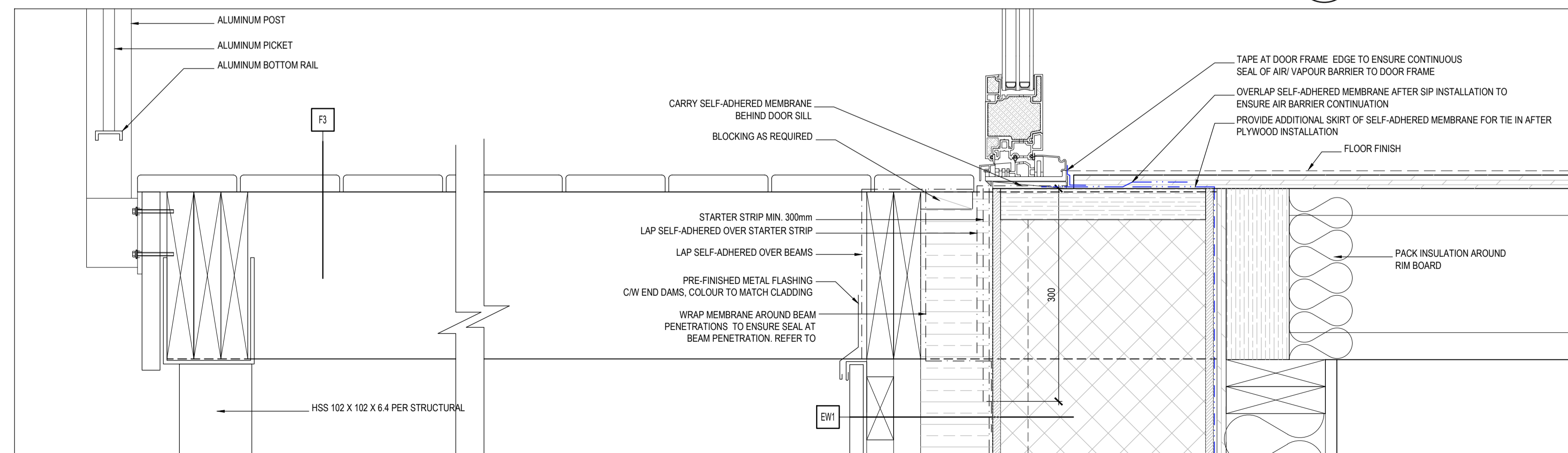
3 ENTRY DOOR HEADER
SCALE 1:5
A6.03



4 ENTRY DOOR SILL
SCALE 1:5
A6.03



5 FIBERGLASS DOOR HEADER
SCALE 1:5
A6.03



6 FIBERGLASS DOOR SILL
SCALE 1:5
A6.03

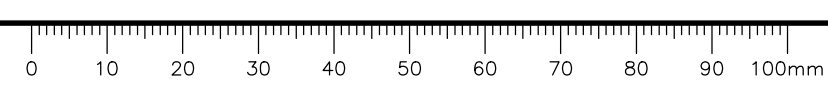
Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/02/08
1	90% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10

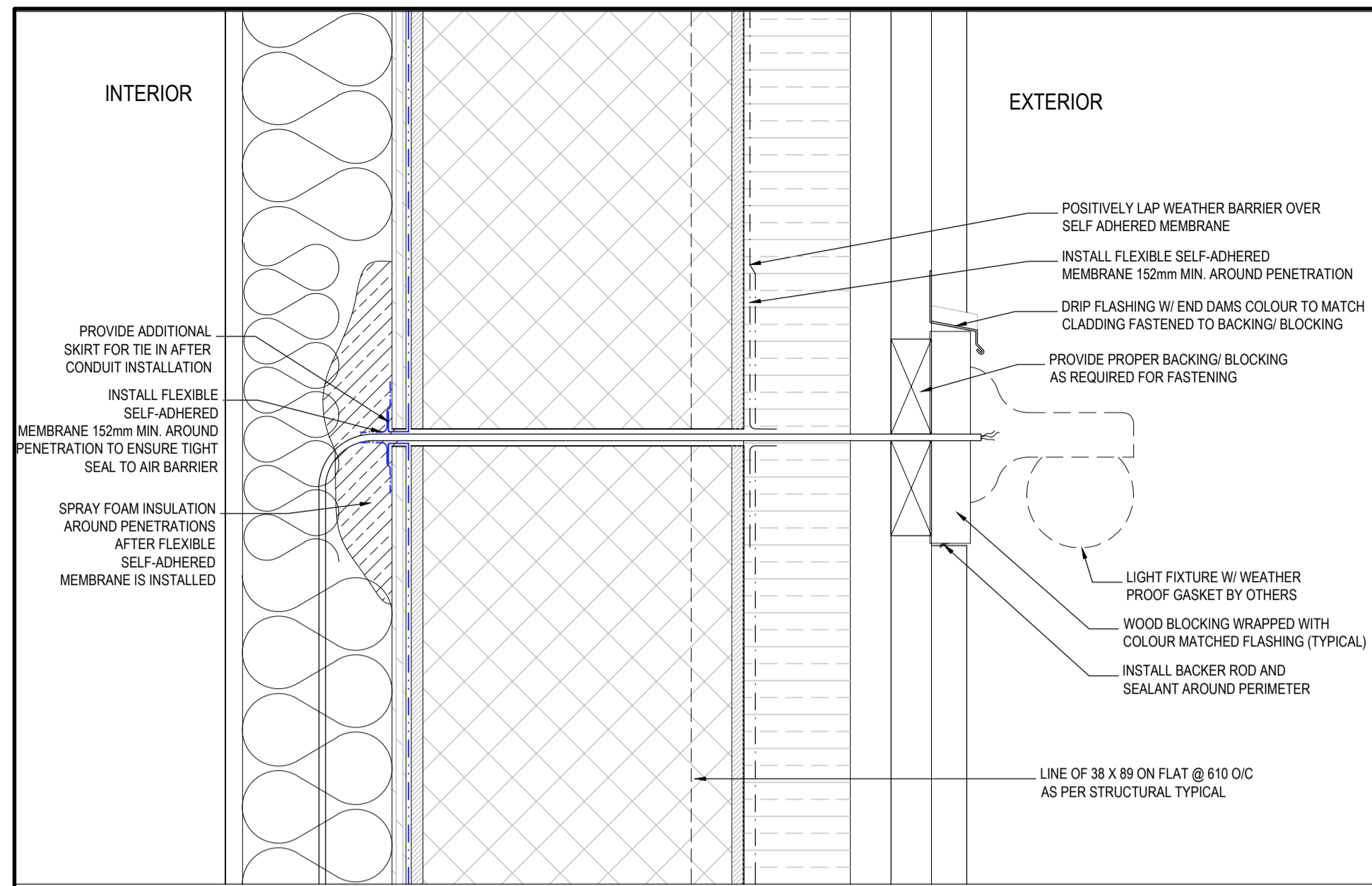
Client: **PARKS CANADA AGENCY** client

Project title: **GREENING NORTHERN HOUSING - POND INLET** Projet

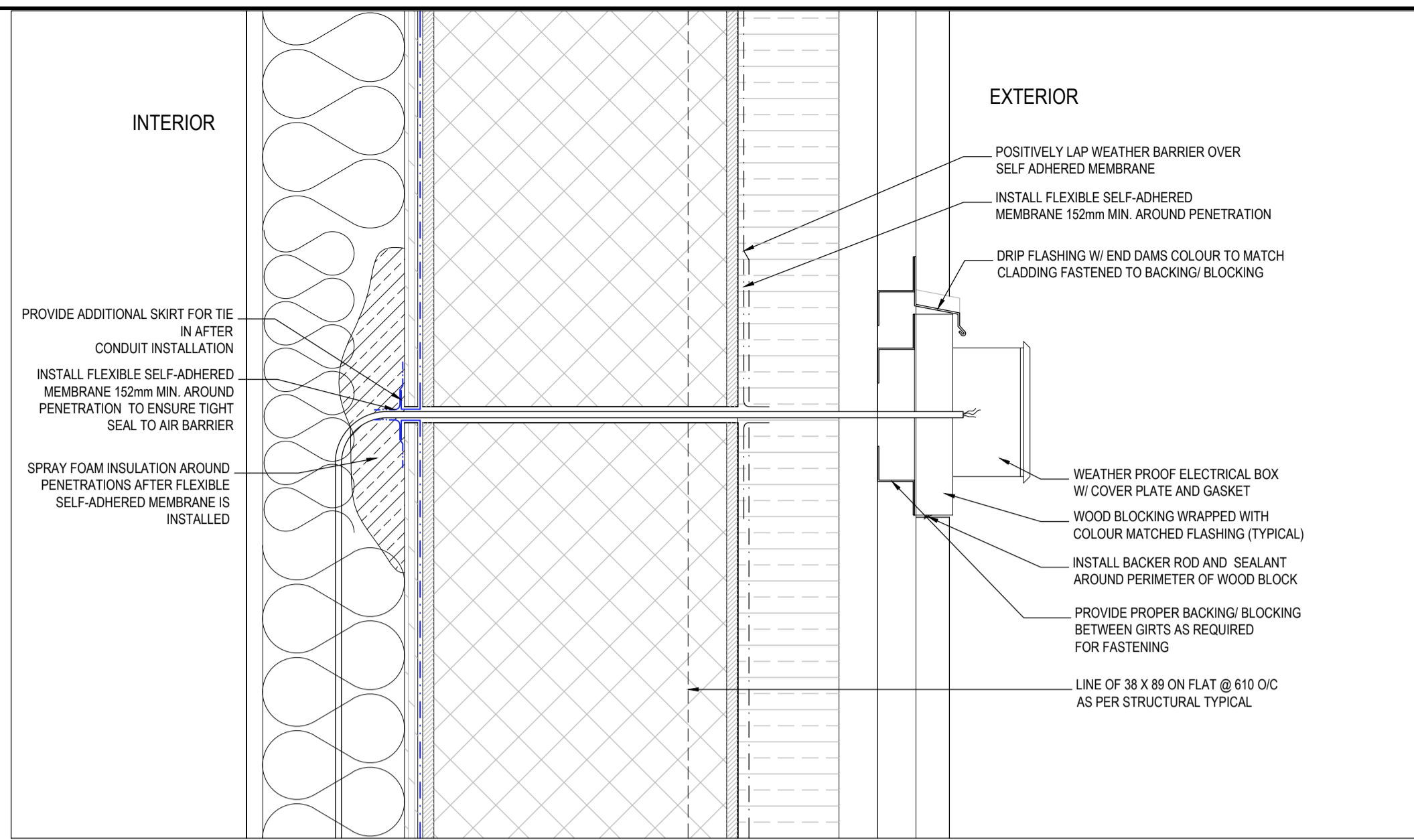
Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.** Conçu par
 Drawn by: **SC** Dessiné par
 Approved by: _____ Approuvé par
 PWGSC Project Manager: _____ Administrateur de Projets TPSGC
 Drawing title: **DETAILS** Titre du dessin

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A6.03	0
	OF XX	

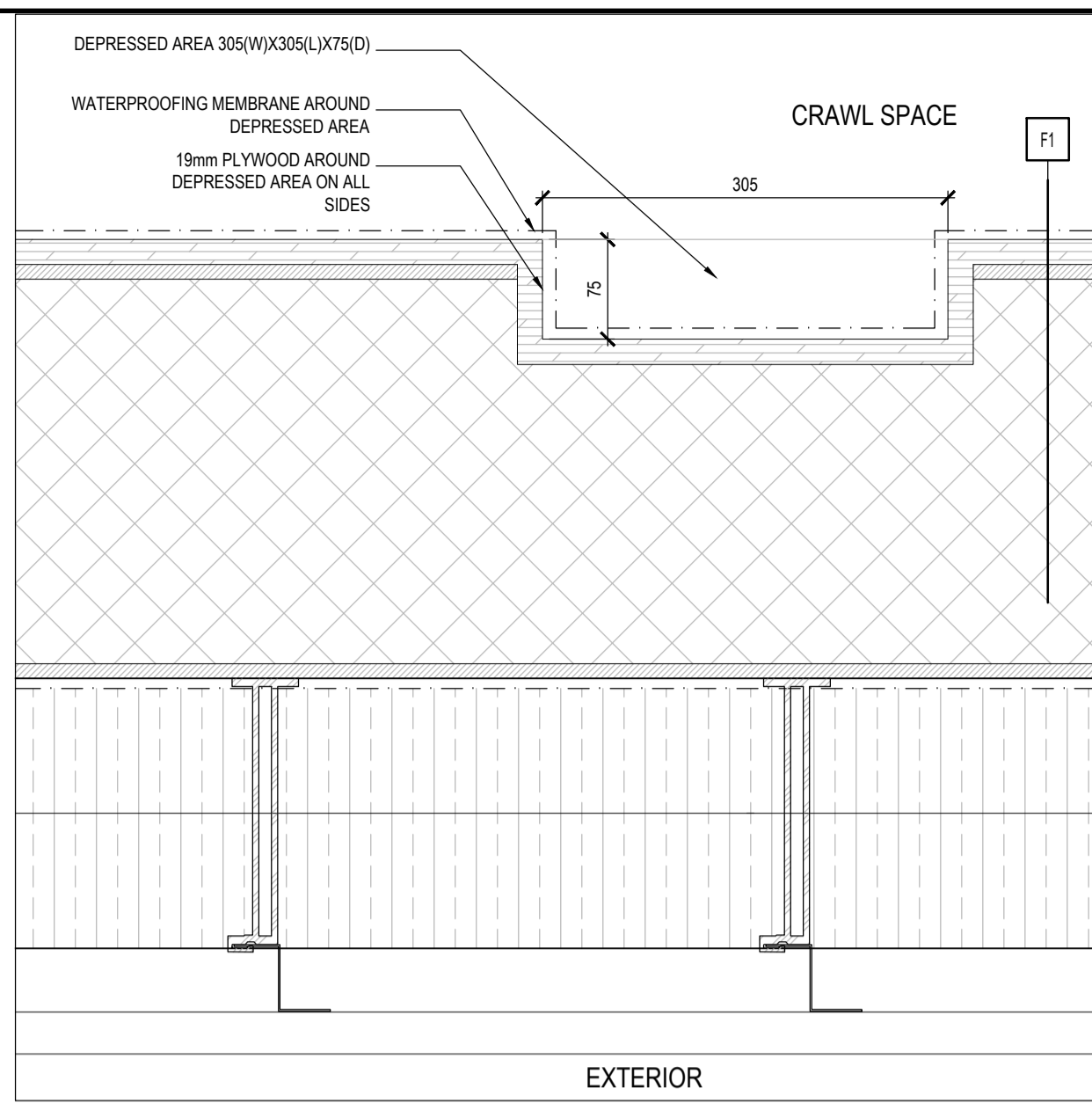




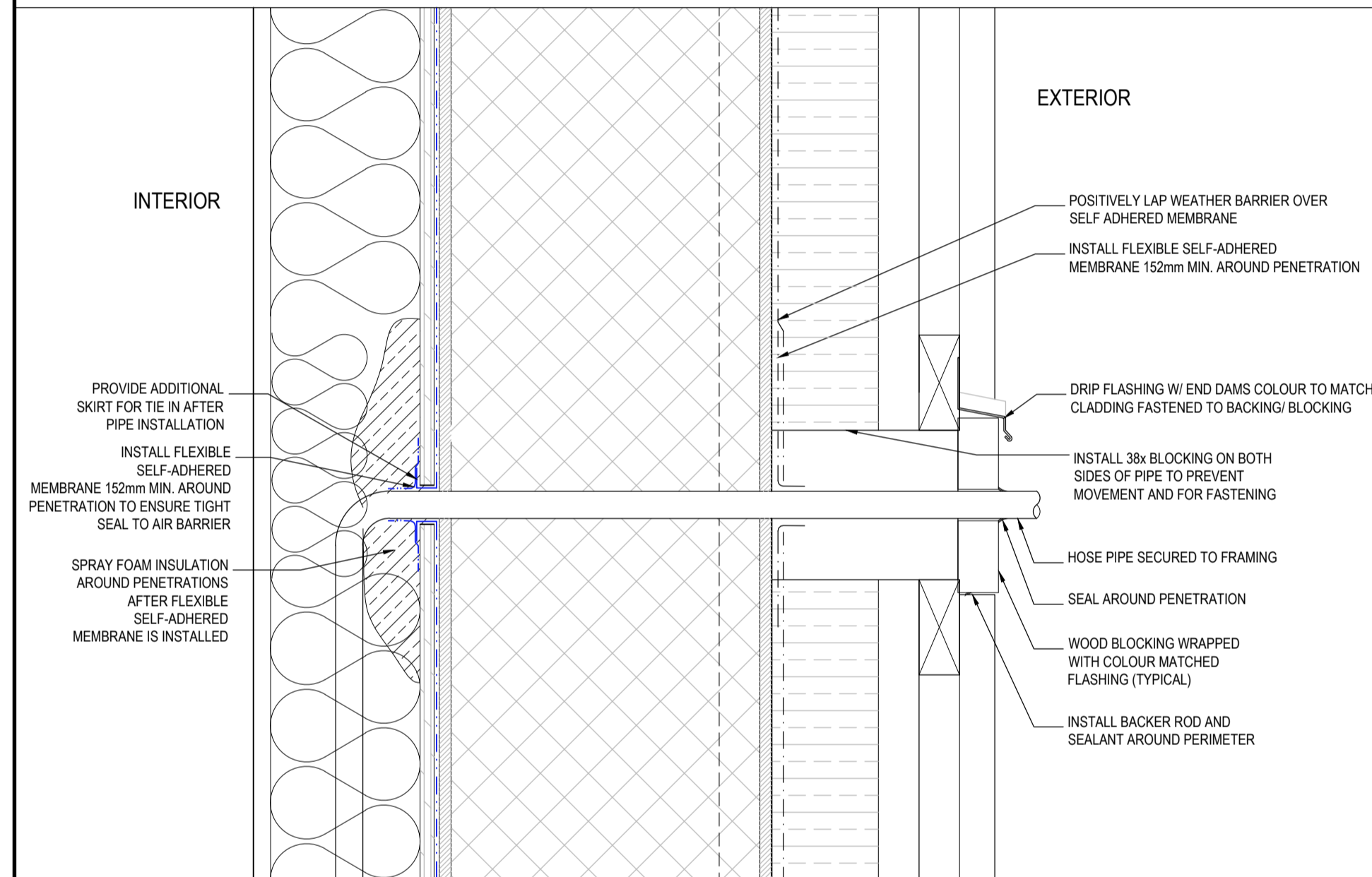
1 EXTERIOR LIGHT FIXTURE
A6.04 SCALE 1:5



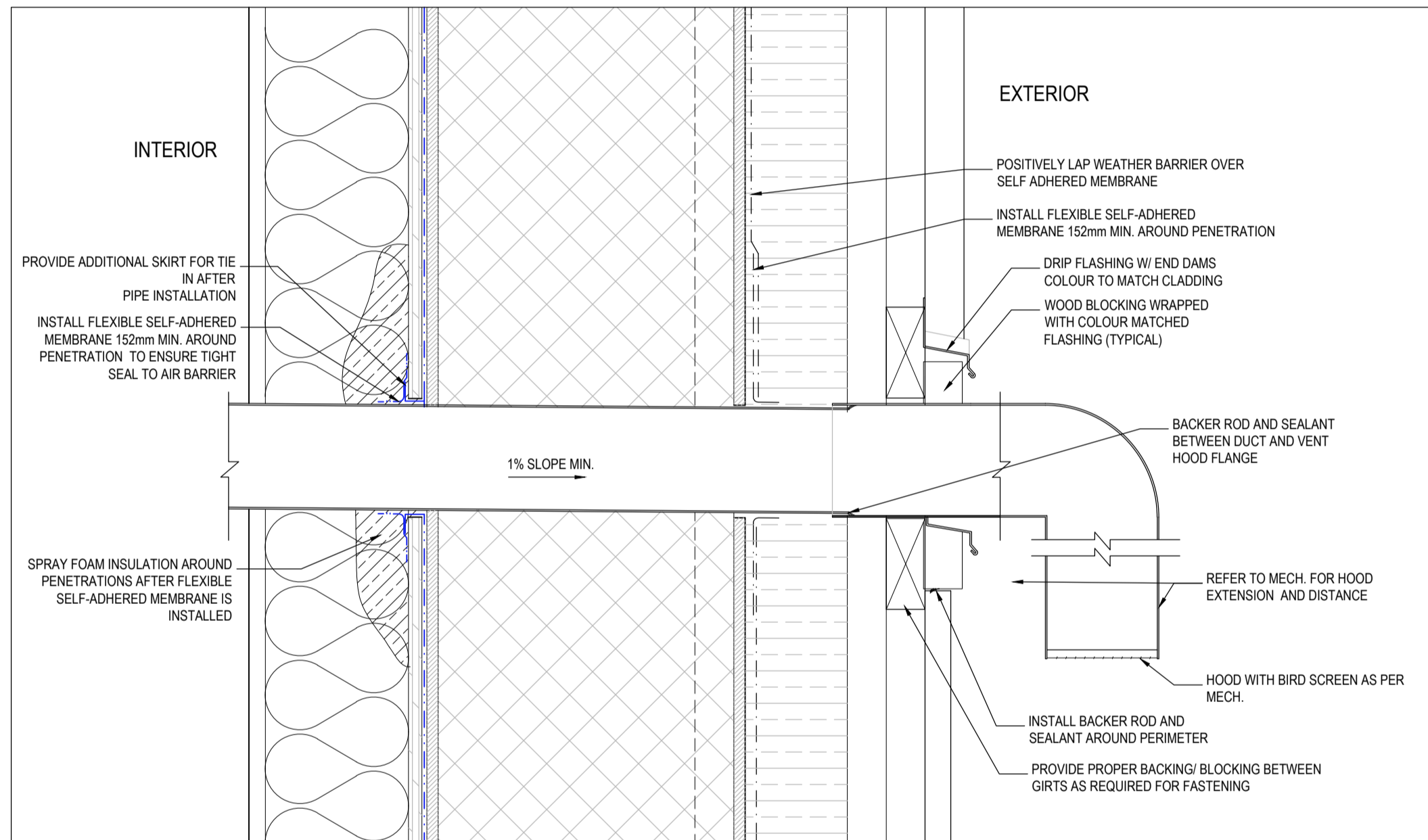
4 EXTERIOR ELECTRICAL BOX
A6.04 SCALE 1:5



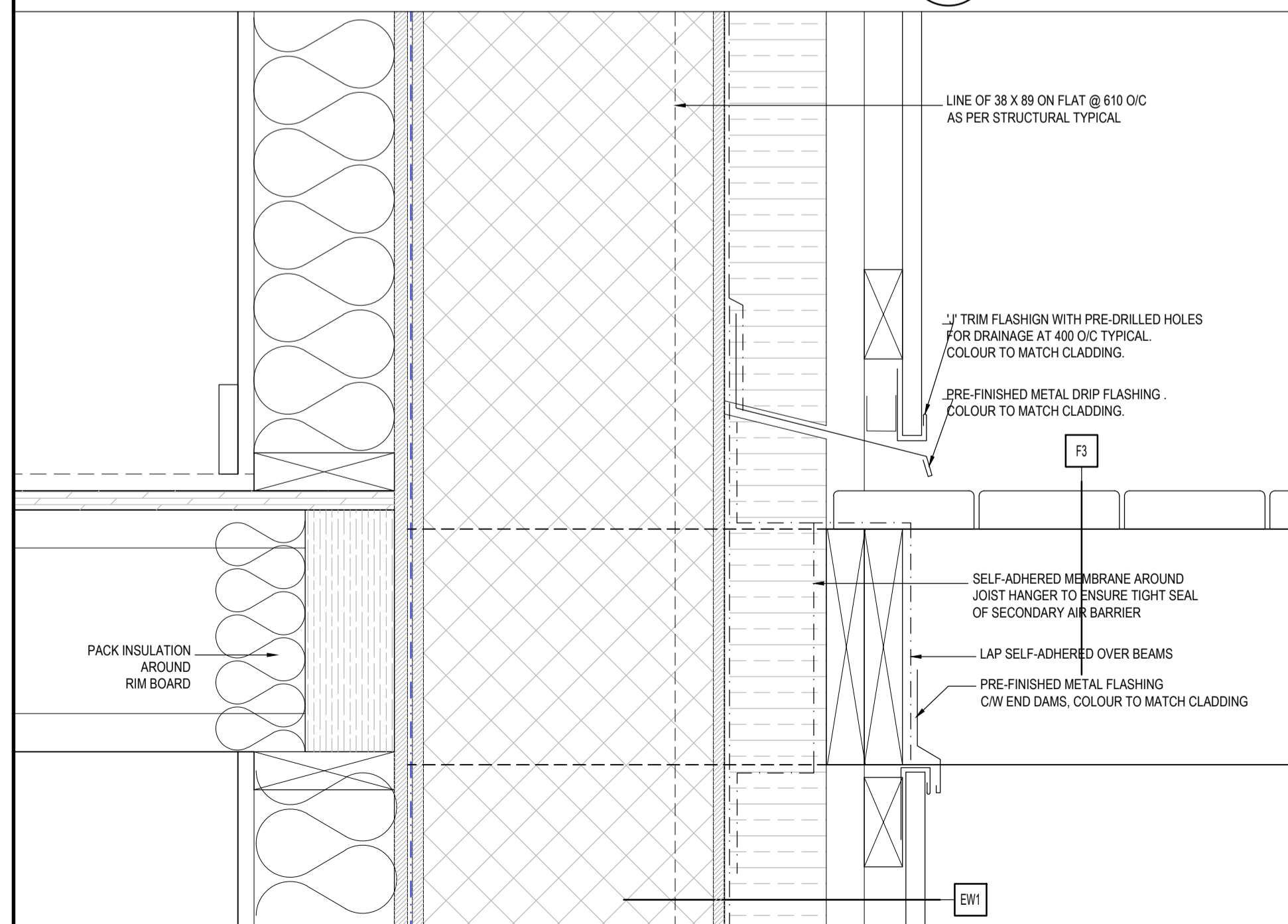
6 CRAWL SPACE FLOOR DEPRESSION FOR SUMP PUMP
A6.04 SCALE 1:5



2 PIPE PENETRATION
A6.04 SCALE 1:5



5 DUCT PENETRATION
A6.04 SCALE 1:5



3 EXTERIOR WALL TO DECK
A6.04 SCALE 1:5

PRELIMINARY
NOT FOR CONSTRUCTION

5		
4		
3		
2	ISSUED FOR TENDER	2022/1/28
1	90% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title: **GREENING NORTHERN HOUSING - POND INLET**

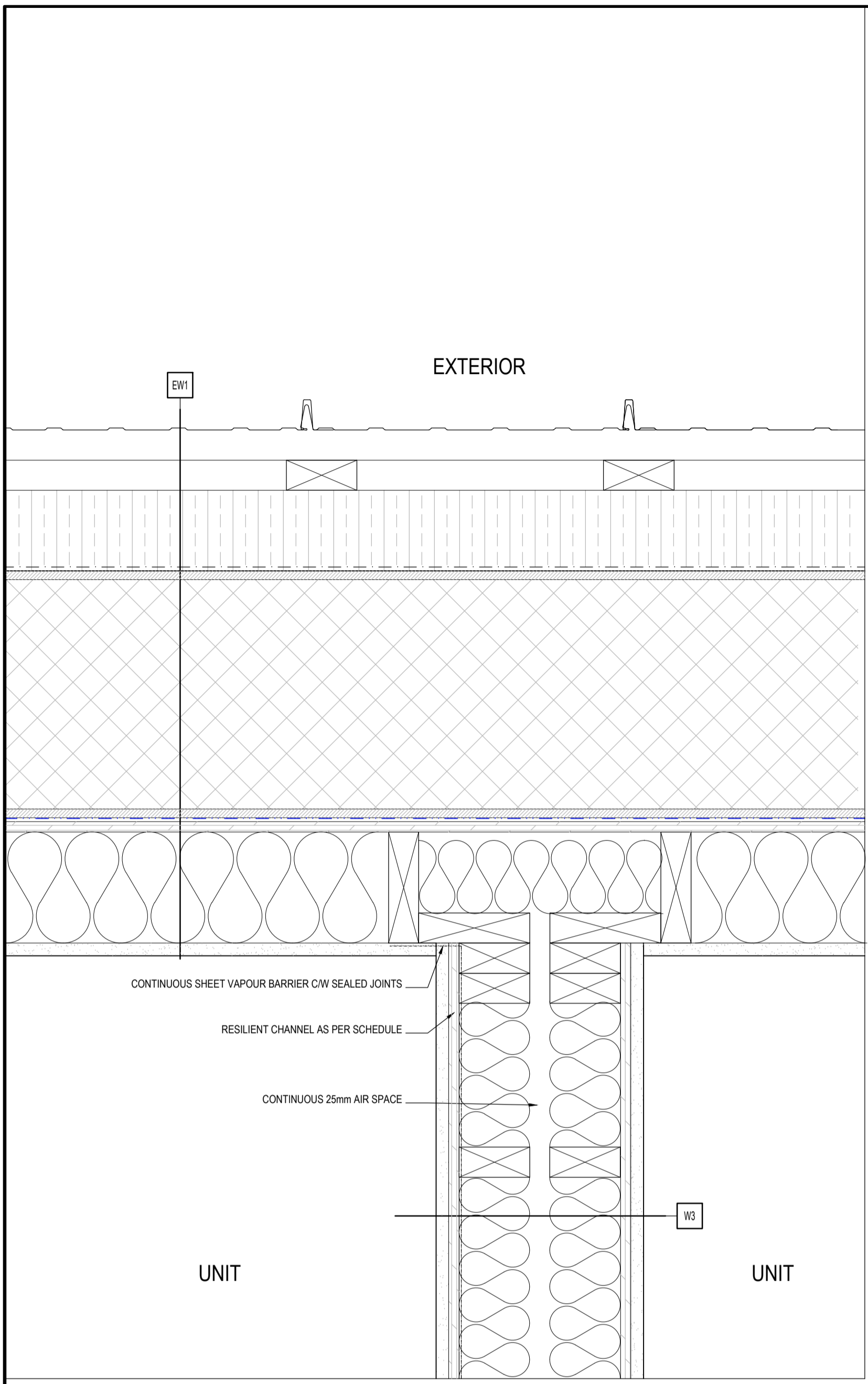
Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**
Conçu par: **SC**
Drawn by: **SC**
Dessiné par: **SC**
Approved by: **SC**
Approuvé par: **SC**

PWSSC Project Manager / Administrateur de Projets TPSSC

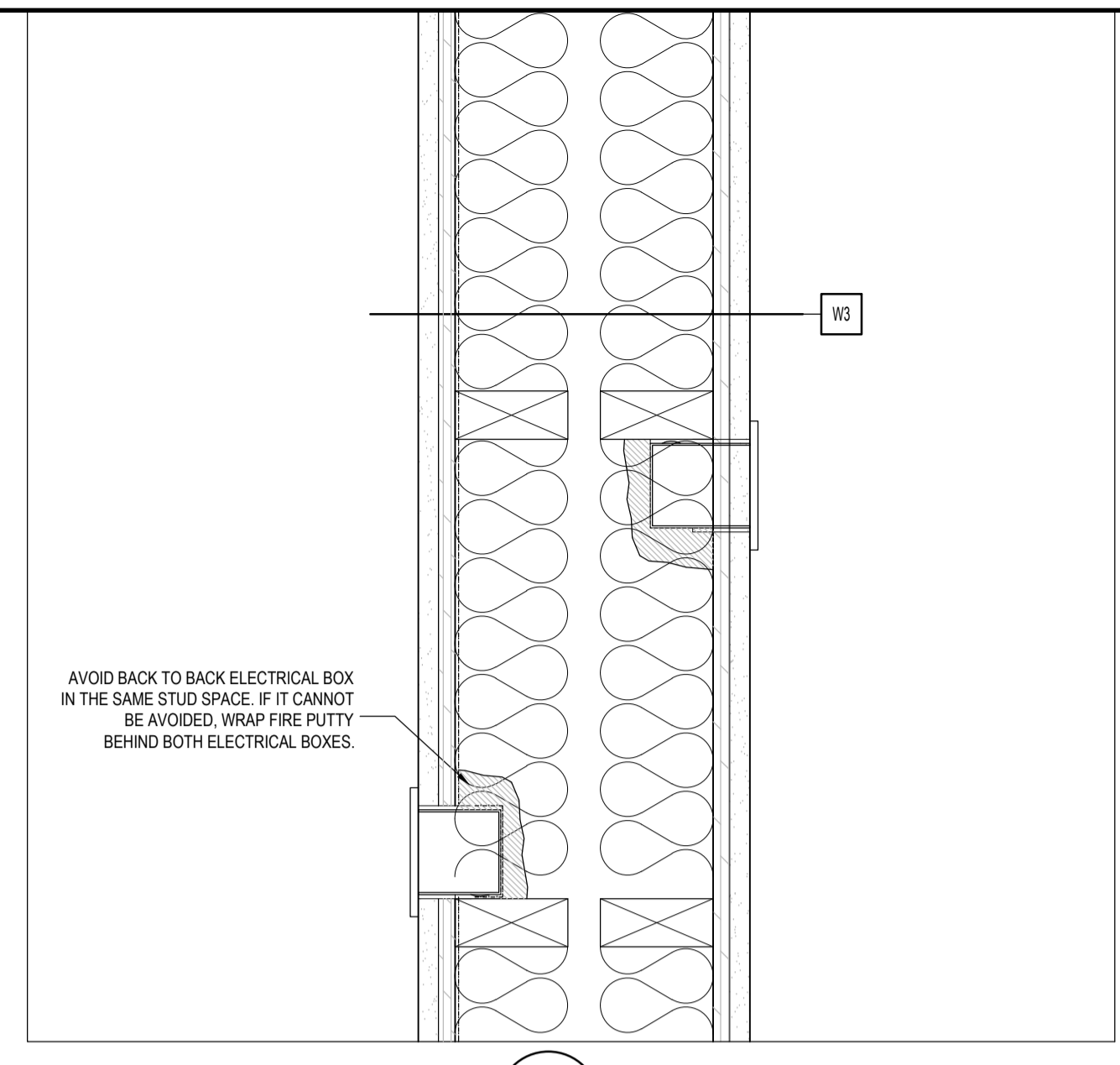
Drawing title: **DETAILS**
Titre du dessin: **DETAILS**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A6.04	0
	OF XX	

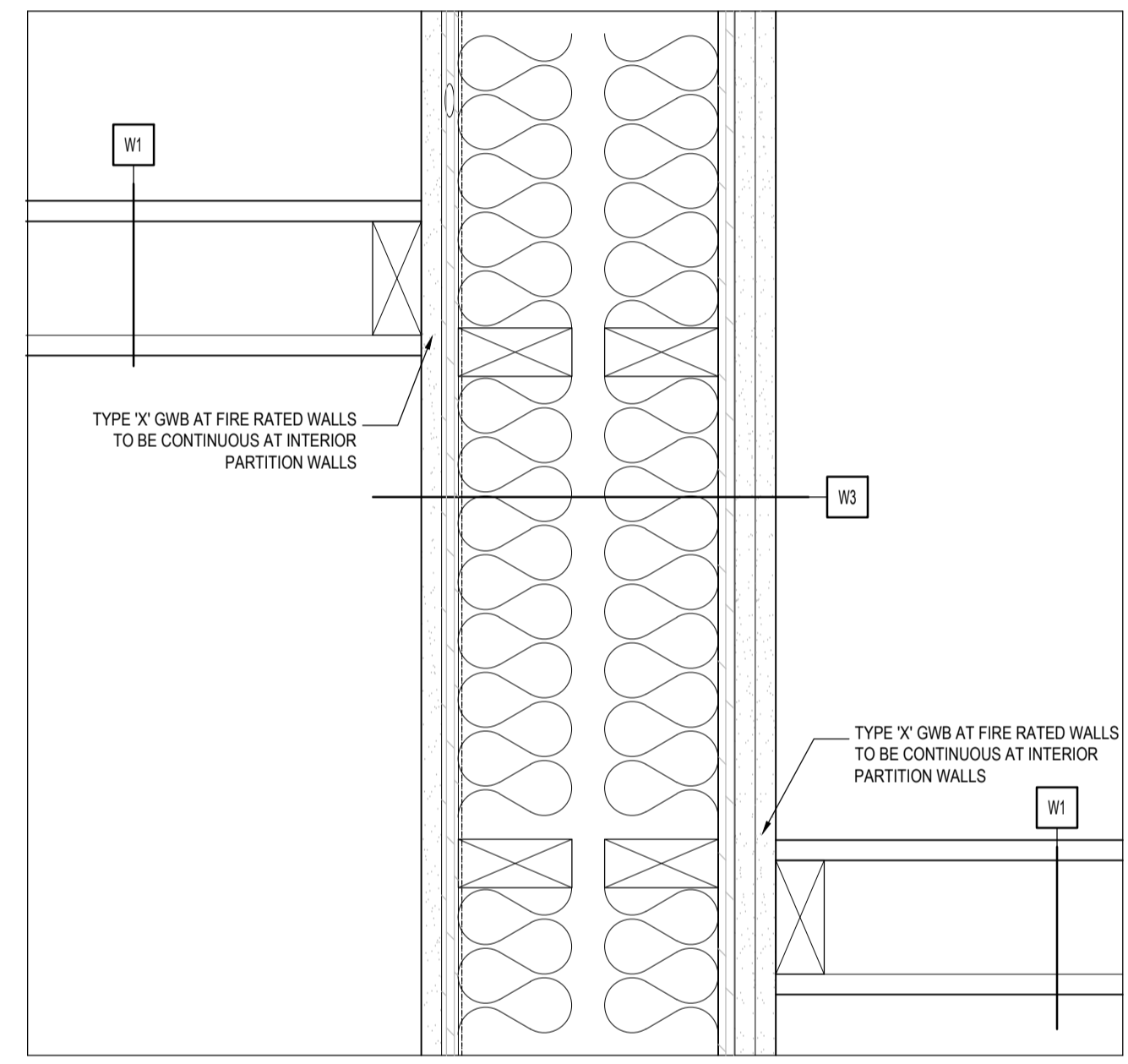
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 NOT FOR CONSTRUCTION



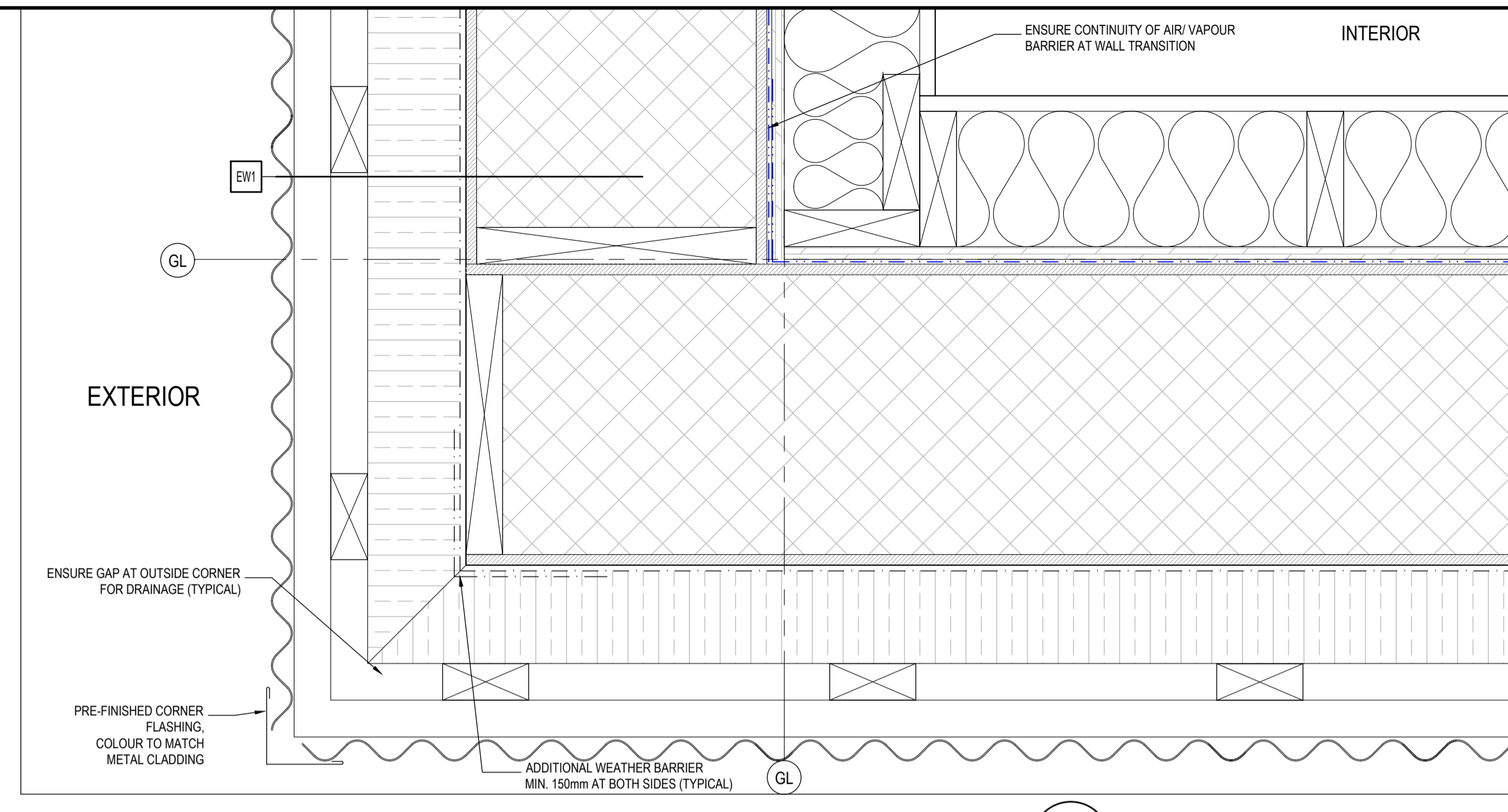
1 PLAN - DEMISING WALL @ EXTERIOR WALL
 SCALE 1:5



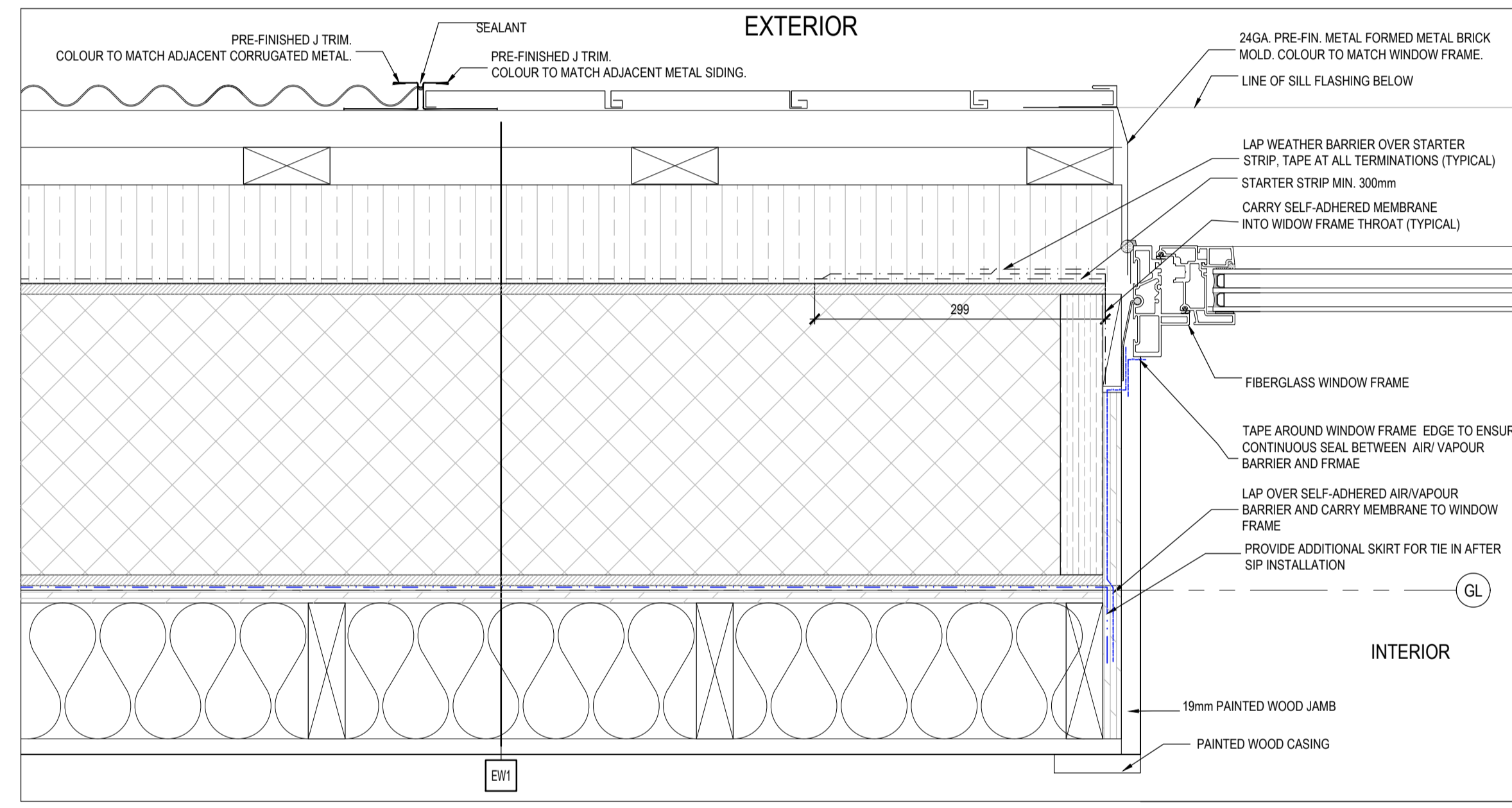
2 BACK TO BACK ELEC. BOX (PLAN VIEW)
 SCALE 1:5



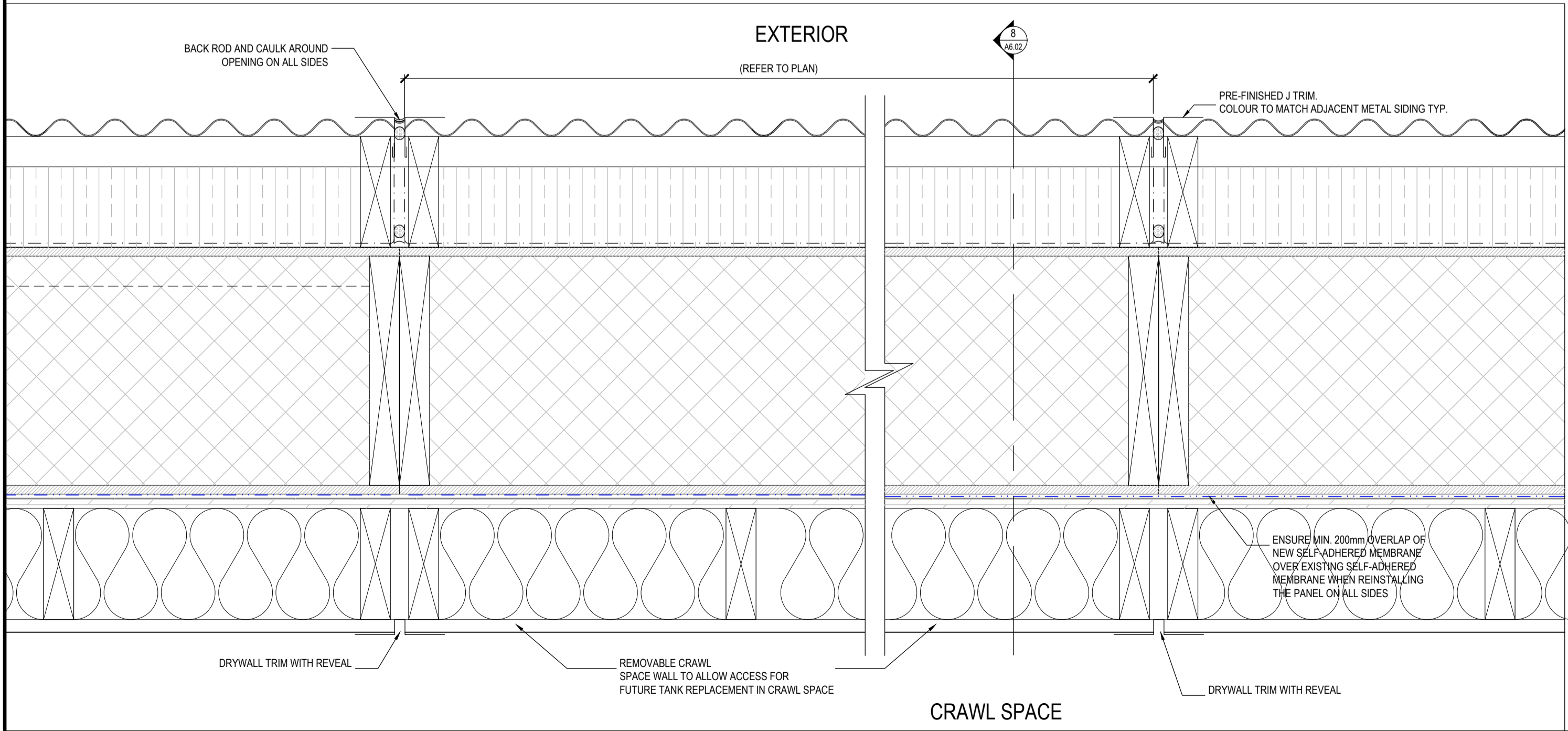
3 INTERIOR PARTITION @ DEMISING WALL (PLAN VIEW)
 SCALE 1:5



4 PLAN DETAIL OF OUTSIDE CORNER
 SCALE 1:5



5 PLAN DETAIL OF WINDOW JAMB
 SCALE 1:5



6 PLAN DETAIL OF REMOVABLE PANEL
 SCALE 1:5

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/02/08
1	90% CD SUBMISSION	2021/12/17
0	60% CD SUBMISSION	2021/09/10

Client: **PARKS CANADA AGENCY**

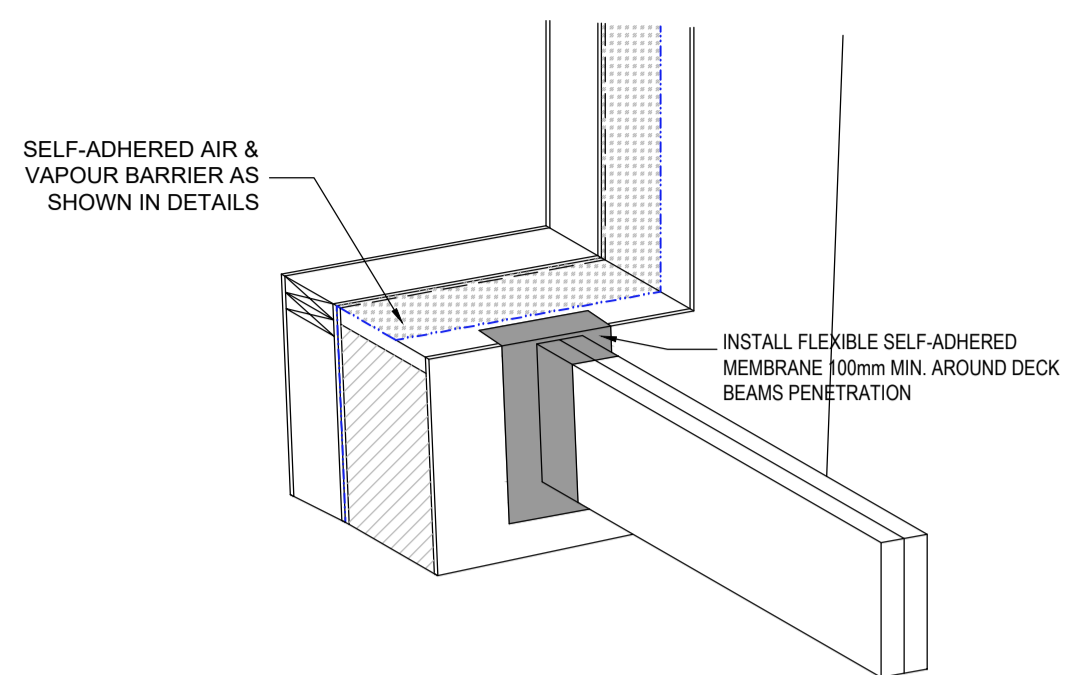
Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**
 Drawn by: **SC**
 Approved by:

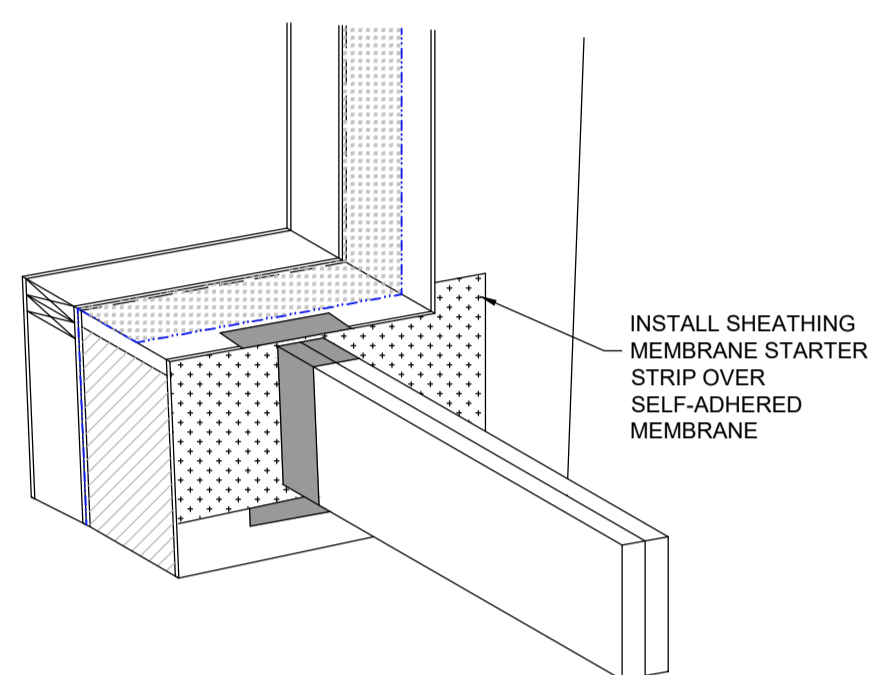
Drawing title: **DETAILS**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A6.05	0
	OF XX	

PRELIMINARY
NOT FOR CONSTRUCTION

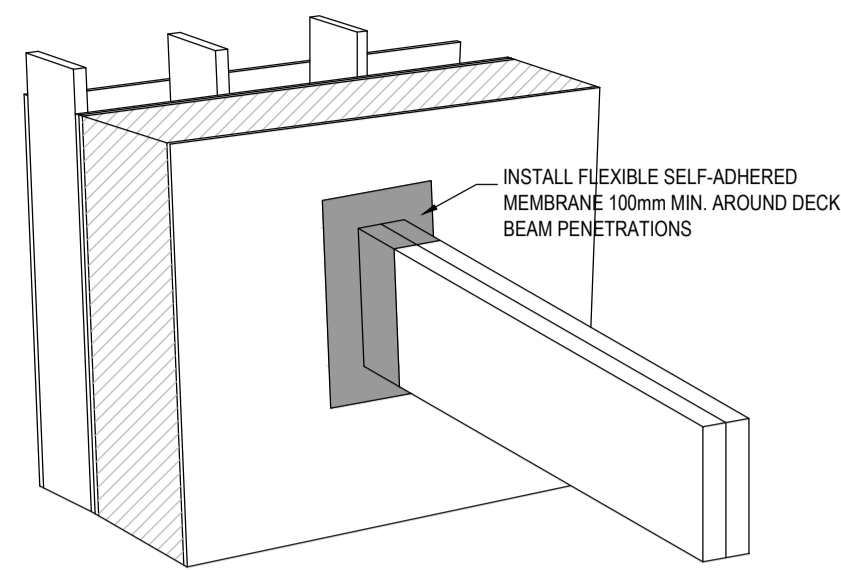


1. Install flexible self-adhered (SA) membrane 100mm min. around deck beam penetrations.

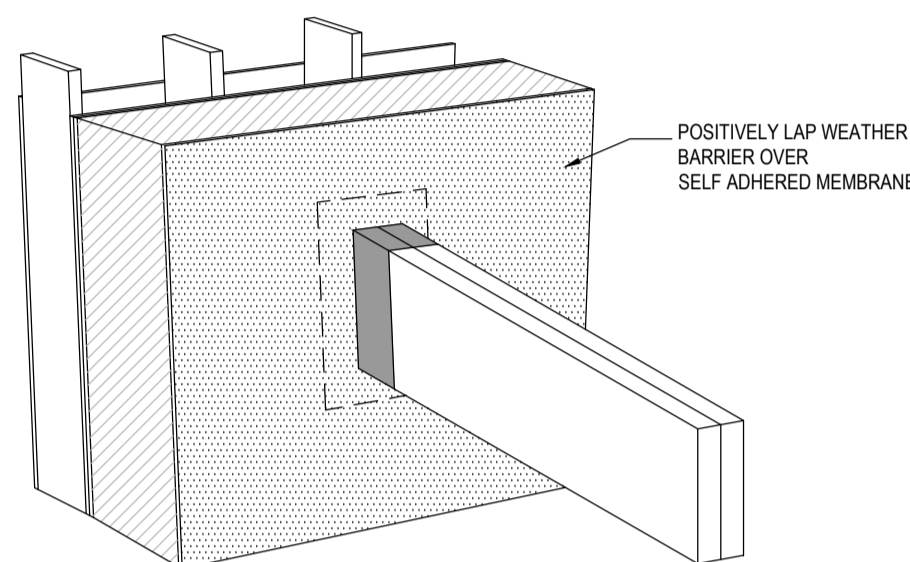


2. Install sheathing membrane starter strip over SA membrane. Continue remaining rough opening sequence as per details.

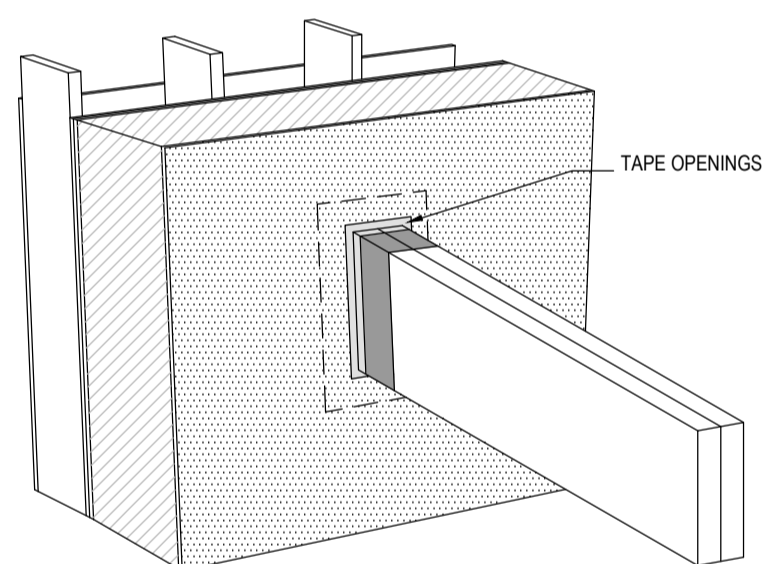
3 DECK BEAM PENETRATION AT SIP WALL AT DOOR OPENING
SCALE 1:5
A6.06



1. Install flexible self-adhered (SA) membrane 100mm min. around deck beam penetrations.

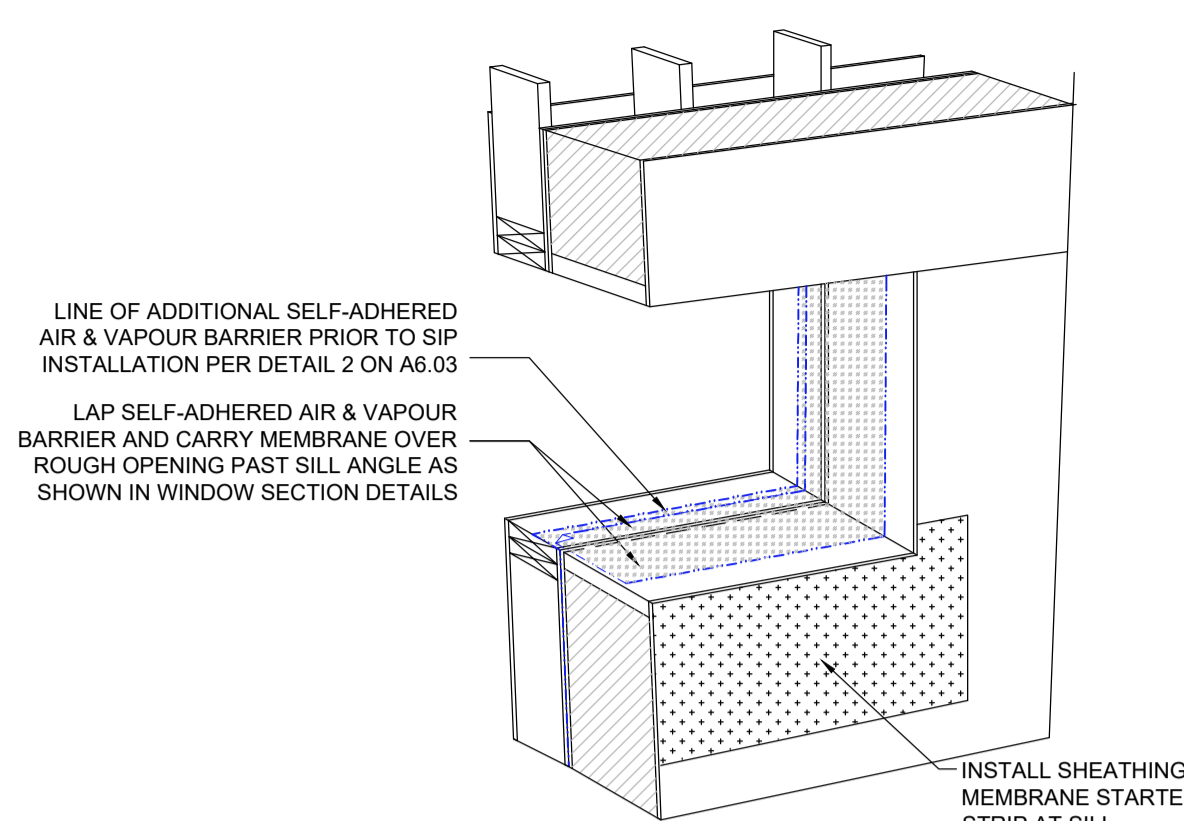


2. Install sheathing membrane over SA membrane.

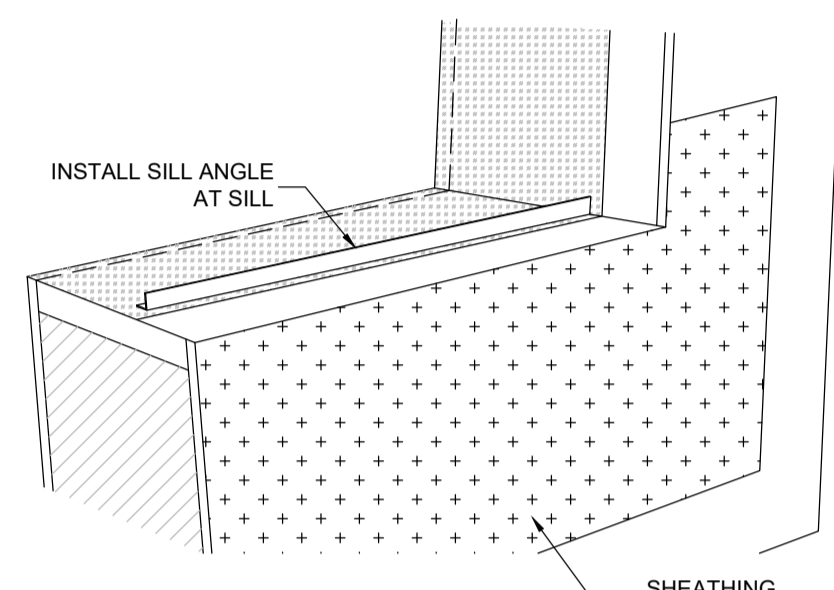


3. TAPE OPENINGS

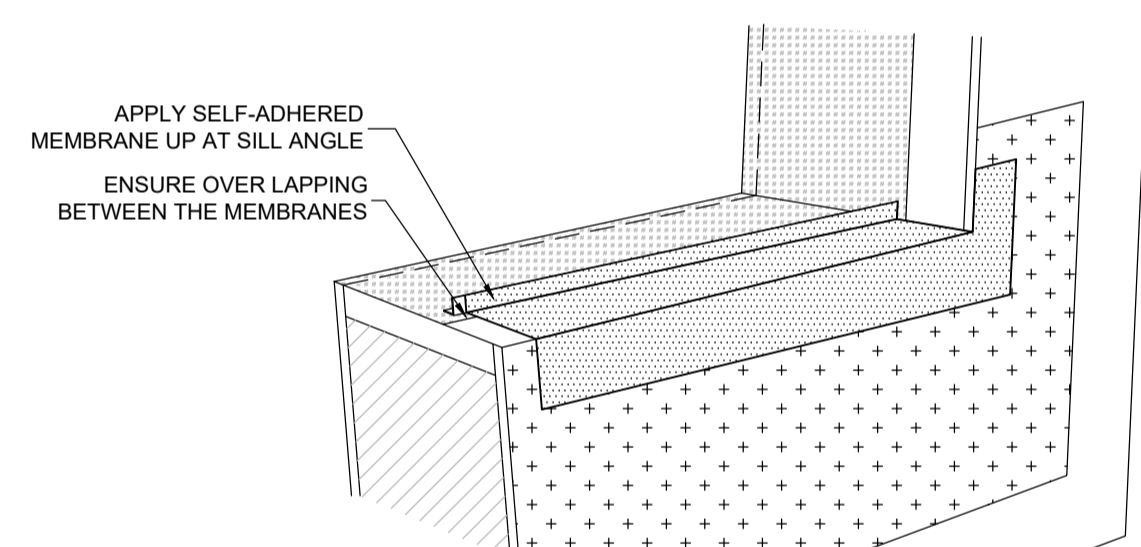
2 DECK BEAM PENETRATION AT SIP WALL
SCALE 1:5
A6.06



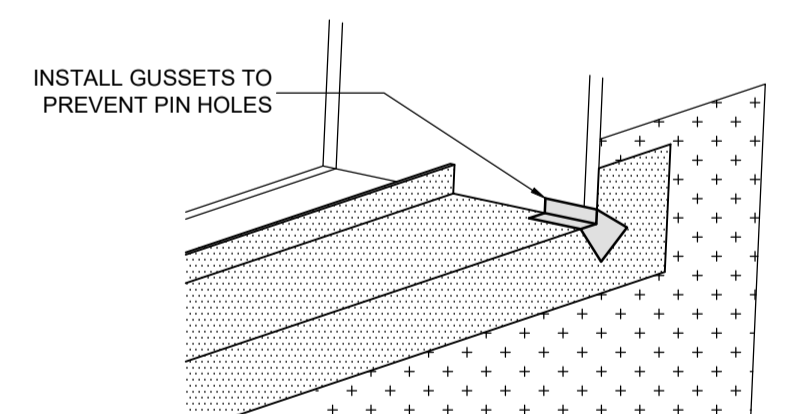
1. Install sheathing membrane starter strip at sill.



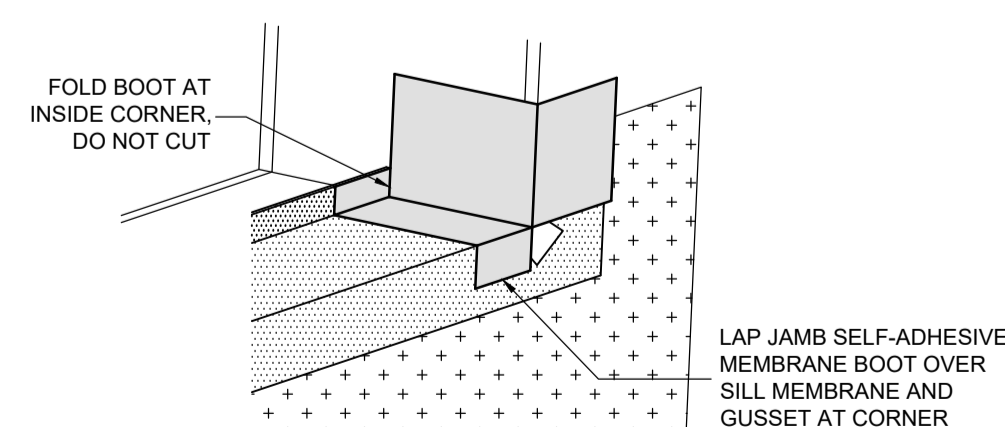
2. Install metal angle at sill.



3. Apply self-adhesive membrane sill, ensure positive slope.

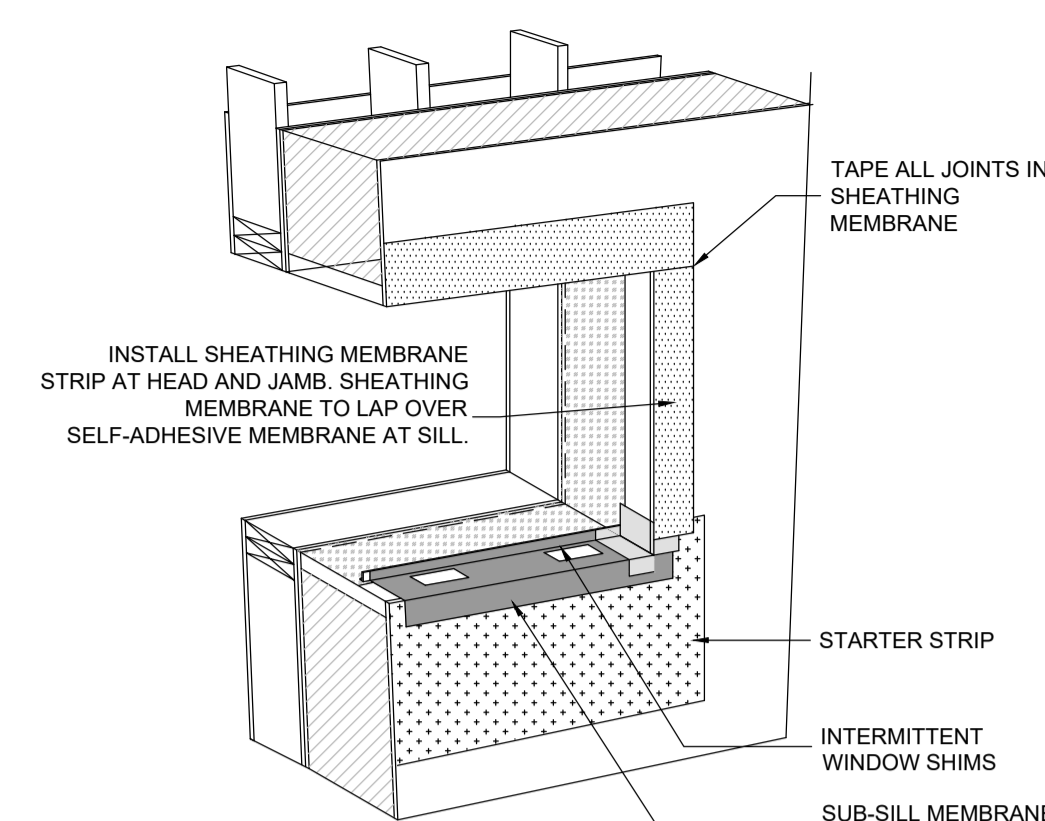


4. Install gussets to prevent pin holes.

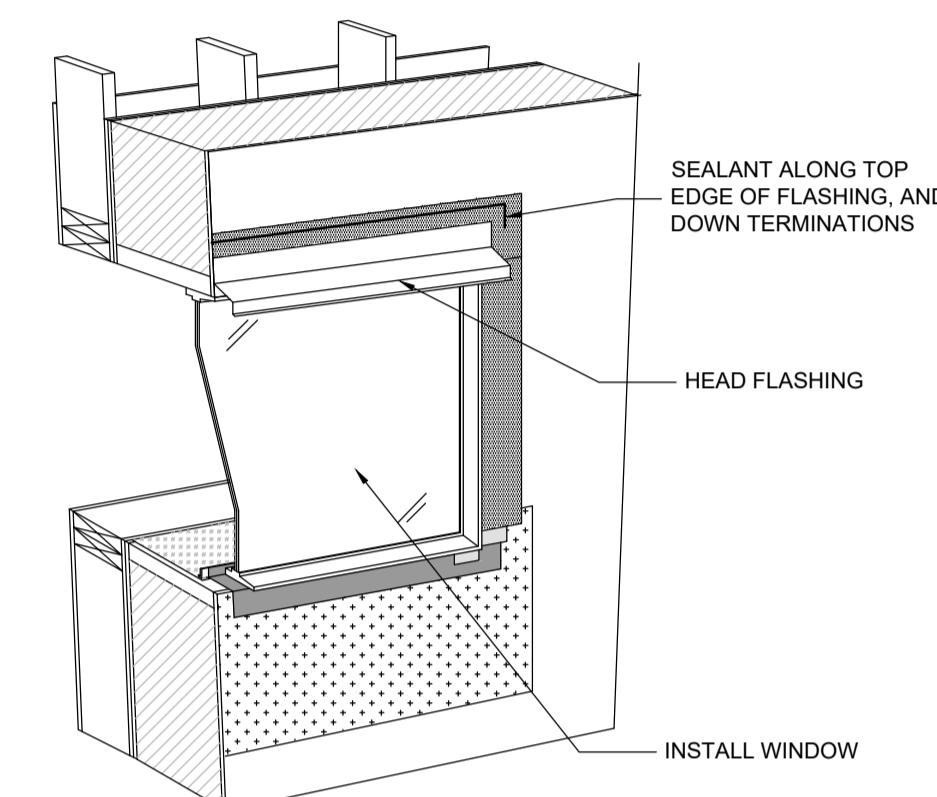


5. Lap jamb self-adhesive membrane boot over sill membrane and gusset at corner.

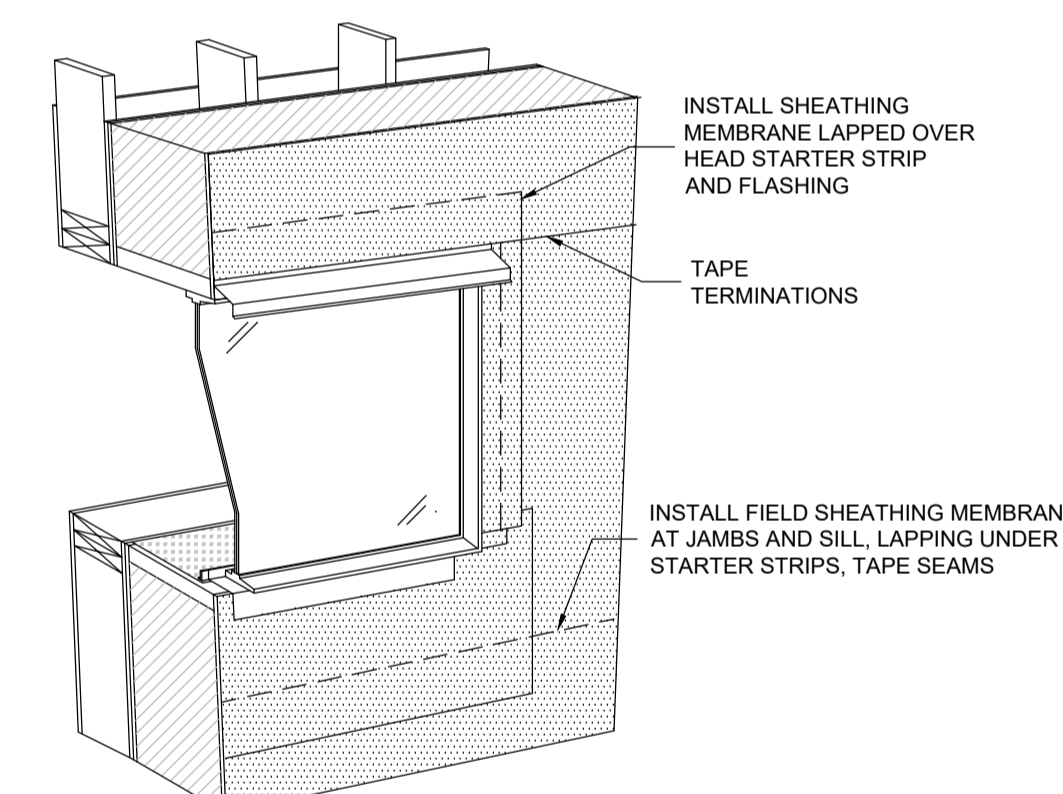
NOTE: REFER ALSO TO WINDOW SECTION DETAILS ON A6.03.



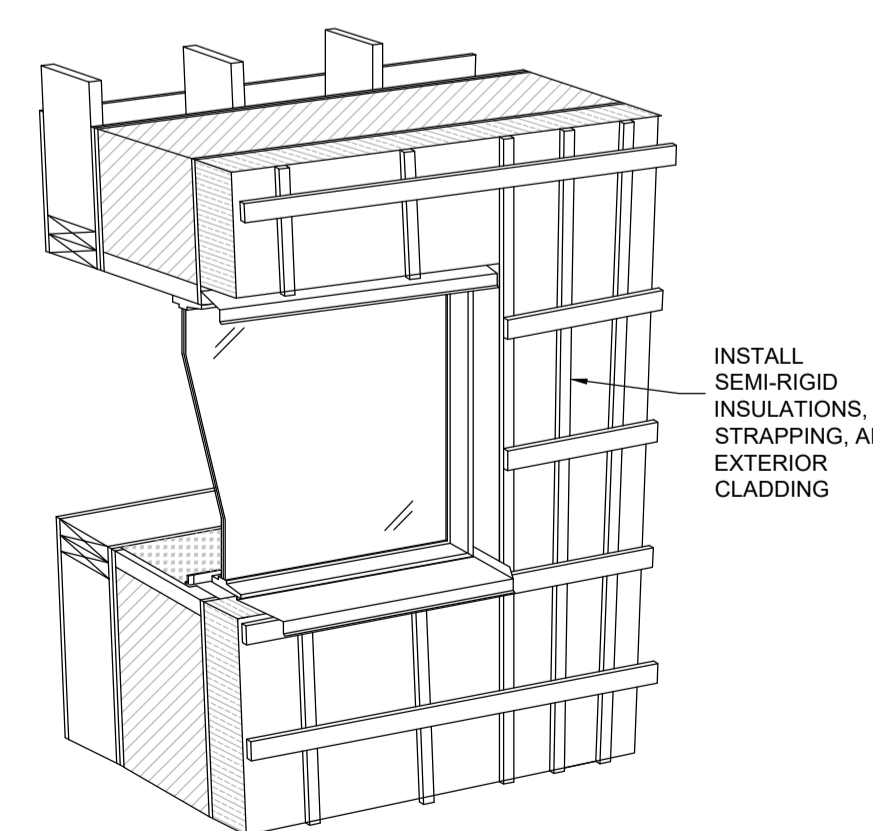
6. Install sheathing membrane starter strips at jamb and head.



7. Install new window unit and head flashing.



8. Apply sealant at window head as shown and lap sheathing membrane over metal flashing.



9. Install outboard semi-rigid insulations, strapping, complete rainscreen as per specified wall assembly and apply associated sealant details.

1 WINDOW INSTALLATION SEQUENCE
SCALE NTS
A6.06

Revision	Description	Date
5		
4		
3		
2		
1	ISSUED FOR TENDER	20201128
0	6% CD SUBMISSION	20210910

Client: PARKS CANADA AGENCY

Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: KOBAYASHI + ZEDDA ARCHITECTS LTD.

Drawn by: SC

Approved by:

PWGSC Project Manager / Administrateur de Projets TPSCG

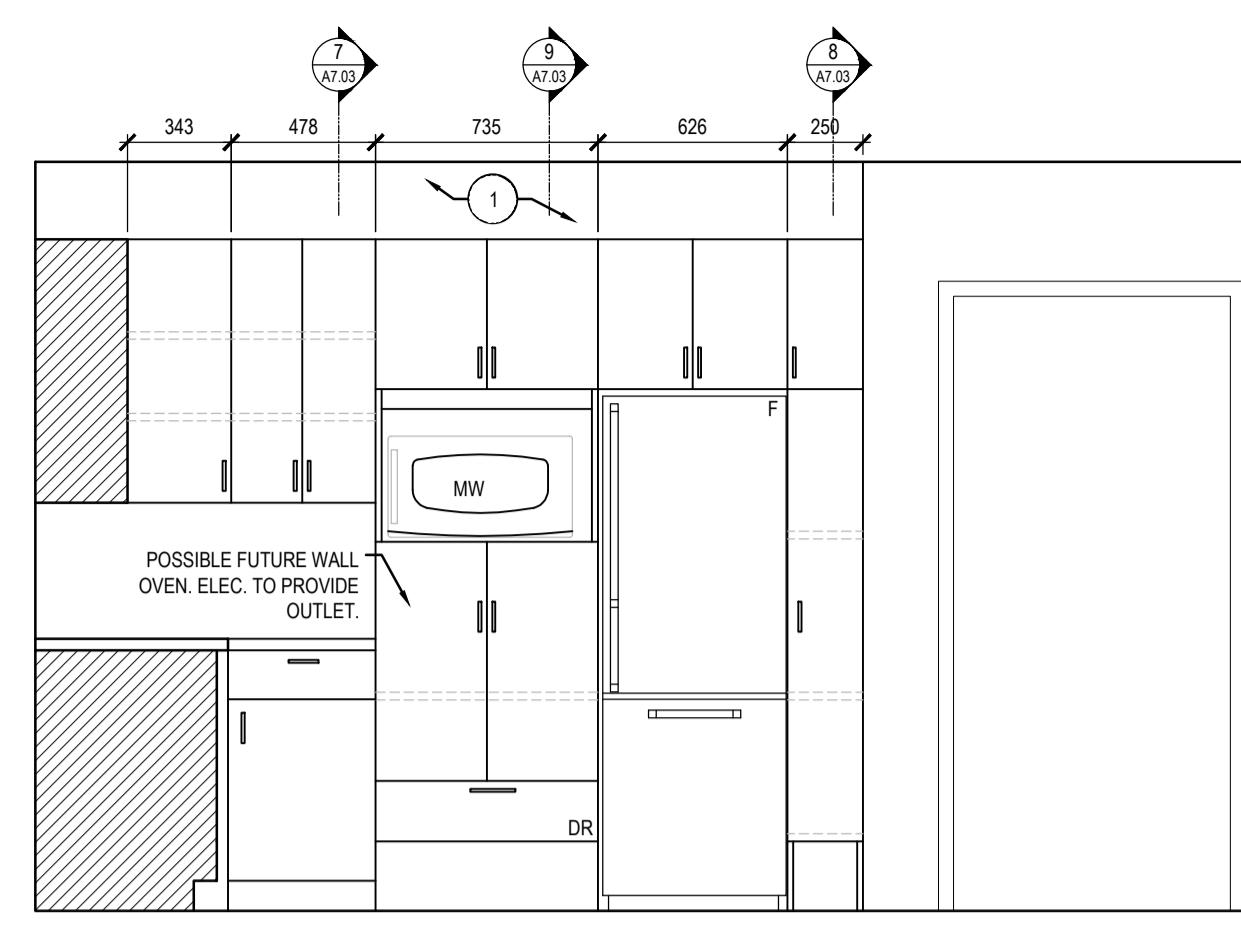
Drawing title: DETAILS

Project no./No. du projet: A6.06

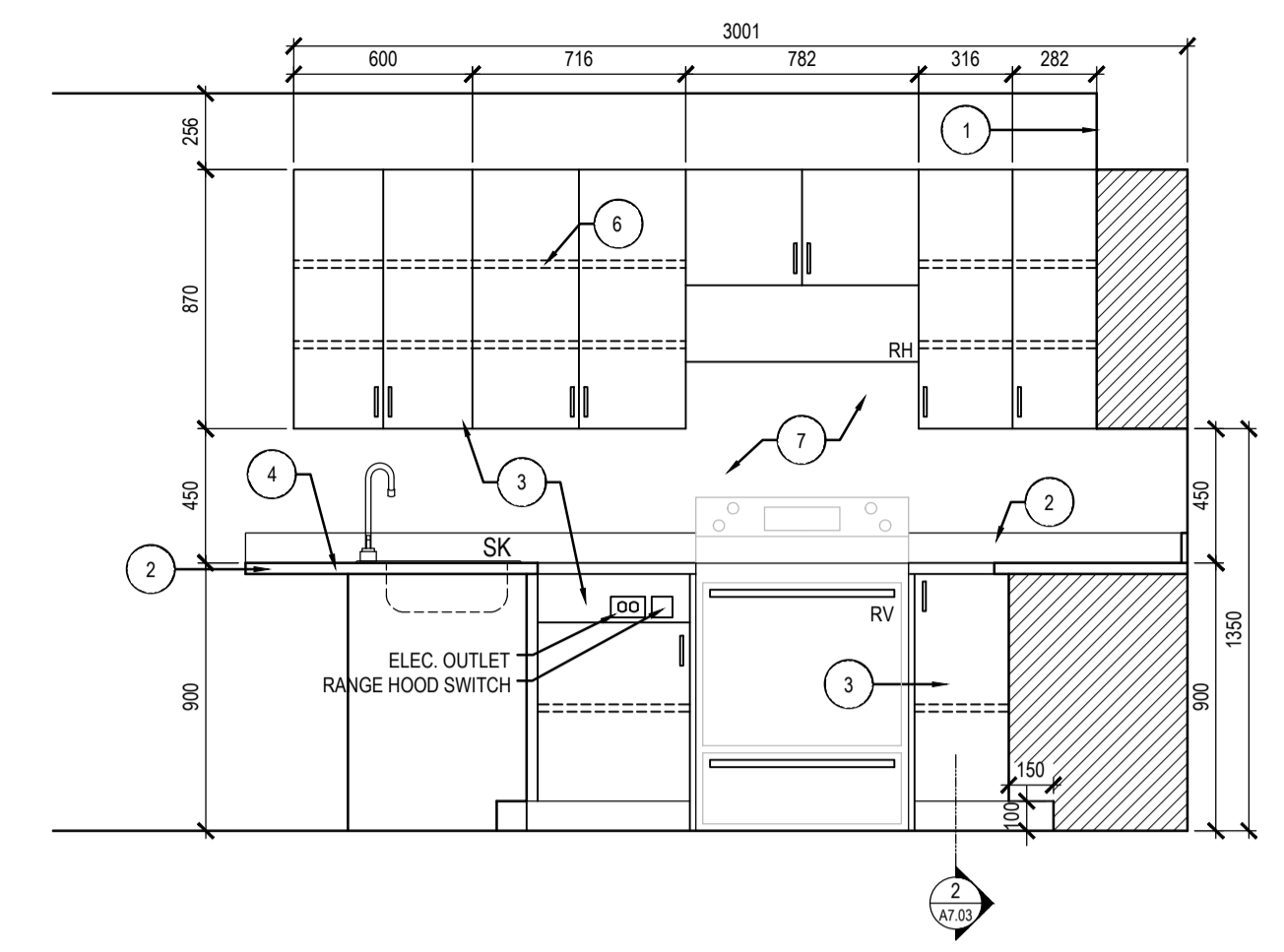
Drawing no./No. du dessin: 0

Revision no.: OF XX

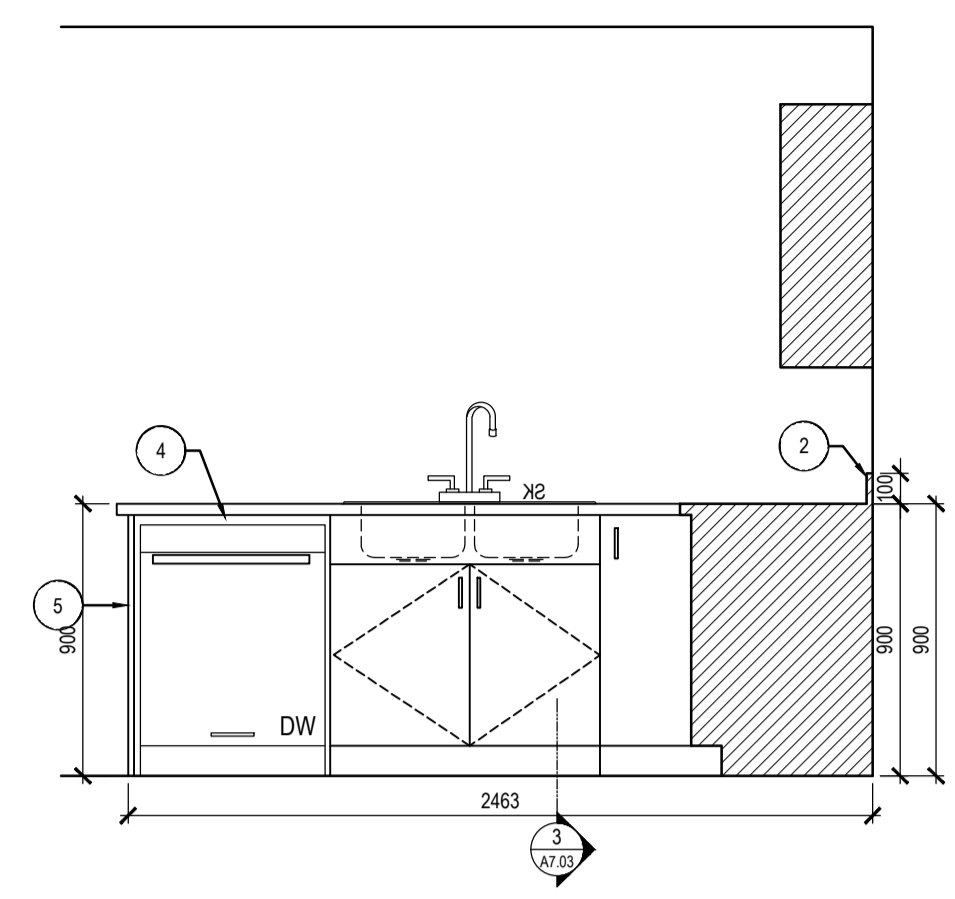
PRELIMINARY
 NOT FOR CONSTRUCTION



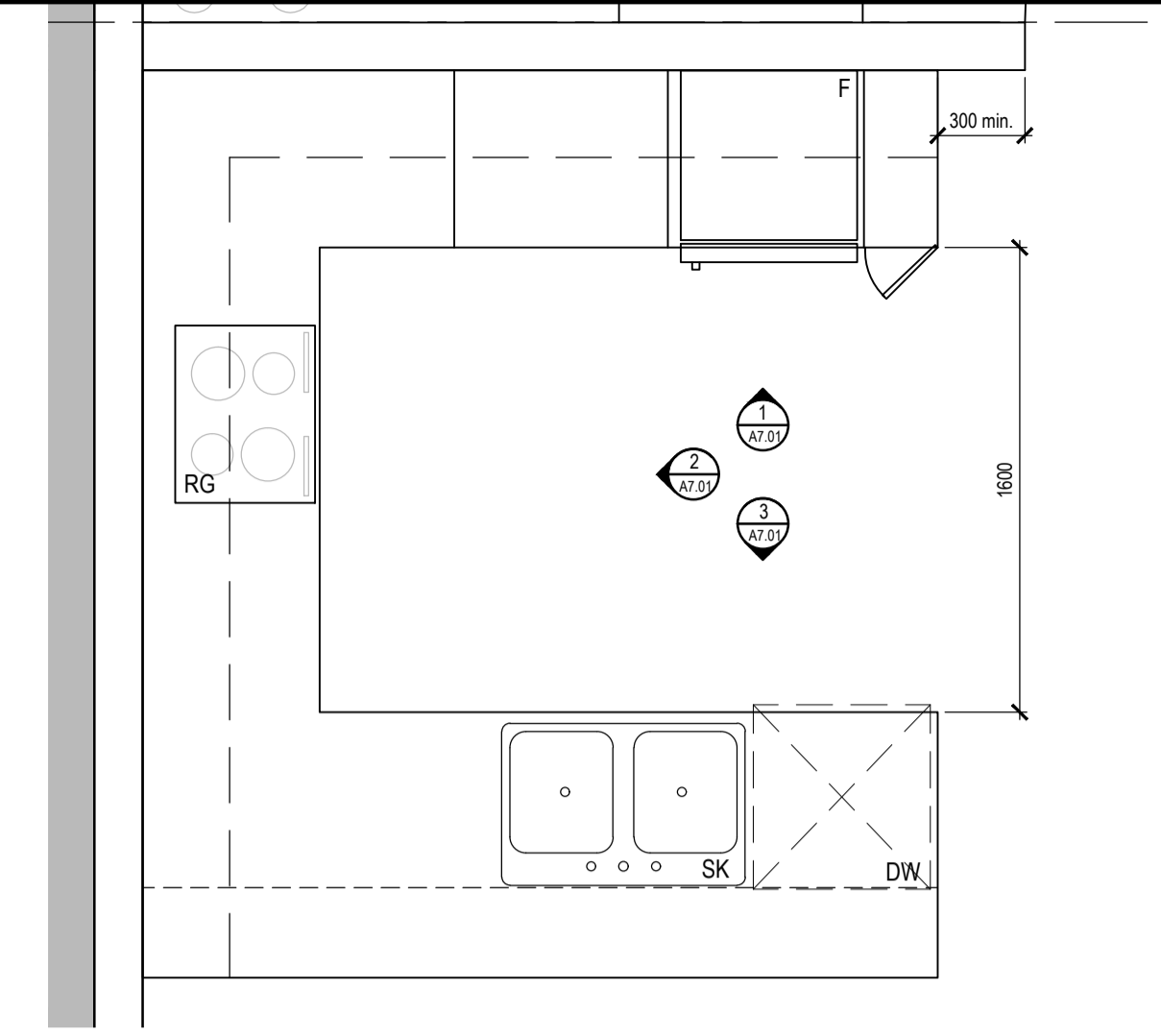
1 A104 KITCHEN ELEVATION
 A7.01 SCALE 1:25



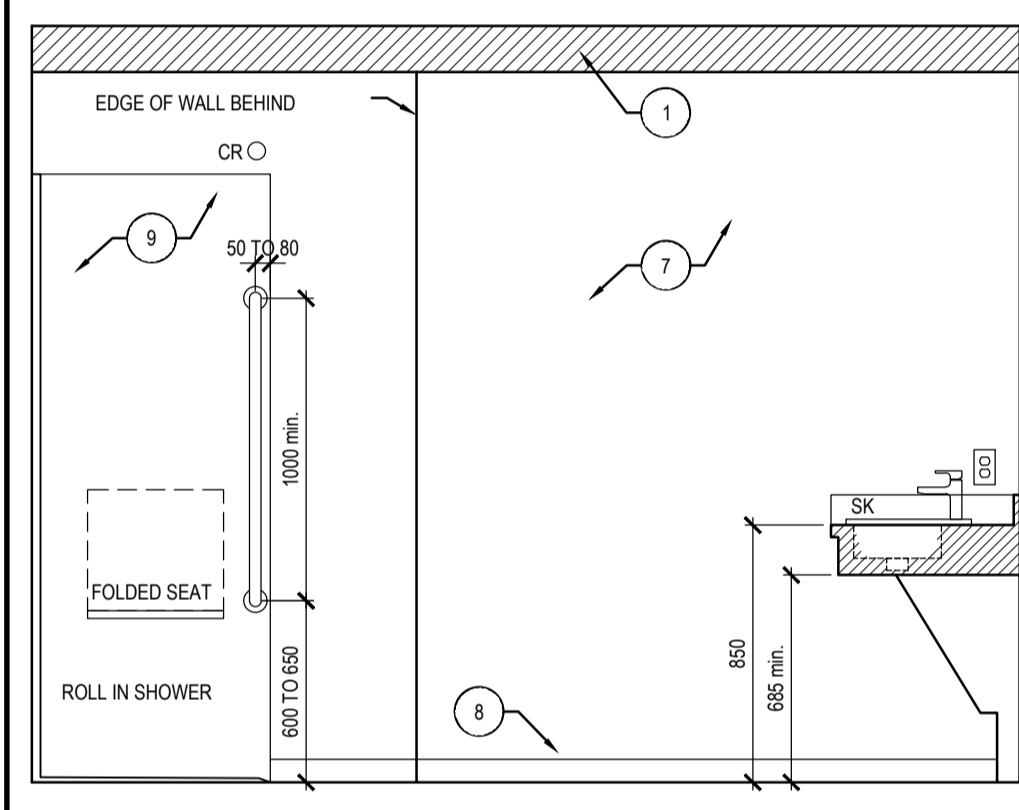
2 A104 KITCHEN ELEVATION
 A7.01 SCALE 1:25



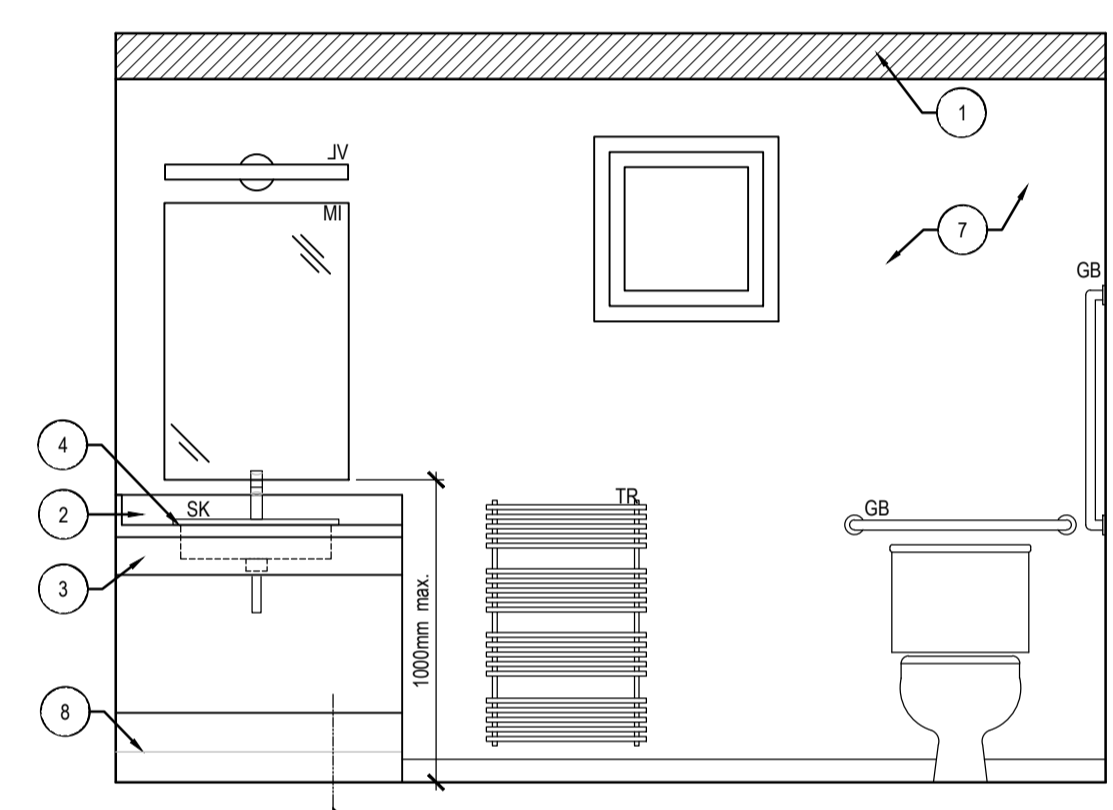
3 A104 KITCHEN ELEVATION
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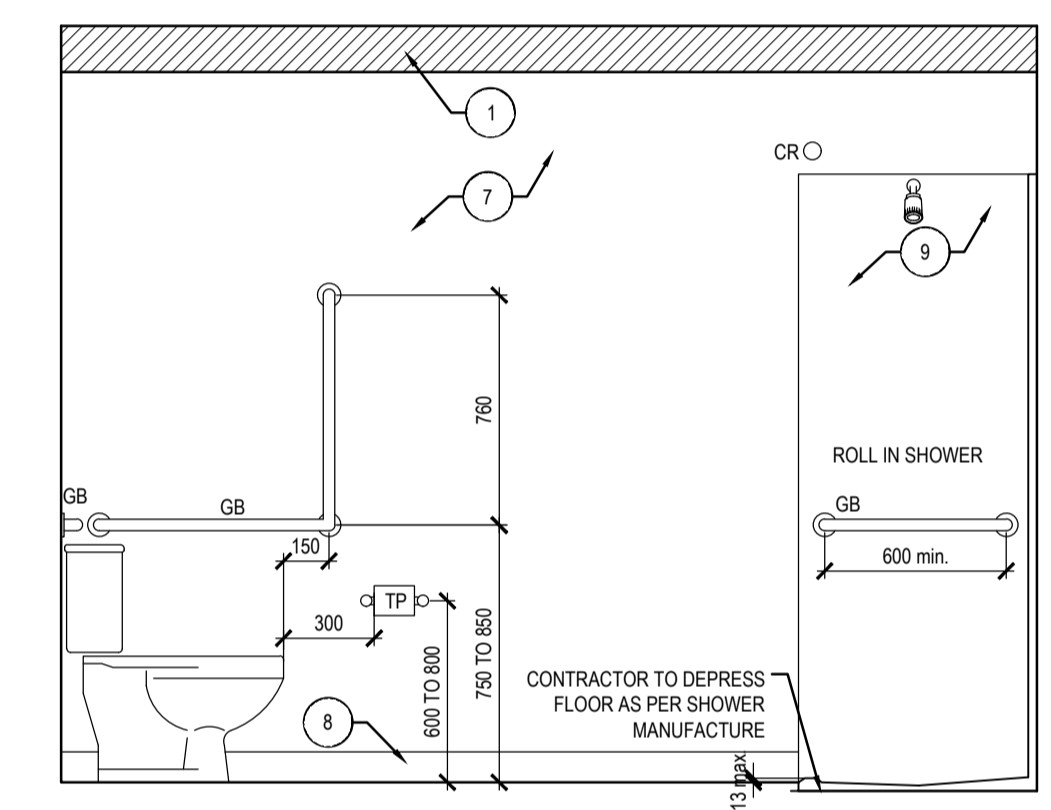
4 A104 KITCHEN PLAN
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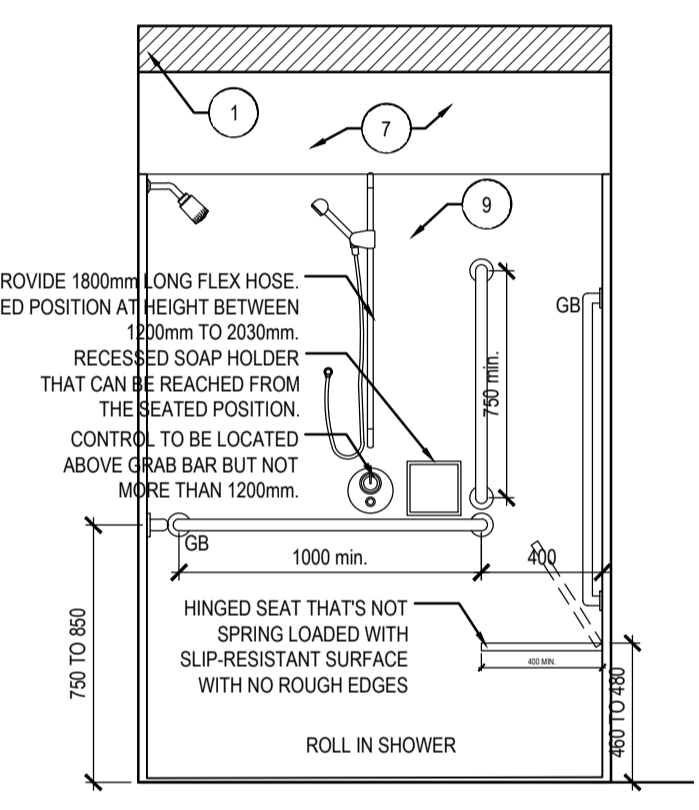
5 A107 W/C ELEVATION
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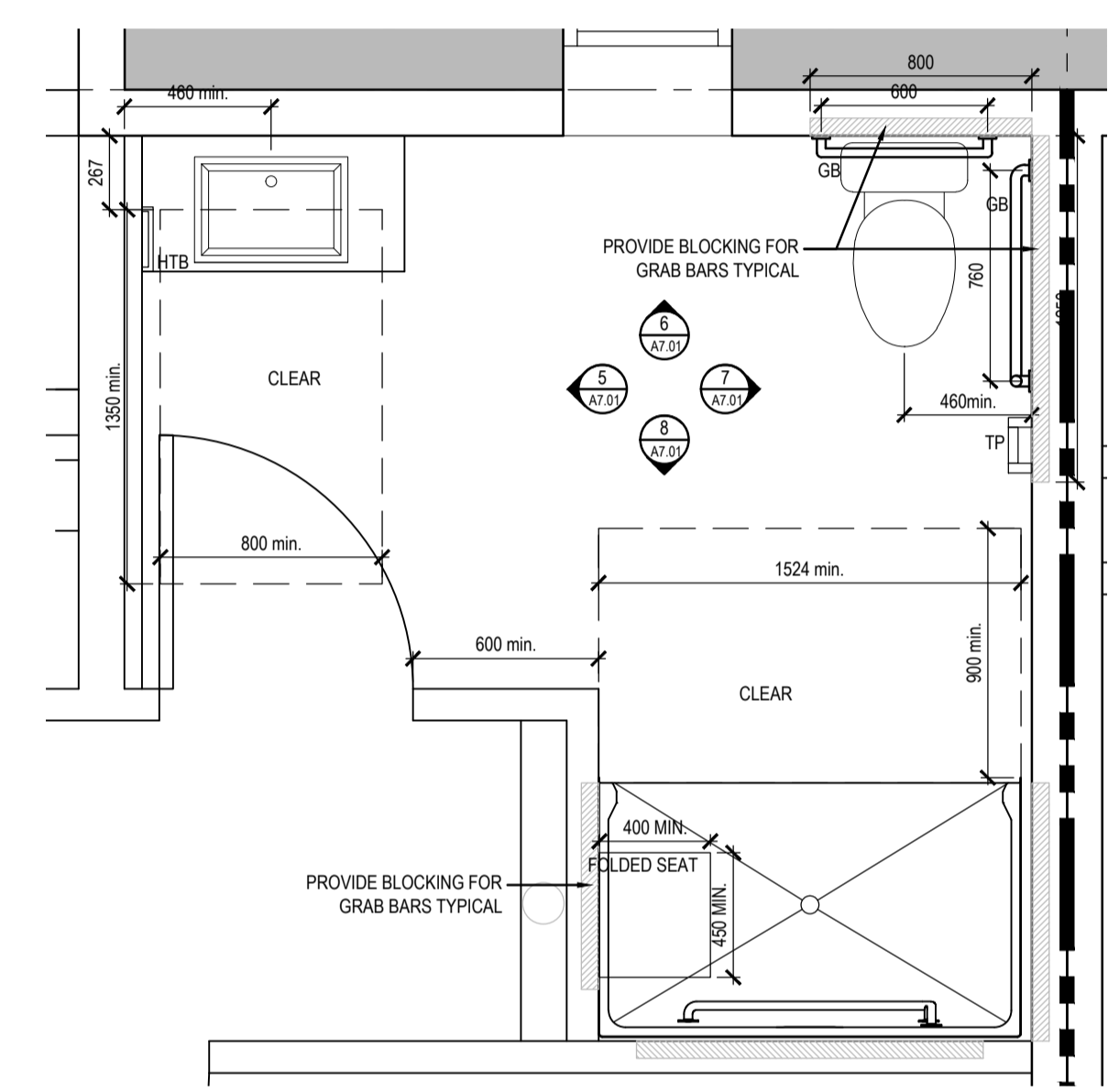
6 A107 W/C ELEVATION
 A7.01 SCALE 1:25



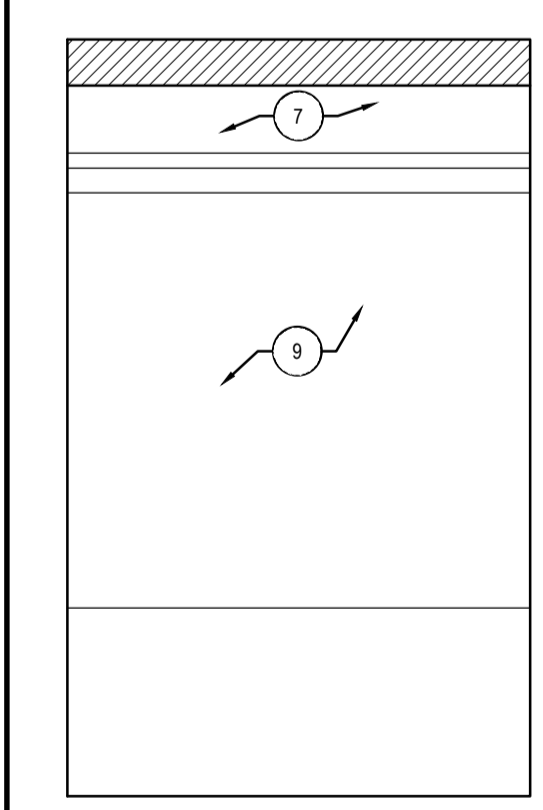
7 A107 W/C ELEVATION
 A7.01 SCALE 1:25



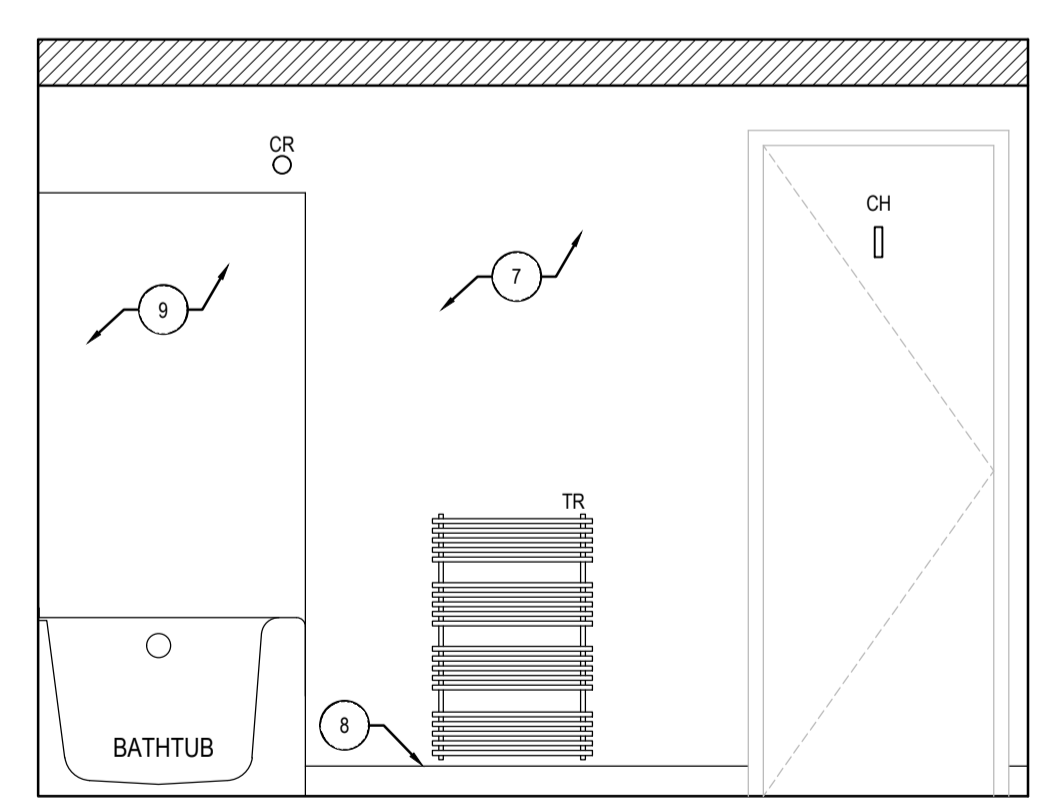
8 A107 W/C ELEVATION
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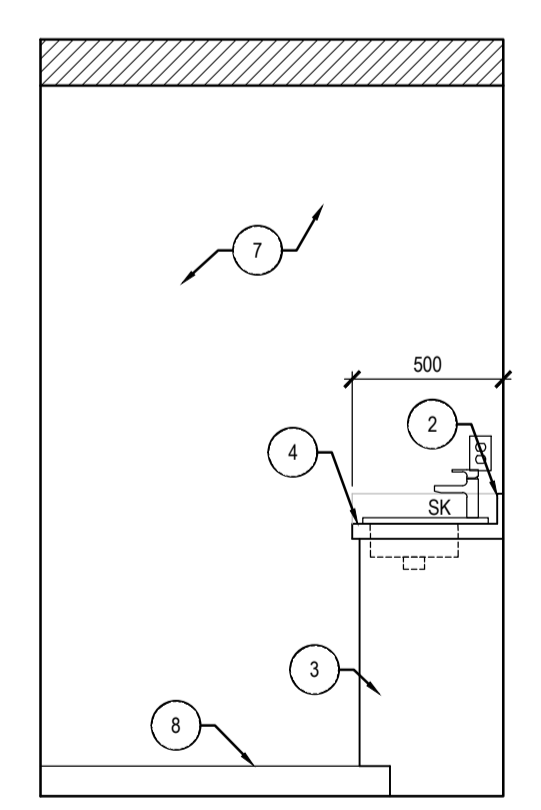
9 A107 W/C PLAN
 A7.01 SCALE 1:25



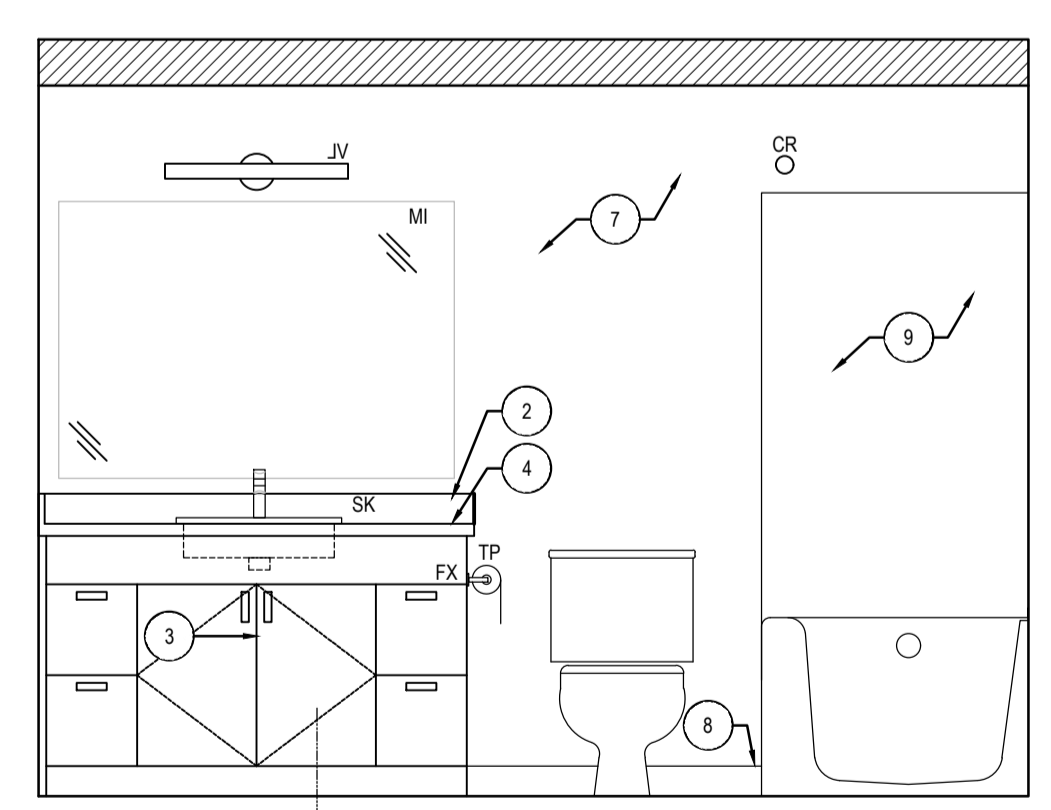
10 A207 W/C ELEVATION
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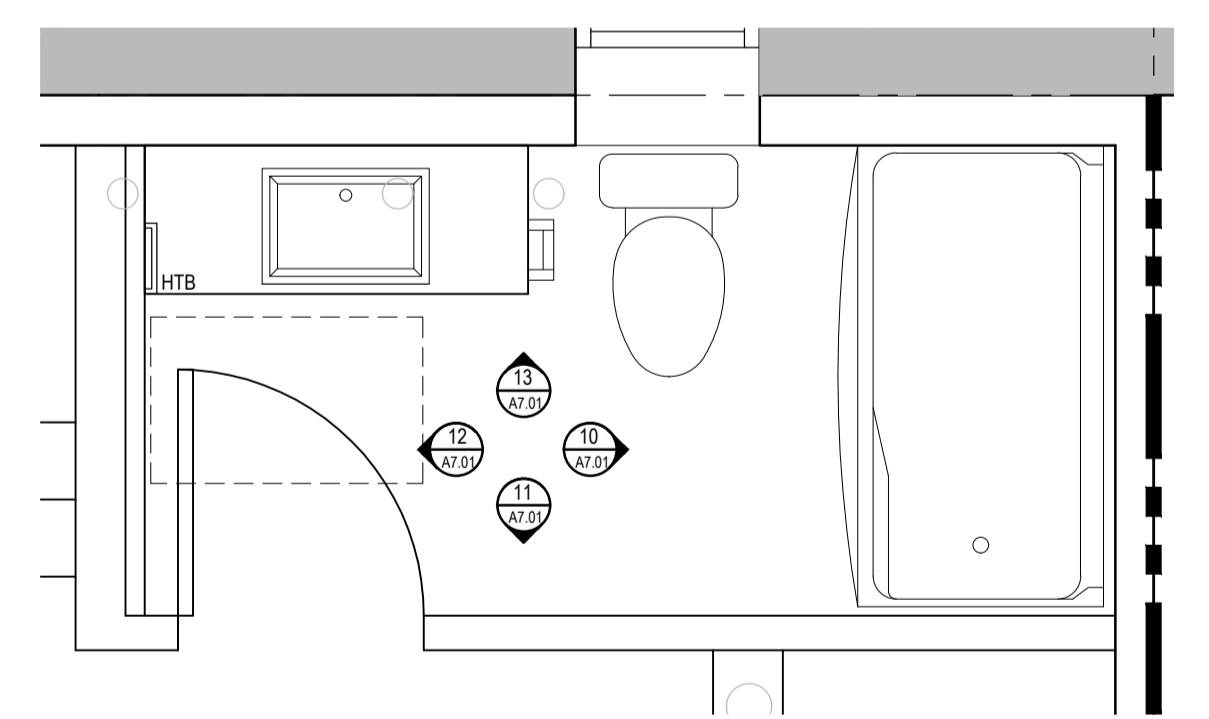
11 A207 W/C ELEVATION
 A7.01 SCALE 1:25



12 A207 W/C ELEVATION
 A7.01 SCALE 1:25



13 A207 W/C ELEVATION
 A7.01 SCALE 1:25



14 A207 W/C PLAN
 A7.01 SCALE 1:25

- NOTE LEGEND**
- 1 GWB BULKHEAD
 - 2 P.LAM BACKSPLASH/ SIDESPLASH
 - 3 PLAM FINISHED CABINETS
 - 4 PLAM COUNTERTOP
 - 5 GABLE END
 - 6 ADJUSTABLE SHELVING
 - 7 GWB WITH PAINT FINISH
 - 8 PAINTED WOOD WALL BAZE
 - 9 FIBERGLASS SHOWER
 - CR CURTAIN ROD
 - DR DRAWER
 - DW DISHWASHER
 - F REFRIGERATOR
 - FX FIXED PANEL
 - GB GRAB BAR
 - HTB HAND TOWEL BAR
 - MH MICROWAVE RANGE HOOD
 - MI MIRROR
 - RH RANGE HOOD
 - RV RANGE OVEN
 - RG RANGE
 - S SINK
 - TP TOILET PAPER DISPENSER
 - TR TOWEL RADIATOR (SEE MECH)
 - VL VANITY LIGHT

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/10/28
1	99% CD SUBMISSION	2021/11/05
0	66% CD SUBMISSION	2021/09/10

Client: **PARKS CANADA AGENCY**

Project title: **GREENING NORTHERN HOUSING - INUVIK**

Designed by: **KOBAYASHI + ZEDDA ARCHITECTS LTD.**

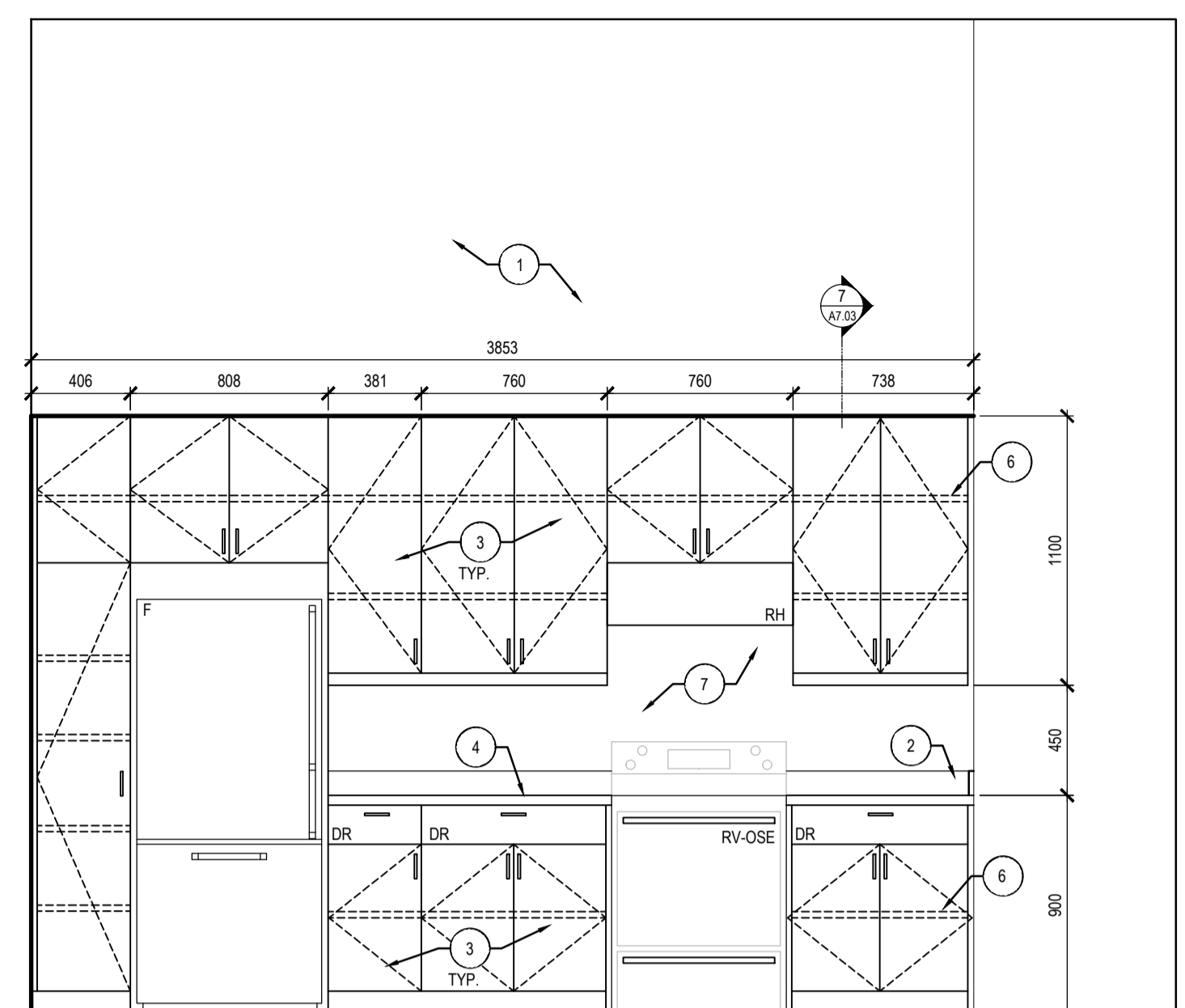
Drawn by: **SC**

Approved by: **PWSSC Project Manager**

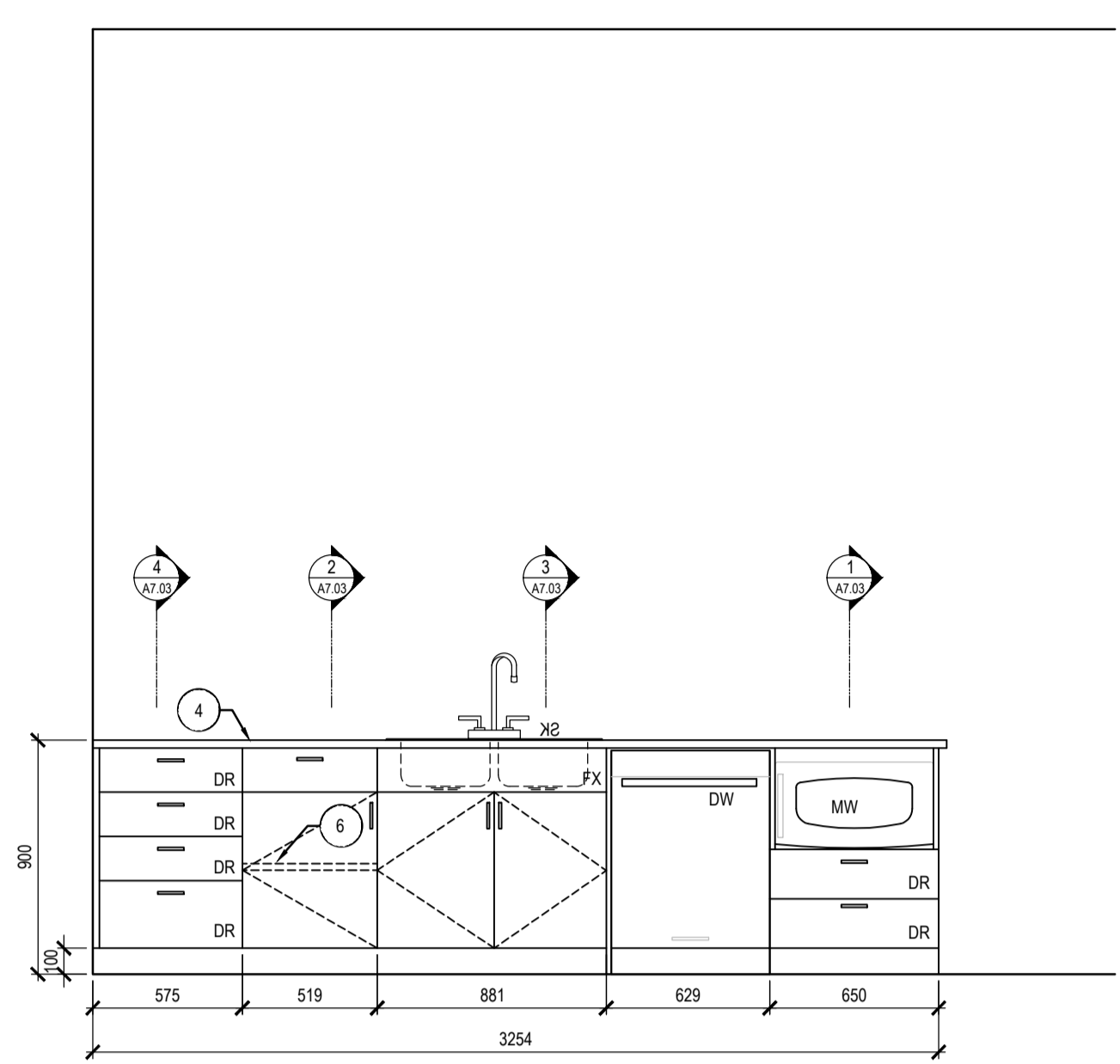
Drawing title: **INTERIOR ELEVATIONS**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A7.01	0

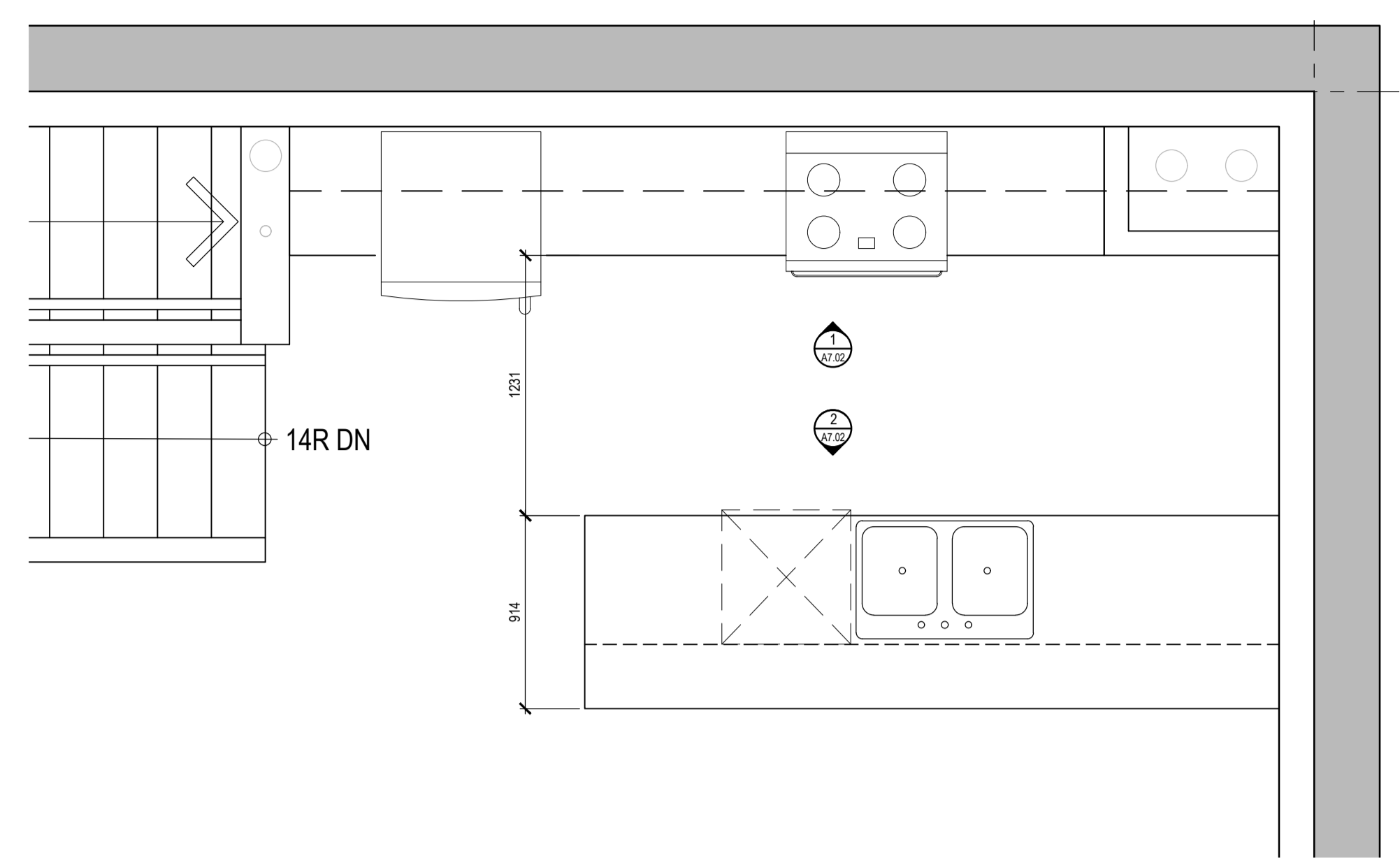
PRELIMINARY
NOT FOR CONSTRUCTION



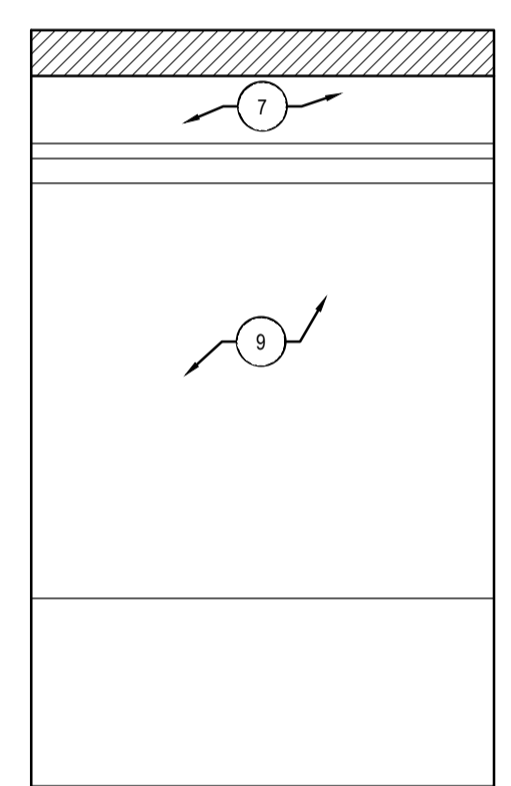
1 B202 KITCHEN ELEVATION
A7.02 SCALE 1:25



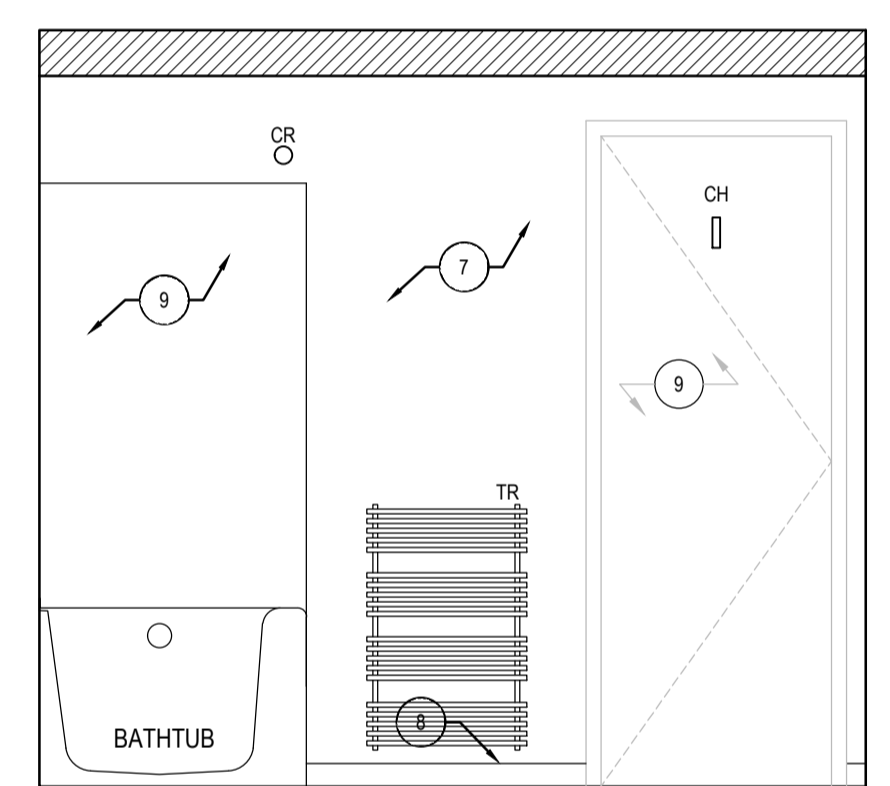
2 B202 KITCHEN ELEVATION
A7.02 SCALE 1:25



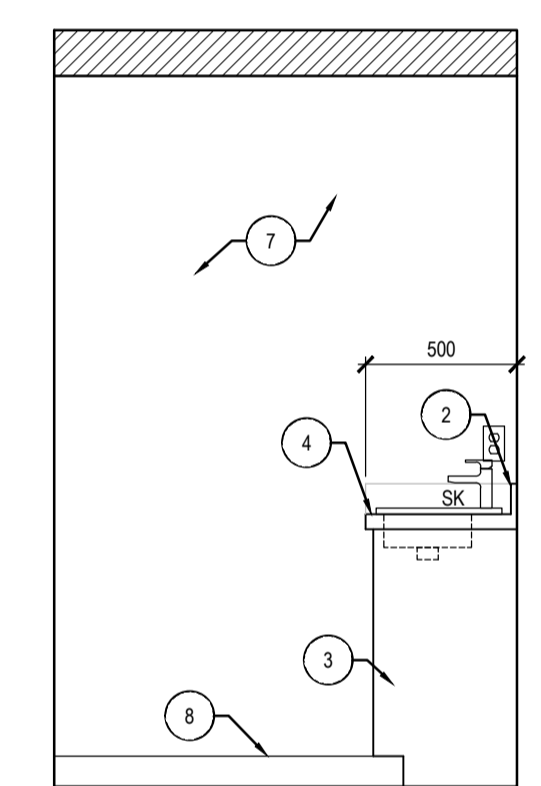
3 B202 KITCHEN PLAN
A7.02 SCALE 1:25



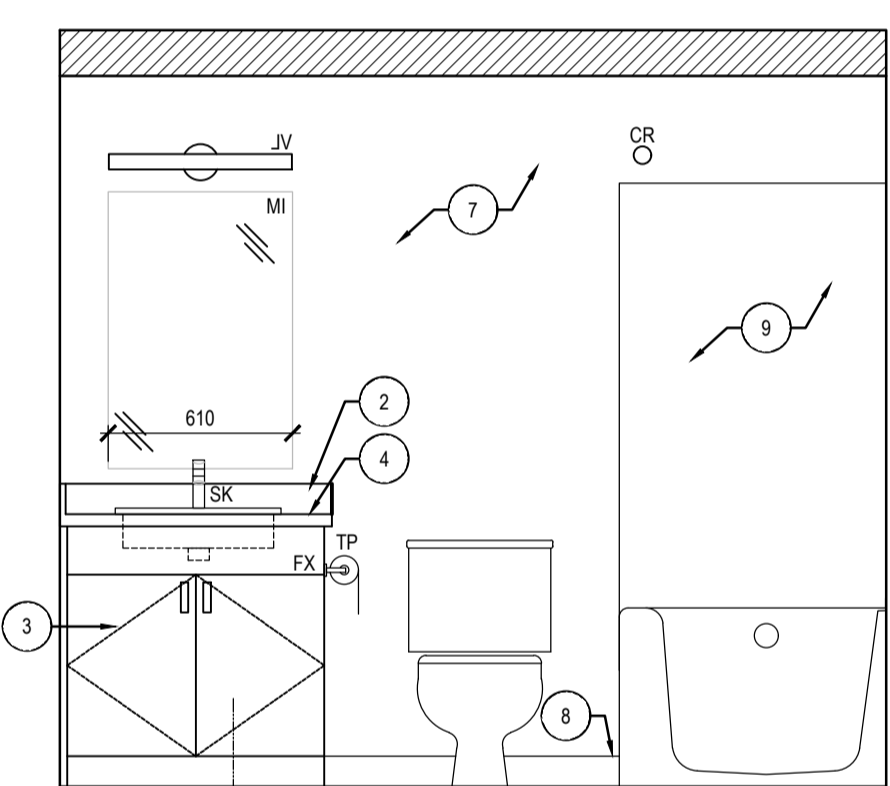
4 B104/B205 W/C ELEVATION
A7.02 SCALE 1:25



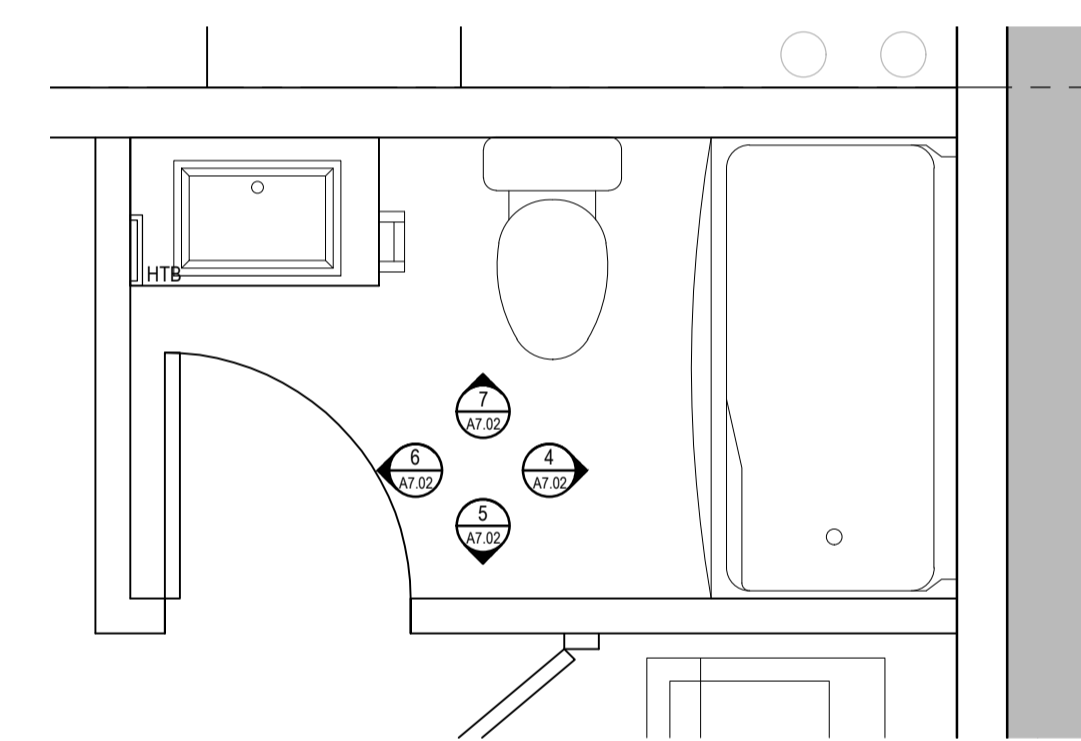
5 B104/B205 W/C ELEVATION
A7.02 SCALE 1:25



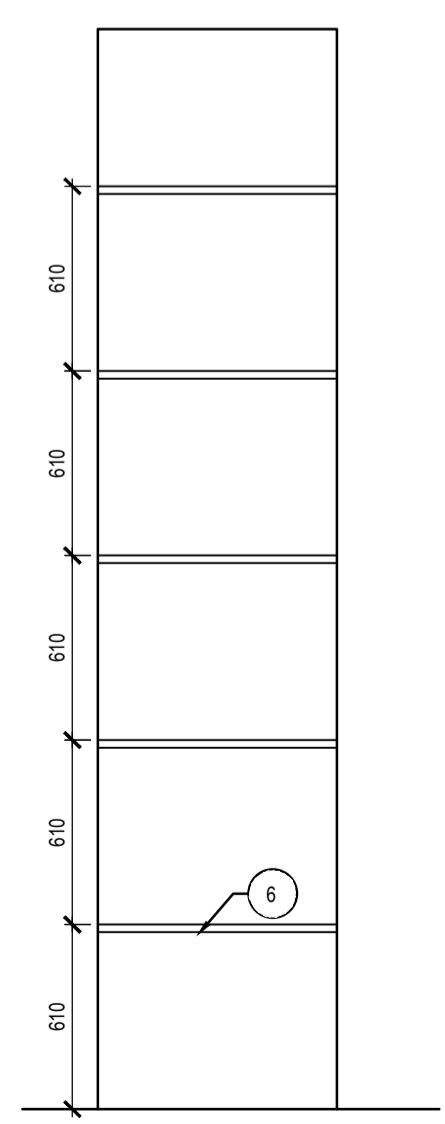
6 B104/B205 W/C ELEVATION
A7.02 SCALE 1:25



7 B104/B205 W/C ELEVATION
A7.02 SCALE 1:25



8 B104/ B205 W/C PLAN
A7.02 SCALE 1:25



9 A208 LINEN
A7.02 SCALE 1:25

NOTE LEGEND

- 1 GWB BULKHEAD
- 2 P.LAM BACKSPLASH/ SIDESPLASH
- 3 PLAM FINISHED CABINETS
- 4 PLAM COUNTERTOP
- 5 GABLE END
- 6 ADJUSTABLE SHELVING
- 7 GWB WITH PAINT FINISH
- 8 PAINTED WOOD WALL BASE
- 9 FIBERGLASS SHOWER

NOTE LEGEND

- CR CURTAIN ROD
- DR DRAWER
- DW DISHWASHER
- FX REFRIGERATOR
- GB FIXED PANEL
- HTB GRAB BAR
- HTB HAND TOWEL BAR
- MH MICROWAVE RANGE HOOD
- MI MIRROR
- RH RANGE HOOD
- RV RANGE OVEN
- RG RANGE
- S SINK
- TP TOILET PAPER DISPENSER
- TR TOWEL RADIATOR (SEE MECH)
- VL VANITY LIGHT

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR CONSTRUCTION	2022/01/28
1	99% CD SUBMISSION	2021/11/05
0	66% CD SUBMISSION	2021/09/10

Client: PARKS CANADA AGENCY

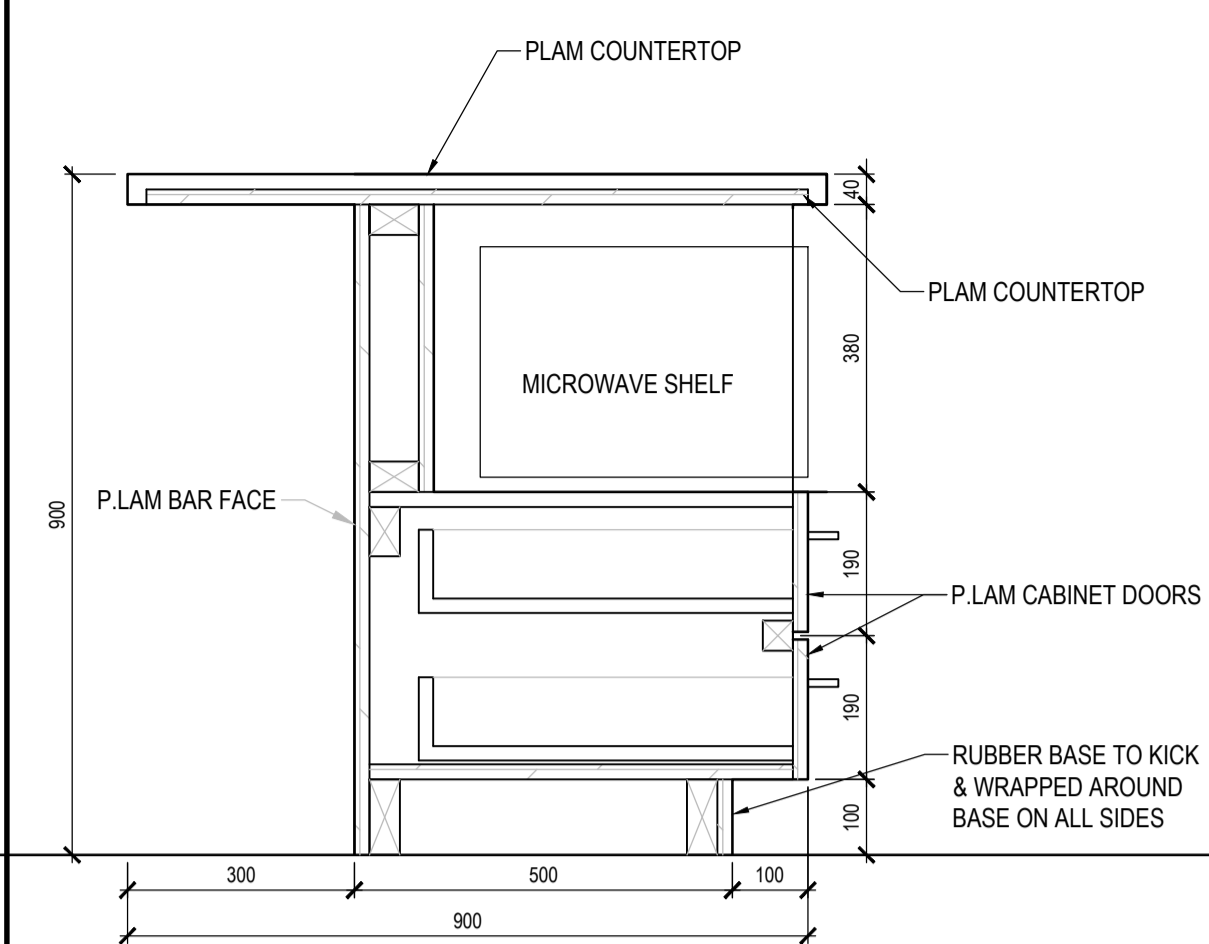
Project title: GREENING NORTHERN HOUSING - INUVIK

Designed by: KOBAYASHI + ZEDDA ARCHITECTS LTD.
Drawn by: SC
Approved by:

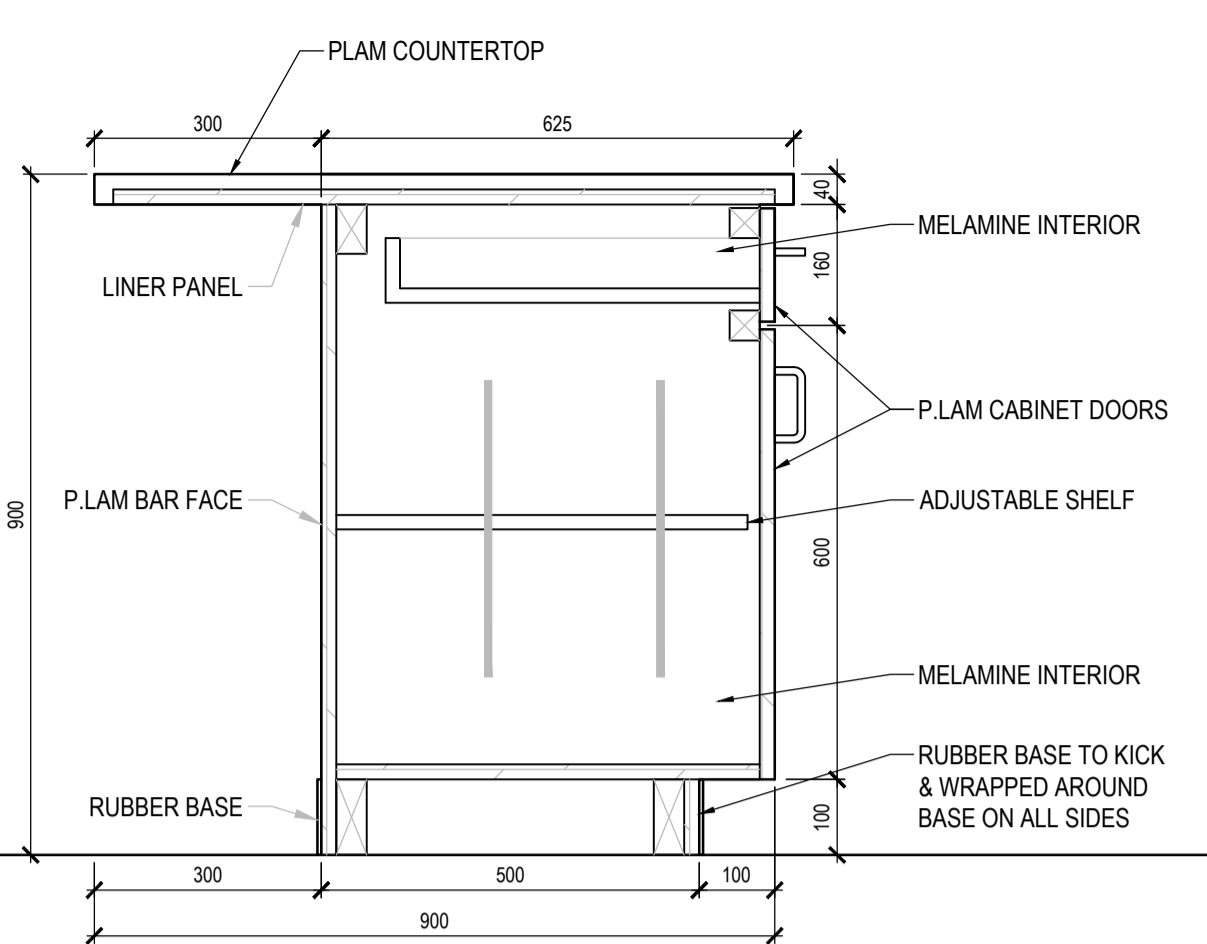
PWSSC Project Manager: Administrateur de Projets TPSGC
Drawing title: INTERIOR ELEVATIONS

Project no./No. du projet: A7.02
Drawing no./No. du dessin: OF XX
Revision no.: 0

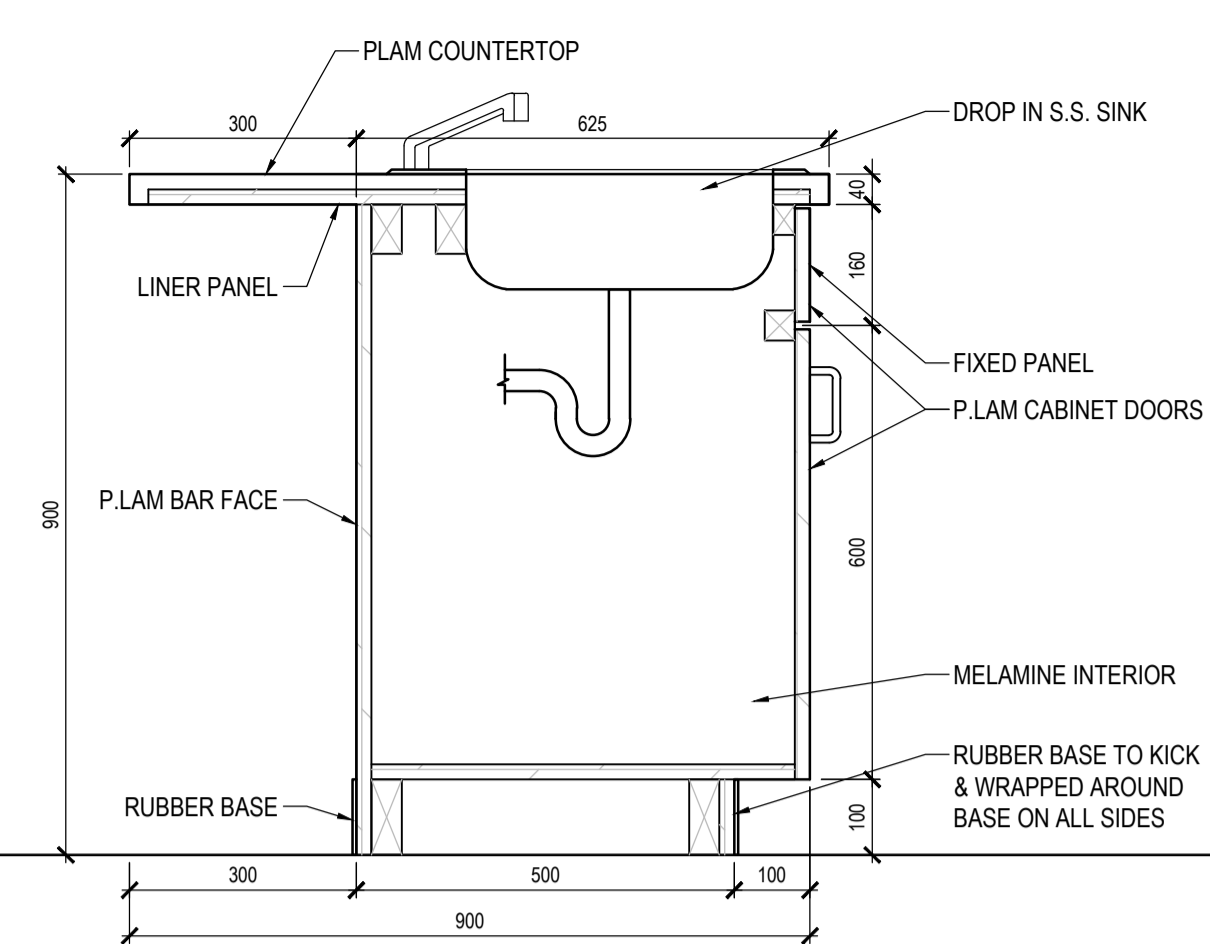
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NOT FOR CONSTRUCTION



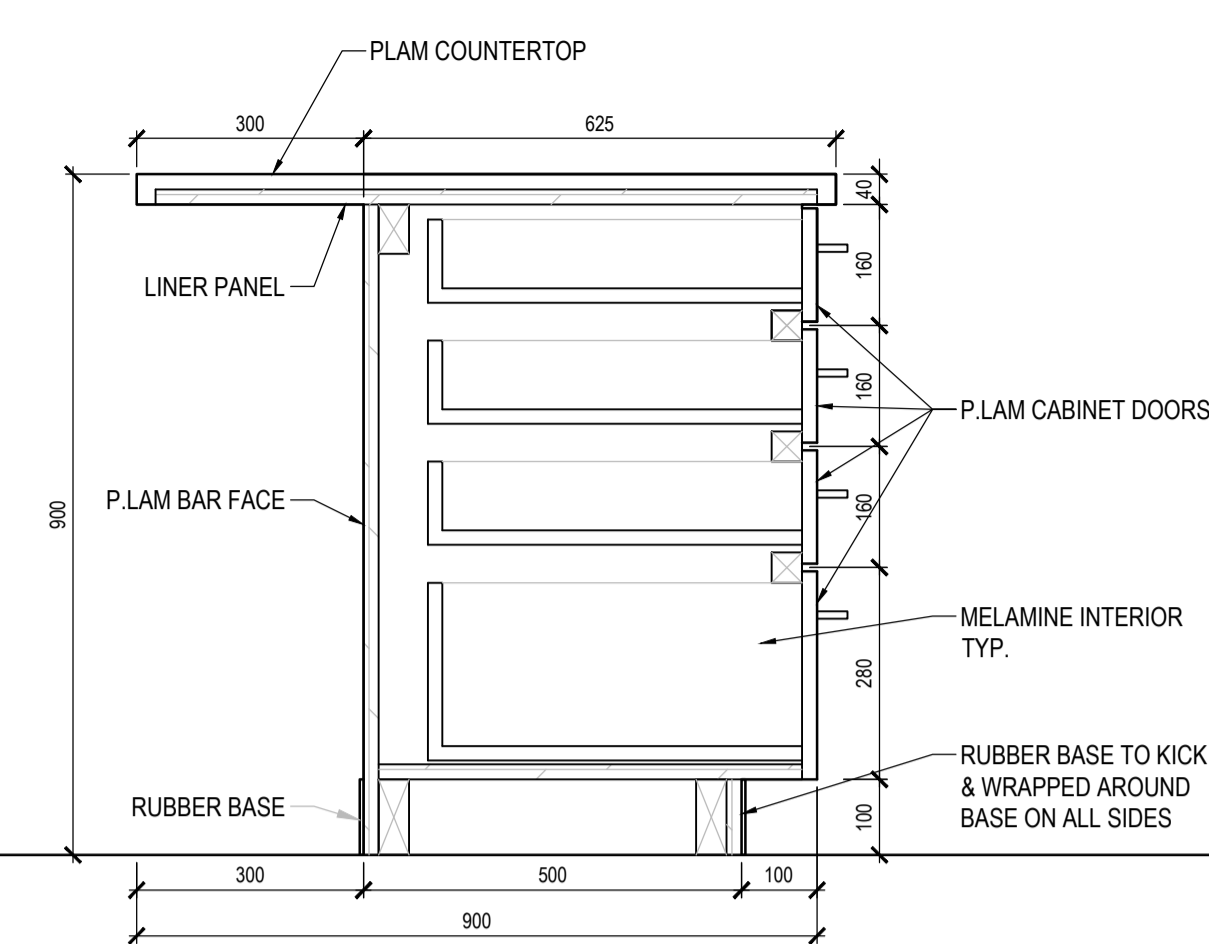
1 KITCHEN MILLWORK SECTION
A7.03 SCALE 1:10



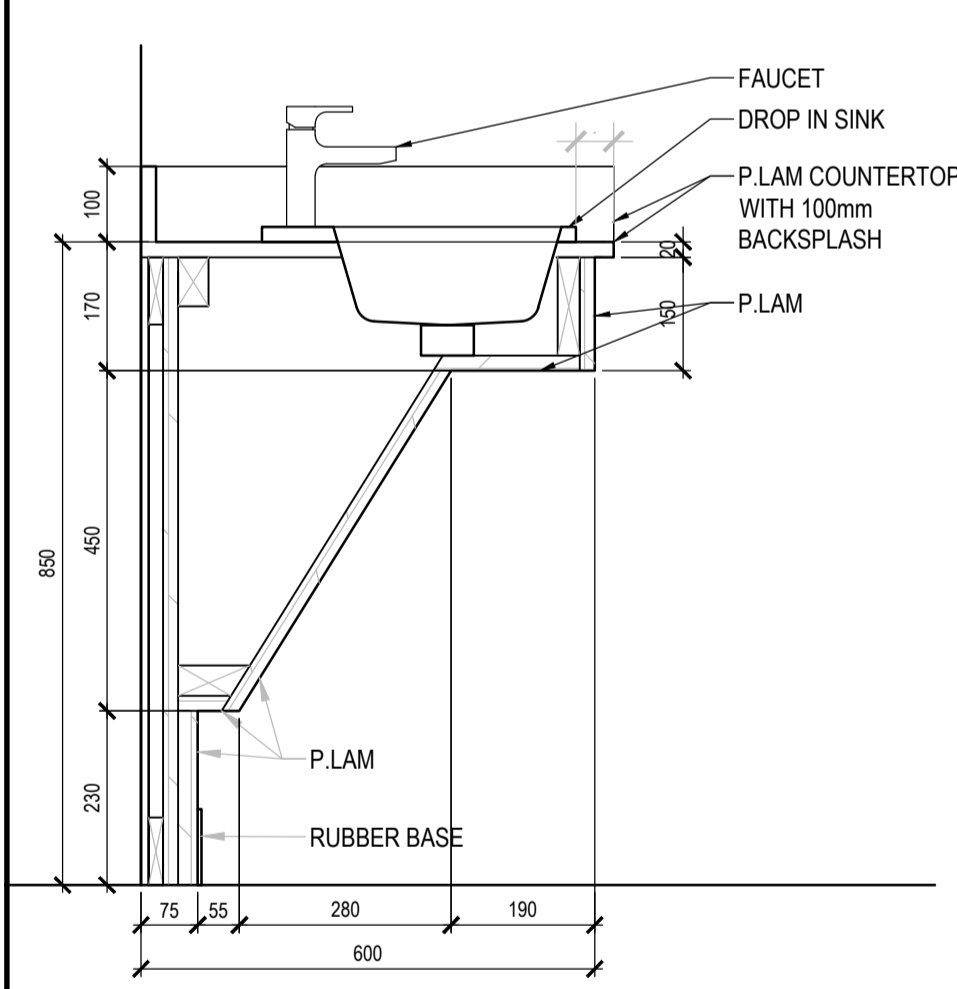
2 KITCHEN MILLWORK SECTION
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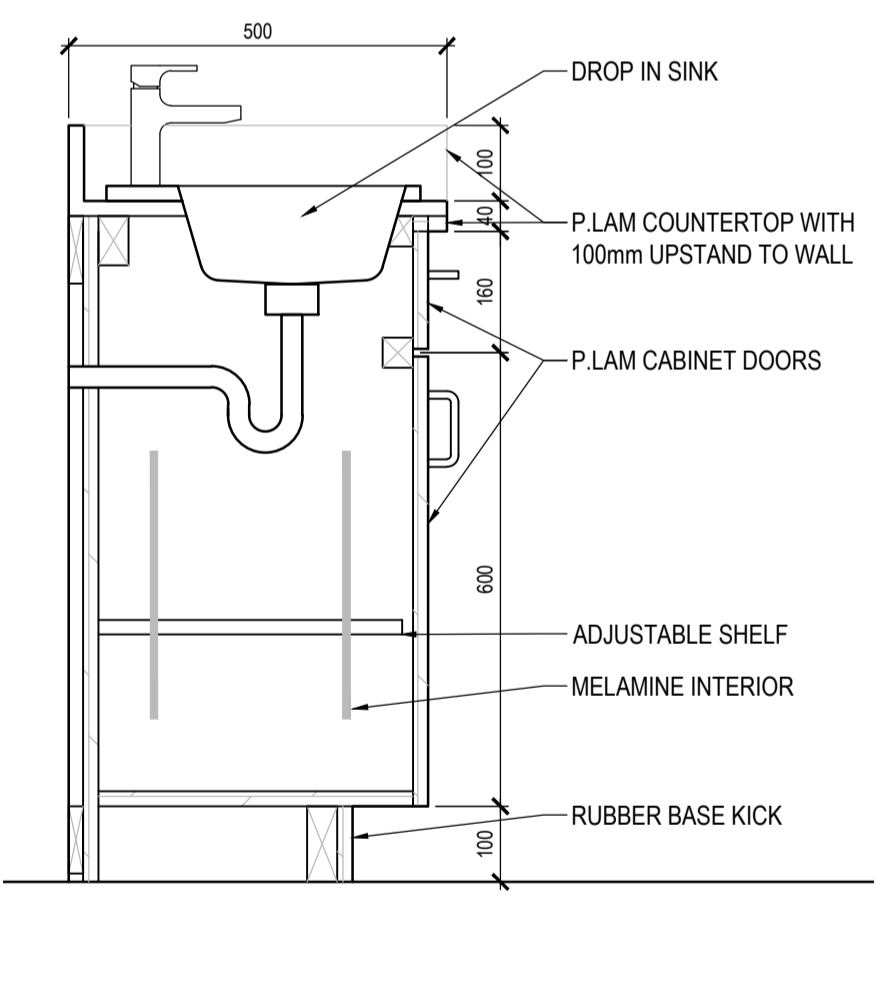
3 KITCHEN MILLWORK SECTION @ SINK
A7.03 SCALE 1:10



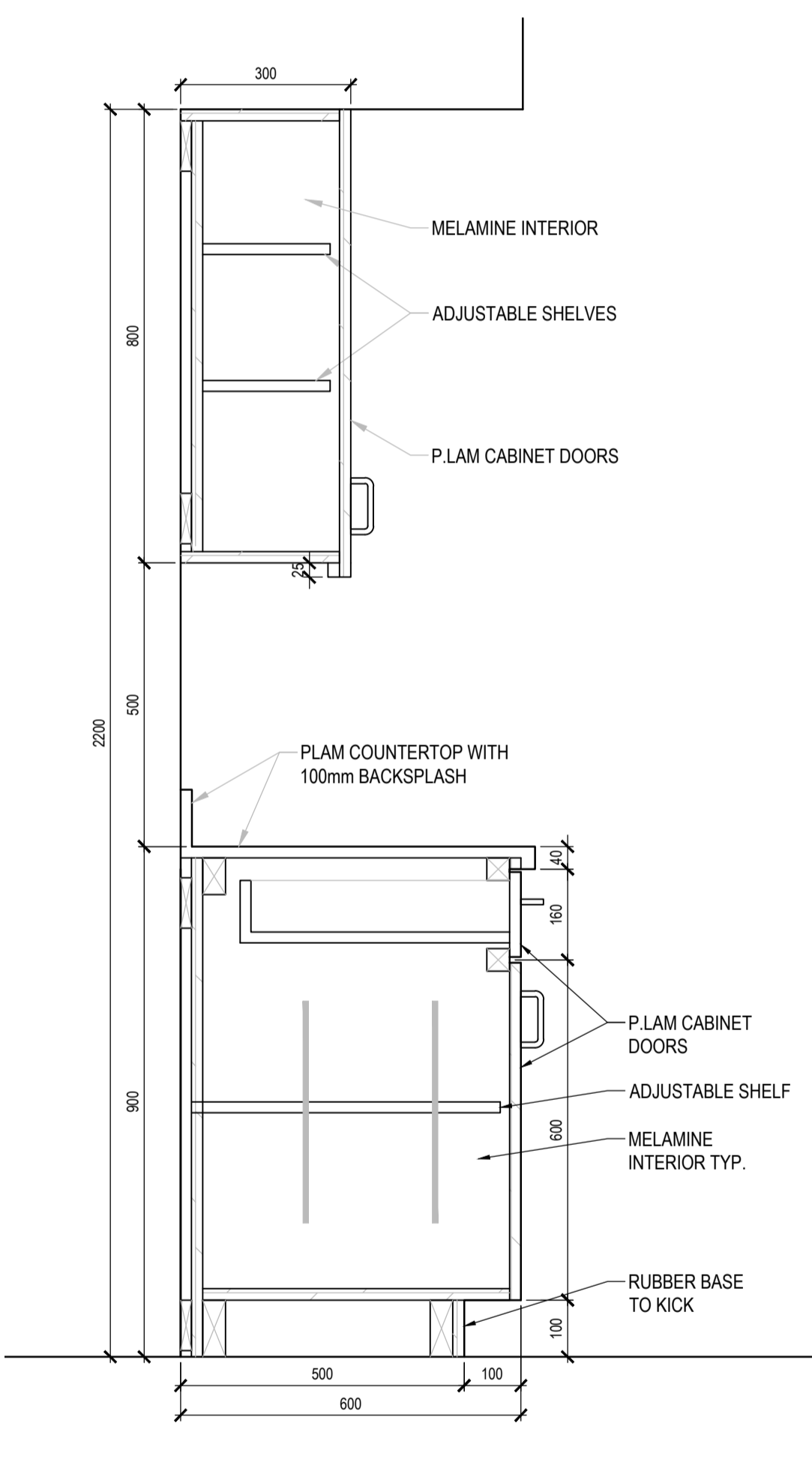
4 KITCHEN MILLWORK SECTION
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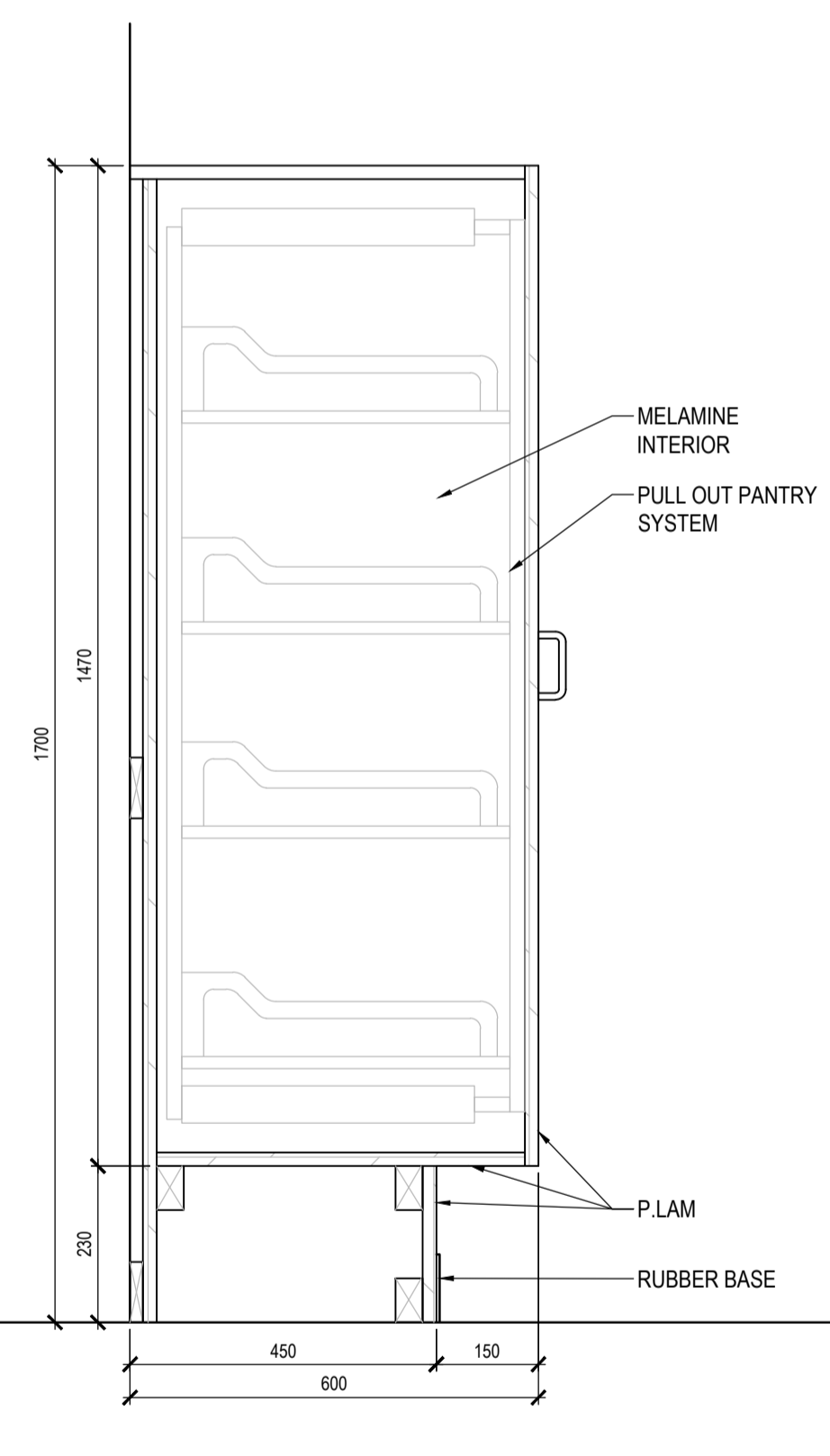
5 A107 W/C VANITY MILLWORK SECTION
A7.03 SCALE 1:10



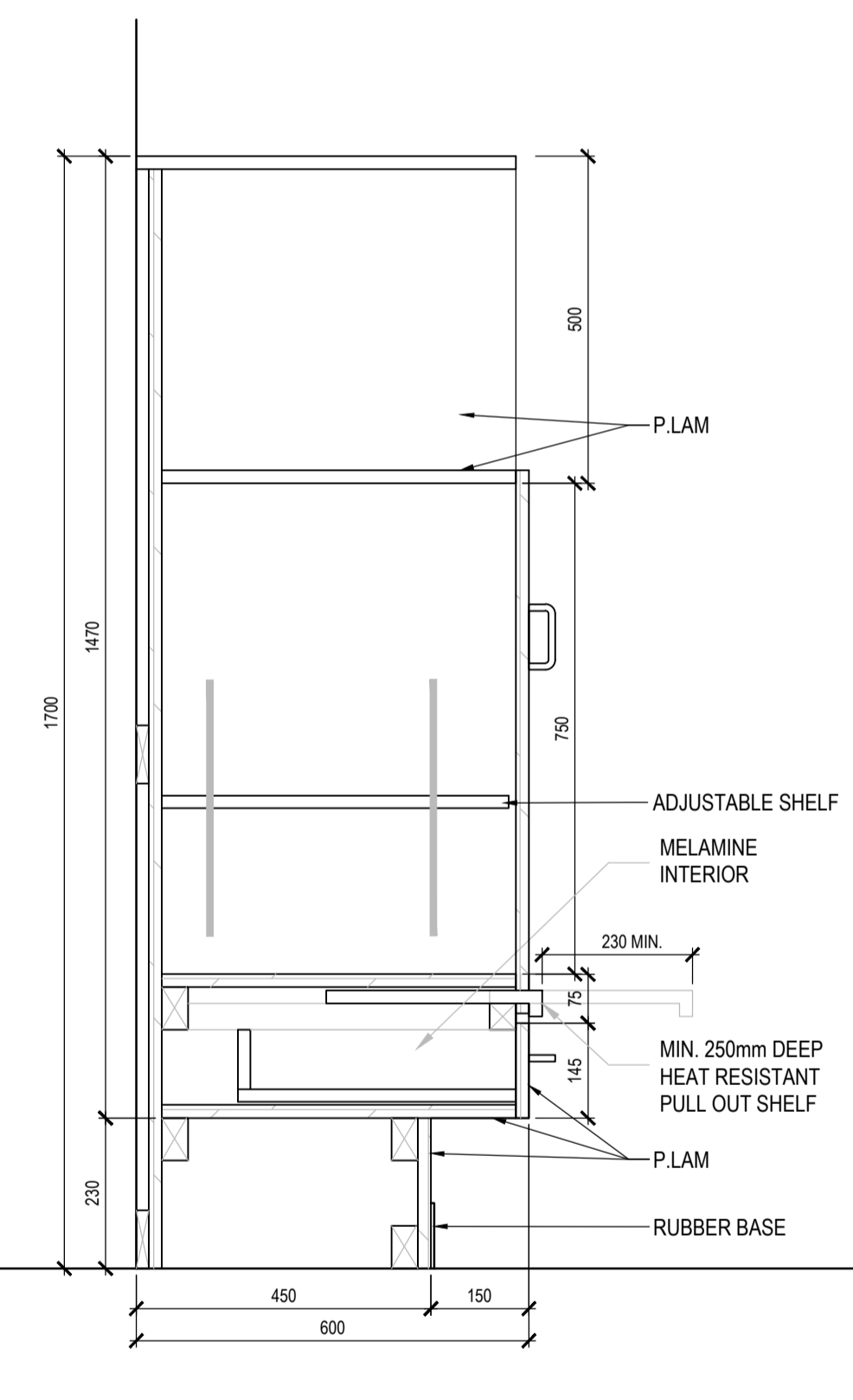
6 W/C VANITY MILLWORK SECTION TYPICAL
A7.03 SCALE 1:10



7 KITCHEN MILLWORK SECTION
A7.03 SCALE 1:10



8 KITCHEN MILLWORK SECTION
A7.03 SCALE 1:10



9 KITCHEN MILLWORK SECTION
A7.03 SCALE 1:10

5		
4		
3		
2	ISSUED FOR CONSTRUCTION	2022/01/28
1	90% CD SUBMISSION	2021/11/05
0	60% CD SUBMISSION	2021/09/10
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title: GREENING NORTHERN HOUSING - INUVIK

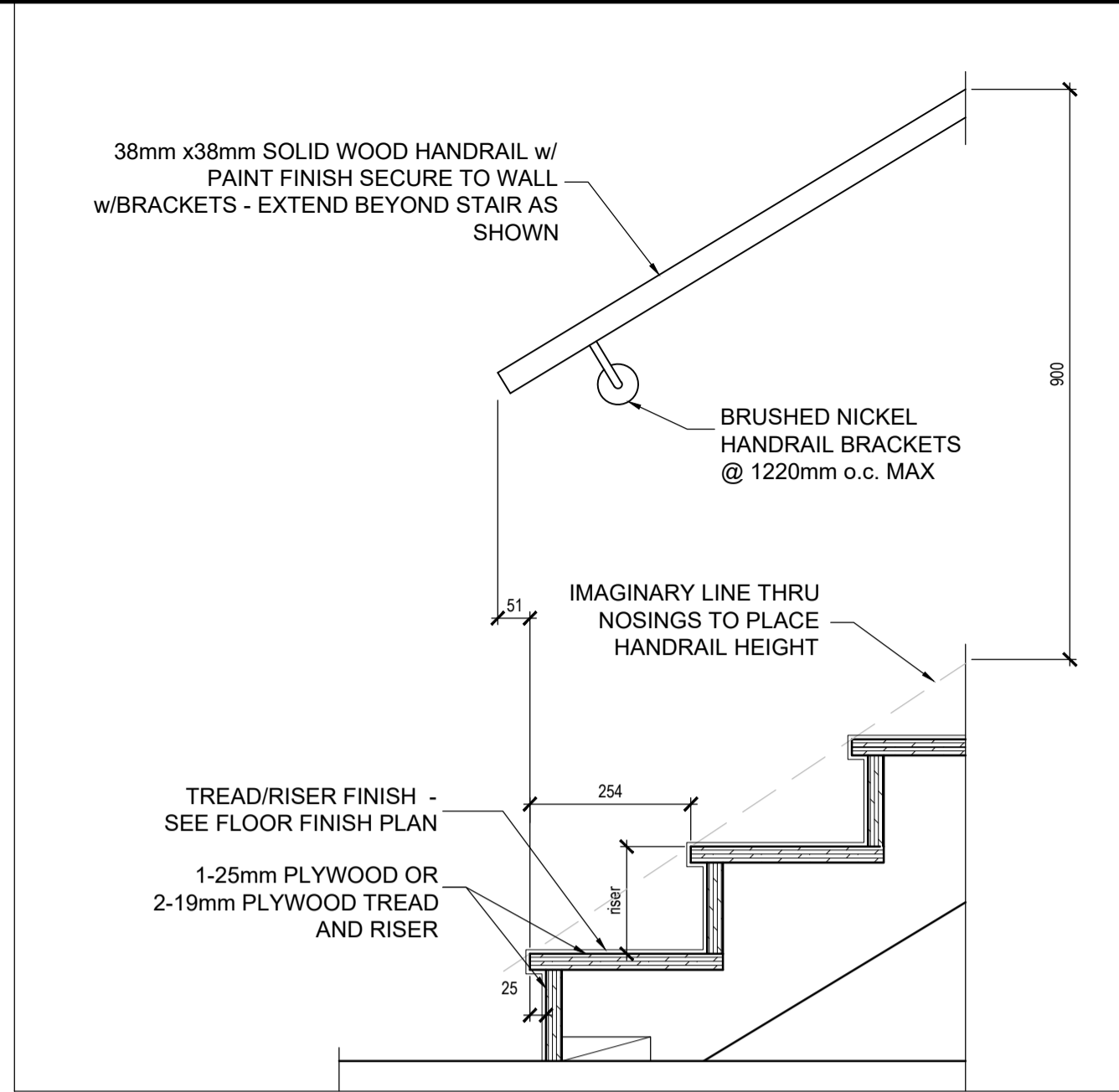
Designed by: KOBAYASHI + ZEDDA ARCHITECTS LTD.
Drawn by: SC
Approved by:

PWSC Project Manager: Administrateur de Projets TPSGC

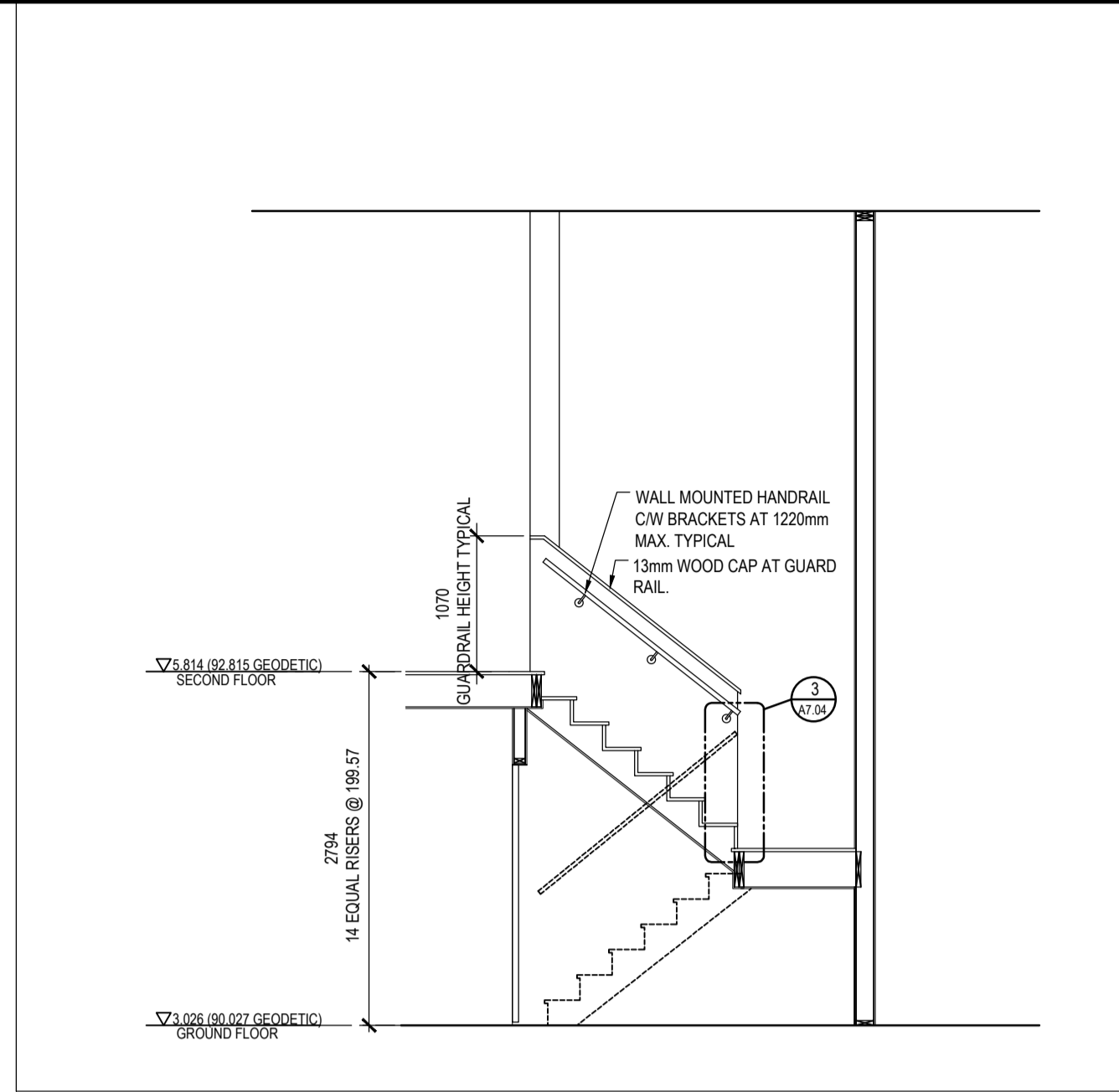
Drawing title: INTERIOR ELEVATIONS

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A7.03	0
	OF XX	

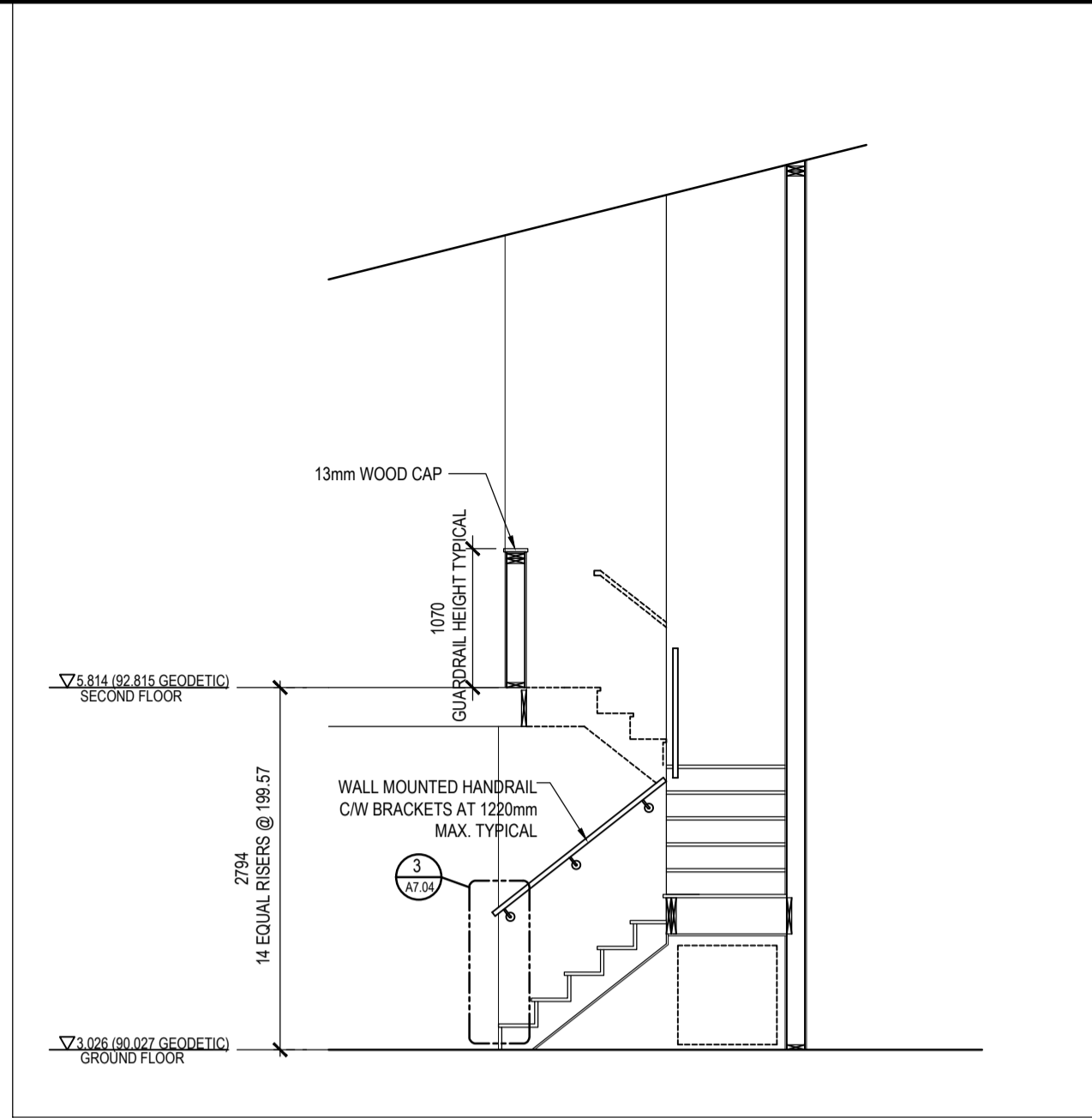
PRELIMINARY
NOT FOR CONSTRUCTION



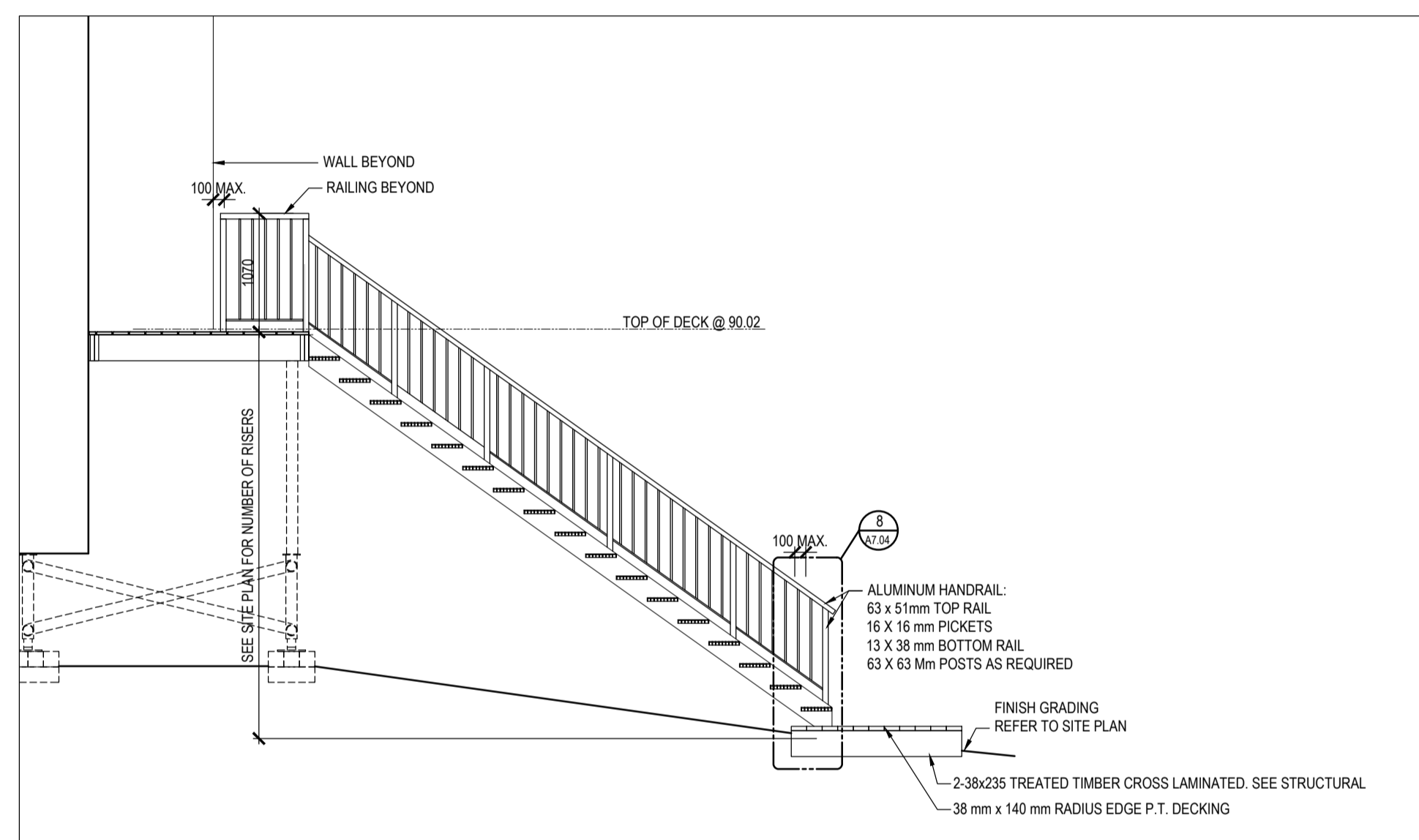
3 INTERIOR STAIR DETAIL
A7.04 SCALE 1:10



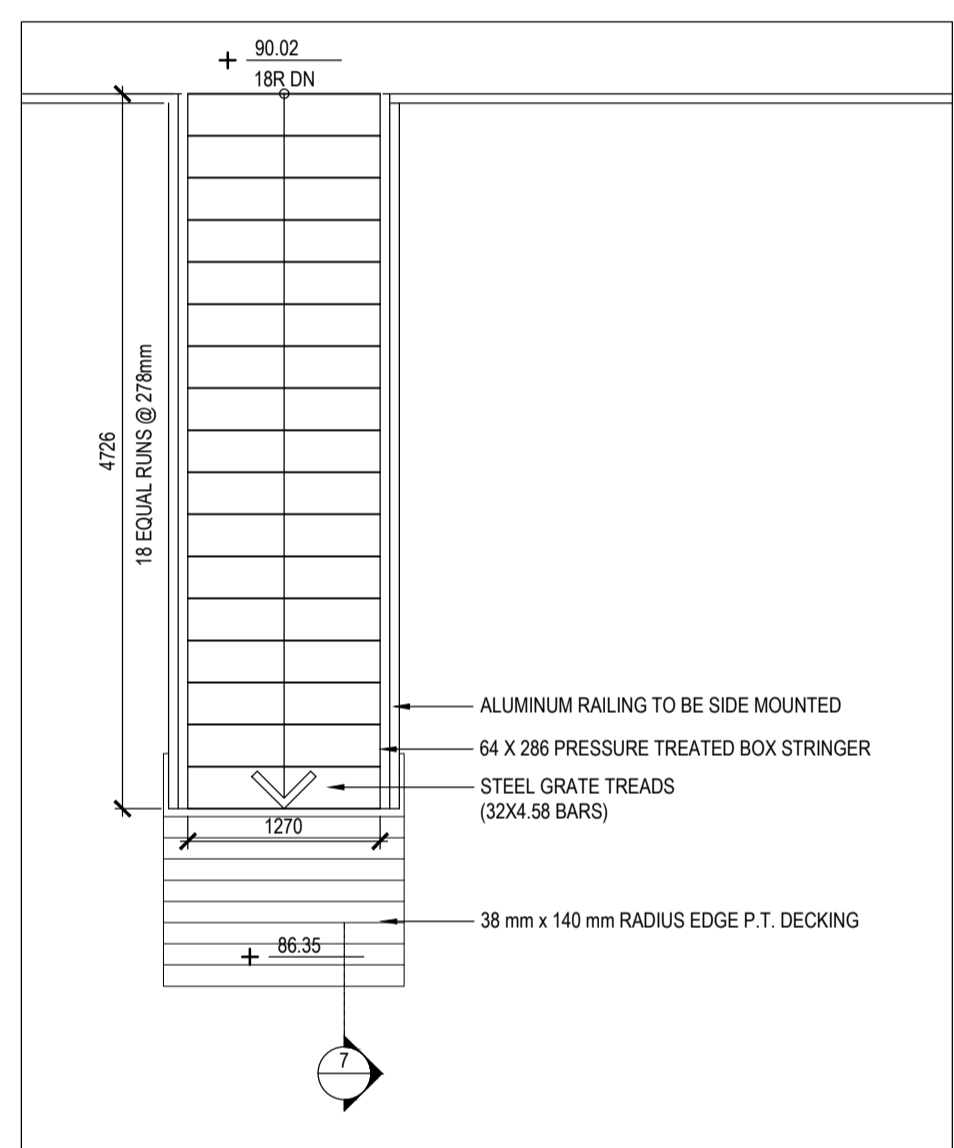
2 UNIT B STAIRS
A7.04 SCALE 1:50



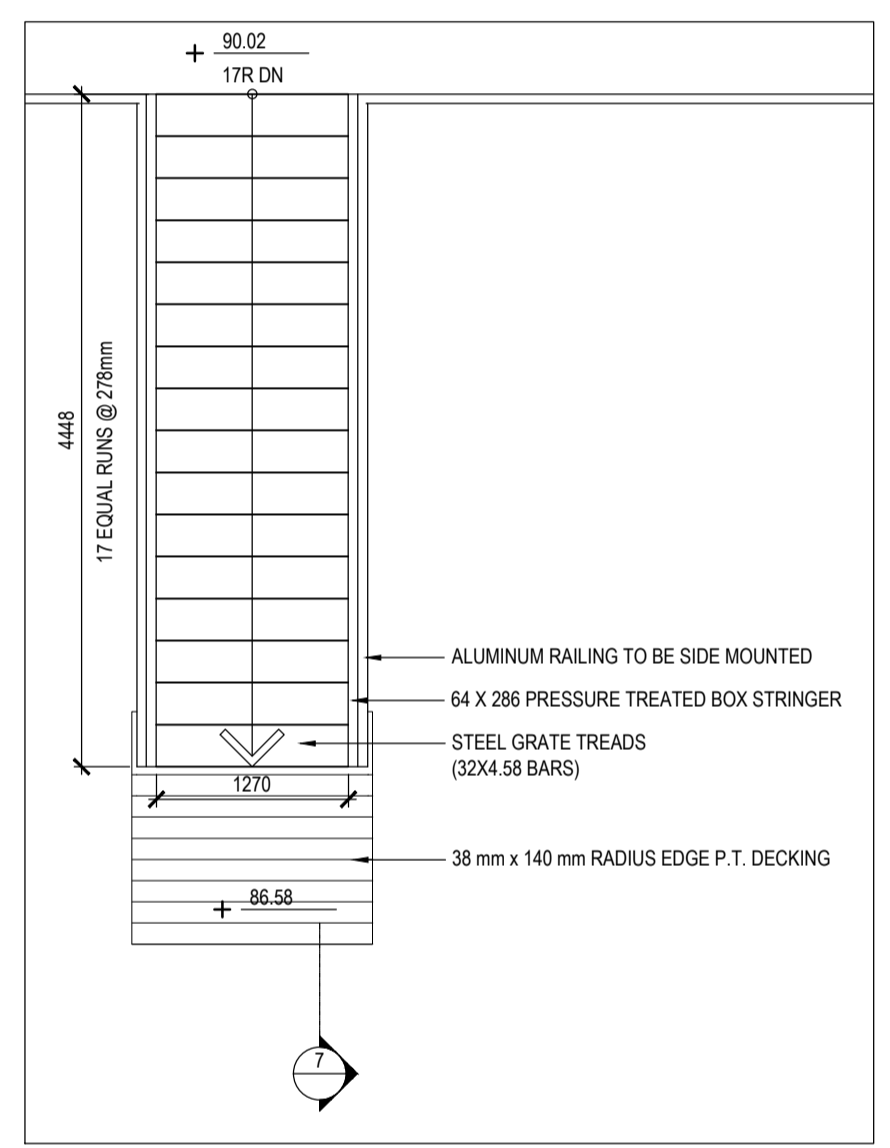
1 UNIT A STAIRS
A7.04 SCALE 1:50



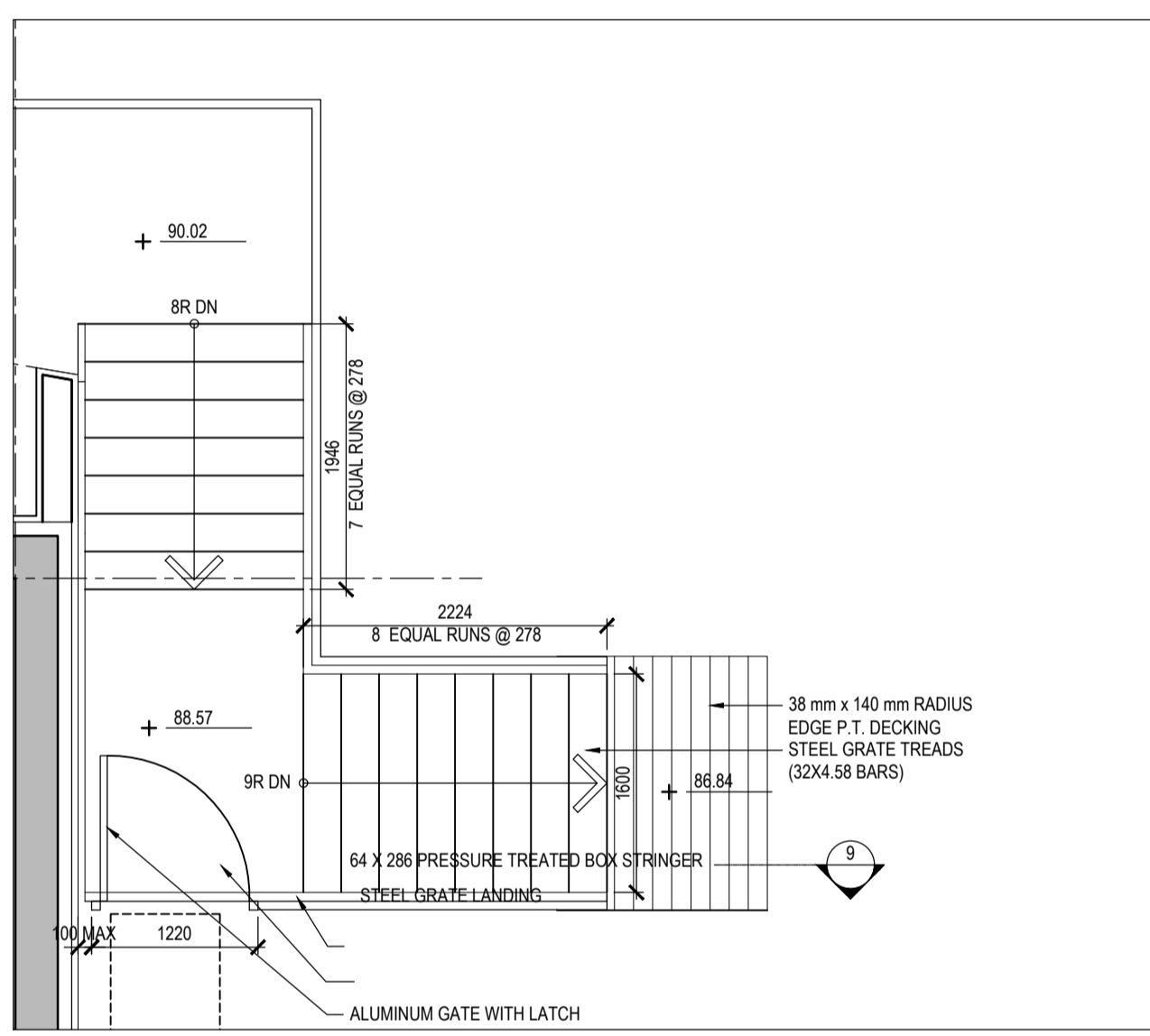
7 EXTERIOR STAIRS SECTION
A7.04 SCALE 1:50



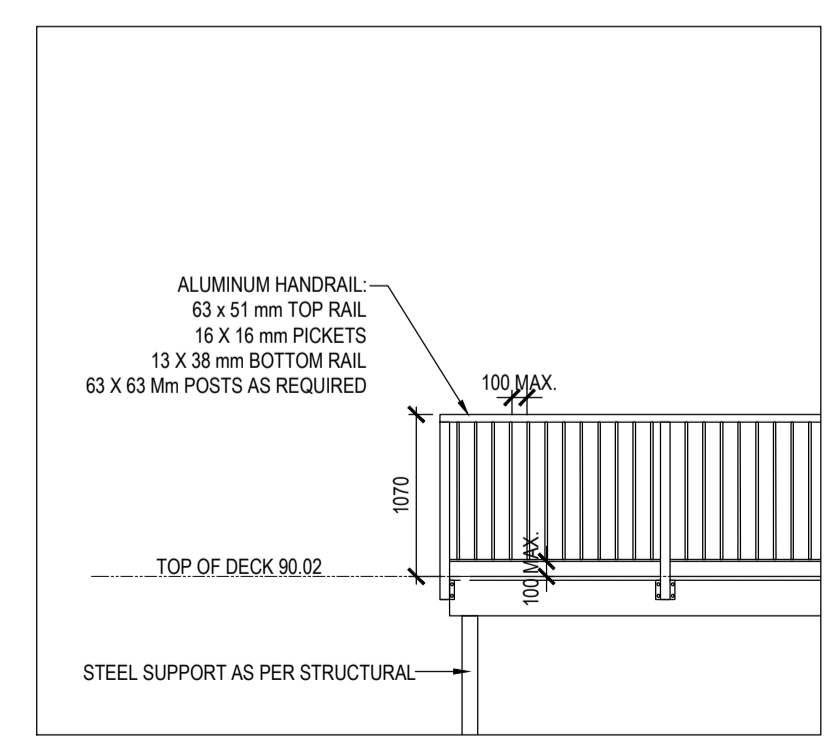
6 A110 OUTDOOR DECK STAIRS PLAN
A7.04 SCALE 1:50



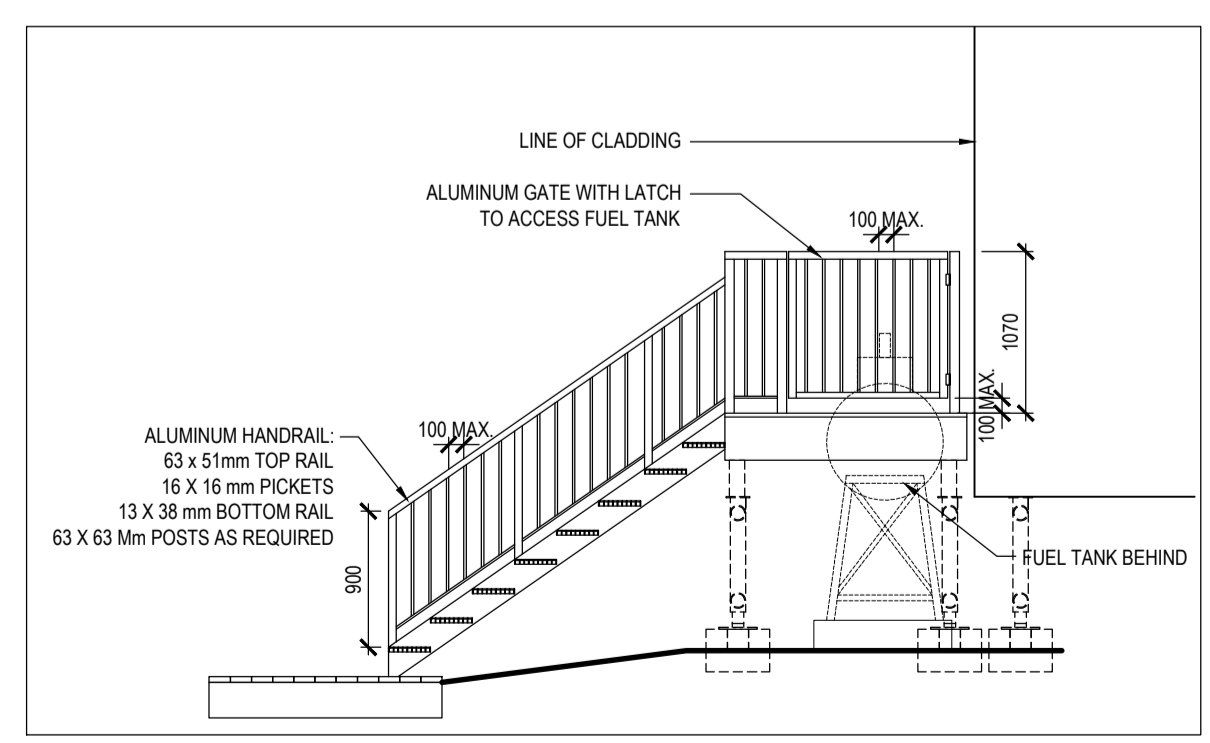
5 B113 OUTDOOR DECK STAIRS PLAN
A7.04 SCALE 1:50



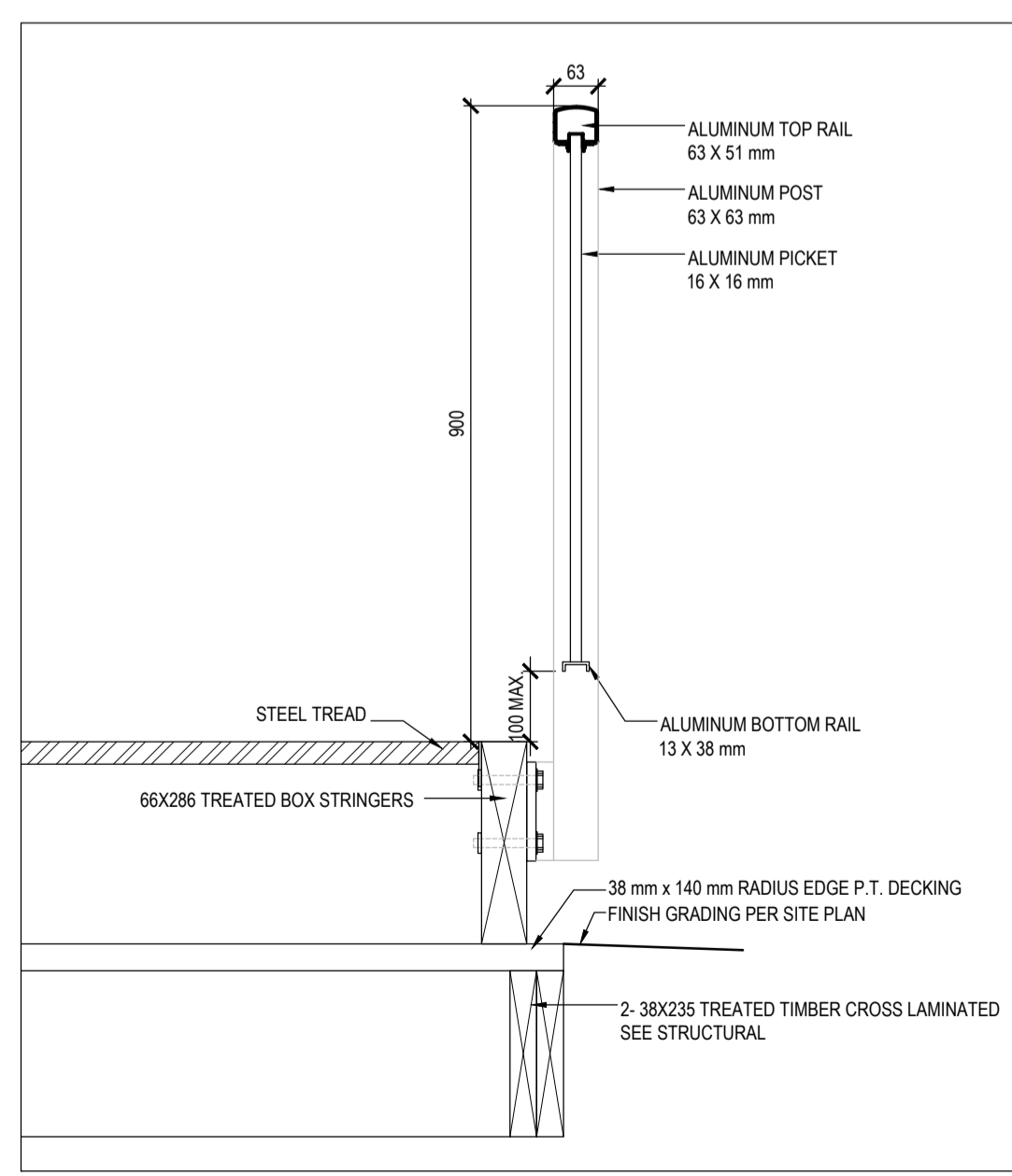
4 EXTERIOR ENTRY PORCH STAIRS PLAN
A7.04 SCALE 1:50



10 EXTERIOR GUARDRAIL TYPICAL
A7.04 SCALE 1:50



9 ENTRY PORCH STAIR SECTION
A7.04 SCALE 1:50



8 EXTERIOR STAIR DETAIL
A7.04 SCALE 1:10

Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/01/28
1	90% CD SUBMISSION	2020/11/05
0	60% CD SUBMISSION	2021/09/10

Client: client

PARKS CANADA AGENCY

Project title: Projet

GREENING NORTHERN HOUSING - INUVIK

Designed by: Conçu par **KOBAYASHI + ZEDDA ARCHITECTS LTD.**

Drawn by: Dessiné par **SC**

Approved by: Approuvé par

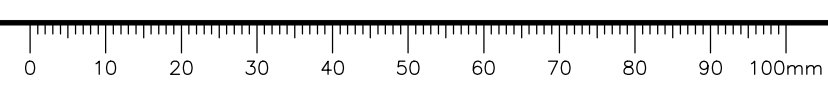
PWSSC Project Manager: Administrateur de Projets TPSGC

Drawing title: Titre du dessin

INTERIOR & EXTERIOR STAIRS

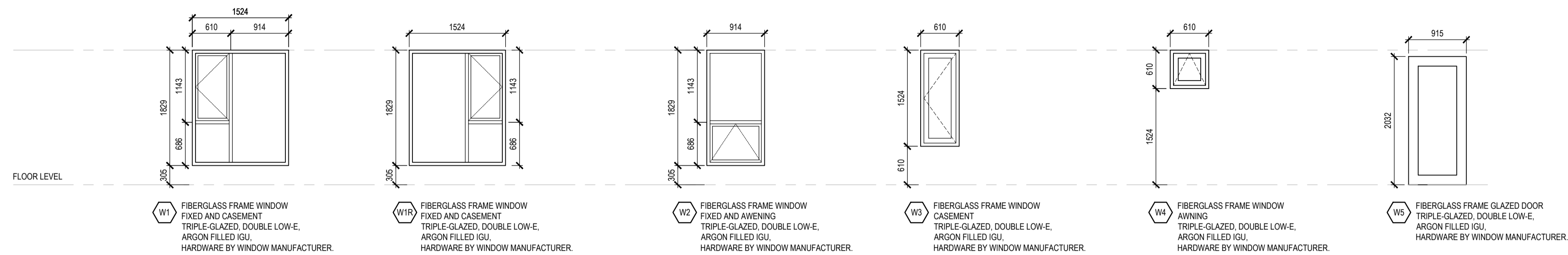
Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A7.04	0

OF XX



PRELIMINARY
NOT FOR CONSTRUCTION

WINDOW SCHEDULE



DOOR SCHEDULE

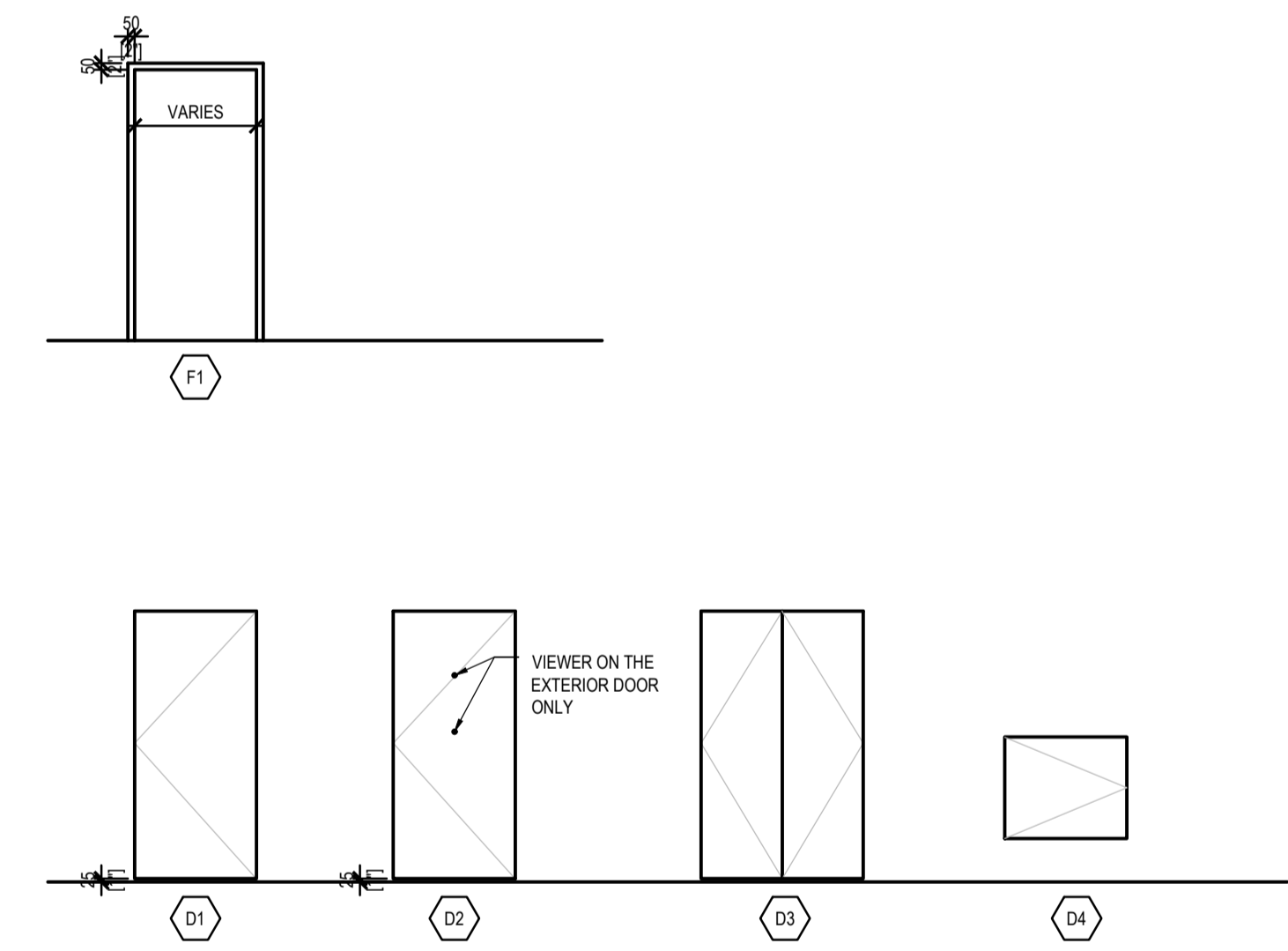
GENERAL INFORMATION						DOOR							FRAME				COMMENTS
DOOR #	ROOM #	ROOM NAME	HARDWARE GROUP	DOOR TYPE	RATING (MINS)	DOOR SWING	WIDTH	HEIGHT	THICKNESS	MATERIAL	DOOR FINISH	GLAZING	TYPE	MATERIAL	FRAME FINISH	FRAME TYPE	
D01	-	ENTRY DOOR	1	D2	-	REFER TO FLOOR PLAN	915	2032	45	IHM	PT	-	F1	WD	PT	-	ARCTIC COMBO DOOR
D02	-	ENTRY VESTIBULE	3	D1	-	-	915	2032	45	SC	WD	-	F1	WD	PT	-	
D03	-	STORAGE/ UTILITY/ W.I.C.	2	D1	-	-	915	2032	45	SC	WD	-	F1	WD	PT	-	
D04	-	WASHROOM	4	D1	-	-	915	2032	45	SC	WD	-	F1	WD	PT	-	
D05	-	BEDROOM/ FLEX/ CLOSET	2 OR 3	D1	-	-	915	2032	45	SC	WD	-	F1	WD	PT	-	REFER TO FLOOR PLAN FOR WALL OR HINGE PIN STOP
D06	-	BEDROOM/ CLOSET	2 OR 3	D1	-	-	864	2032	45	SC	WD	-	F1	WD	PT	-	REFER TO FLOOR PLAN FOR WALL OR HINGE PIN STOP
D07	-	WASHROOM	4	D1	-	-	864	2032	45	SC	WD	-	F1	WD	PT	-	
D08	-	LINEN	4	D1	-	-	610	2032	45	SC	WD	-	F1	WD	PT	-	
D09	-	W/D & W.I.C.	5	D3	-	-	1524	2032	45	SC	WD	-	F1	WD	PT	-	
D10	-	CLOSET	5	D3	-	-	1220	2032	45	SC	WD	-	F1	WD	PT	-	
D11	-	CRAWL SPACE	6	D4	-	-	915	915	45	IHM	PT	-	F1	WD	PT	-	
D12	-	HATCH	7	D4	-	-	762	762	45	WD	WD	-	F1	WD	PT	-	
D13	-	COLD STORAGE	6	D4	-	-	915	2032	45	IHM	PT	-	F1	KD	PT	-	

FACE/ FINISH
PT PAINT
WD AWMAC ARCH. GRADE WOOD
DOOR/ FRAME W/ STAIN FINISH

DOOR CONSTRUCTION
HM HOLLOW METAL
SC SOLID CORE WOOD
IHM INSULATED HOLLOW METAL

FRAME
WD AWMAC ARCH. GRADE WOOD
FRAME W/ PAINT FINISH
KD SLIP-ON STEEL W/ FILLER (KNOCK-DOWN)

GLAZING
G TEMPERED GLAZING
RG 6mm WIRED RATED GLAZING



Revision	Description	Date
5		
4		
3		
2	ISSUED FOR TENDER	2022/02/08
1	99% CD SUBMISSION	2021/12/17
0	66% CD SUBMISSION	2021/09/10

Client: PARKS CANADA AGENCY

Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: KOBAYASHI + ZEDDA ARCHITECTS LTD.

Drawn by: SC

Approved by:

PWSSC Project Manager / Administrateur de Projets TPSSC

Drawing title: WINDOW AND DOOR SCHEDULE

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	A8.01 OF XX	0

GENERAL

These drawings show the completed new primary structure and the scope of design work by Ennova Structural Engineers Inc. They illustrate the general arrangement of the structural members and their lay up for assembly. Sections and details are provided where the assembly of the structural elements may be considered unconventional and this is not intended to be an exhaustive exercise in detailing.

The project managers, contractors and trades bidding on this project are to have the necessary qualification and experience and apply such as necessary to complete the detailing and to construct the building. The project managers / general contractors must ensure the trades include the work necessary to complete their respective building component, provide smooth hand over to subsequent trades, and shall coordinate the subcontractors' work.

Read and verify dimensions and information on all consultants' documents, shop drawings and in the field prior to commencing work. Notify the Consultant of any discrepancies for clarification and/or instruction.

The contractor shall provide bracing and shoring for the stability of the excavation and the structure during construction. The Contractor is responsible for safety at the Job site and adherence to Northwest Territories Workers' Compensation Health and Safety Board.

DESIGN LOADS AND CODES

The structure was designed to the following code references and specified loads. The Contractor shall provide temporary support to the structure where construction activity exceeds the design loads. All building and material codes referenced shall be the latest editions accepted by the authority having jurisdiction.

- National Building Code 2015
- Timber to CSA CAN3-086-14

Specified uniformly distributed loads

U.N.O. kPa (psf)	Live load	dead load
Roof	See below	0.75 (15)
Floor (2nd level)	1.9 (40)	0.7 (14)
Floor (1st level)	1.9 (40)	0.7 (14)

Design parameters

Importance factors ULS, Is, Iw, Ie = 1.0, 1.0, 1.0
Importance factors SLS, Is, Iw, Ie = 0.9, 0.75, n/a

CLIMATIC & SEISMIC DATA

The structure was designed to the loads shown below. The loads used for design are close to the maximum loads as listed in Appendix C of NBCC 2015, and should suffice for most major locations. Where the building is proposed to be built at a location other than those listed in the NBCC 2015, site specific climatic and seismic data shall be obtained. Consult with the Engineer if design loads are found to be higher than those listed below.

Unfactored uniformly distributed loads

Ground snow, Sg, kPa (psf) = 2.5 (52)
Rain component, Sr kPa (psf) = 0.1 (2)
Roof, S = 0.8 xSs +Ss, kPa (psf) = 2.1 (44)

Wind data

Hourly wind pressures (kPa) q 1/50 = 0.55

Seismic data

Site classification, assumed "B"
Lateral force resisting system factors Rd = 3.0, Ro=1.7
Importance factor Ie = 1.0
Peak ground acceleration, PGA = 0.293
Spectral response acceleration, Sa (T) Sa (0.2) = 0.447
Sa (0.5) = 0.231
Sa (1.0) = 0.114
Sa (2.0) = 0.054
Sa (5.0) = 0.015
Sa (10.0) = 0.005

FOUNDATIONS

This building was designed to be supported by a space frame foundation with maximum support spacings as noted on plan. The contractor and supplier is responsible for the design and construction of the foundation, which includes the space frame foundation system, bearing pads, connections to the wood structure, and preparation of the subgrade.

Submit shop drawings to Departmental Representative prior to fabrication for review and approval.

GEOTECHNICAL INFORMATION

Foundation design is based on the recommendations stated in the geotechnical report by:

Wood Environment & Infrastructure Solutions
Yongqiang Ye P.Eng.
tel: 780-436.2152
report: EA16466
dated: September 17, 2021

The timber pad footings have been sized for the following bearing capacities:

600 kPa unfactored ultimate limit states (ULS)
200 kPa serviceability limit states (SLS)

The contractor shall refer to this report for all geotechnical aspects of construction including but not limited to: ground improvement for liquefaction reduction, preloading, excavation, dewatering, shoring, underpinning, bearing capacity, bearing surface protection, backfilling, fill materials, frost protection, subgrade preparation, etc.

The bearing surface and bearing pressures must be reviewed and approved in writing by the geotechnical engineer retained by the contractor prior to footing construction.

WOOD FRAME

Code references and conformance:

- Wood and framing materials to CSA-086.1
- Dimensional lumber to N.L.G.A. grading rules
- Plywood sheathing to CSA Standard O151
- Anchor bolts to ASTM A307
- Lag screws to CSA Standard B34
- Nails and spikes to CSA Standard B111
- Miscellaneous steel hardware to CAN/CSA 9402 (Fy=300 MPa)
- wood preservation CSA 080 series 15

Grades of materials (minimum) are as follows U.N.O.:

Structural element	Lumber grade
Joists, rafters & built-up beams	K.D. SPF No. 2 or better
Studs and built-up posts	K.D. SPF No. 2 or better
Wall plates	K.D. SPF No. 2 or better
Posts and beams	D, Fir No. 1 or better
Sheathing	D, Fir plywood S1S

The contractor shall be experienced and follow part 9 of the building code/bylaw for aspects of wood frame construction where applicable.

Support point loads from beams, headers, girder trusses and posts with solid or built-up members across the full area of the supported member. Carry supports down through to foundations. Fully block all joist spaces inline with the supports.

Use minimum double cripple for beams and headers with spans greater than 2400mm (8'-0"), U.N.O.

Built-up beams shall be nail laminated with 76mm @250mm (3" @10") nails in rows spaced not more than 75mm (3") apart. Built-up posts shall be fastened with 76mm @250mm (3" @10") nails in columns spaced not more than 50mm (2") apart.

Use joist hangers with minimum 6.7kN (1500 lbs) capacity for all flush framing. Pressure blocking is permitted only for joists with span of less than 1800mm (6'-0") and with total load less than 3.6kPa (75 psf).

Install all sheathing with face grain perpendicular to the direction of support framing in a staggered joint pattern.

Sheathing for exterior walls and shearwalls shall be minimum 13mm (1/2") thick. Fasten sheathing to support framing with 63mmx3.3mm = (2 1/2"x0.133") nails at 150mm (6") along panel edges and at 250mm (10") along intermediate framing member. Block panel edges with 38mmx140mm (2x6) flat against sheathing and clinch nails per plans and shearwall schedule.

Sheathing shall be minimum 16mm thick for sloped roofs and 19mm (3/4") for floors. Fasten sheathing to support framing with 3.3mm x76mm (0.133"x3") common nails at 150mm (6") along panel edges and at 250mm (10") along intermediate framing member. Nail sheathing along drag struts to shearwalls, exterior walls and beams in line with these walls with 76mm (3") nails at 150mm (6"). See plans for variations.

Use minimum 2-38mmx (2-2x) for wall top plates and overlap plate by 1200mm (48") minimum. Nail plates together with 76mm (3") common nails at 150mm (6") staggered.

All nail fasteners shall be common round steel wire nails. The use of power driven nails is permitted only if they are of equal diameter and length.

Standard and custom steel hardware exposed to view and weather shall be stainless steel or hot-dipped galvanized.

STRUCTURAL COMPOSITE LUMBER

Acceptable structural composite lumber products include:
- TJI engineered I joist (engineered by suppliers' engineer)
- LSL laminated strand lumber (LSE Timberstrand)
- LVL laminated veneer Lumber (LVE VWS Microllam, Gang-lam 2.0E, VersaLam 2.0E)
- PSL parallel strand Lumber (2.2E WS Parallam)

Inspect quality of all engineered lumber upon delivery to site. Reject and replace any material that exhibits: sag, bow, damage, excessive moisture, signs of exposure to the elements during yard storage, mold, mildew, discoloration.

Handle and store material in dry ventilated condition and protect against exposure to weather/precipitation during construction as per manufacturer's recommendations.

Temporarily support long spans and cantilevers in beams if exposure to precipitation is unavoidable during construction to minimize affects of creep. Do not remove temporary supports until wood is sufficiently dry.

Do not use structural composite lumber in applications where it will be permanently exposed to precipitation / weather unless treated and sealed to the approval of the manufacturer or protected with rainscreened finishes as per envelope consultant recommendations.

Refer to the manufacturers' recommendations for multi-laminate construction and restrictions on hole cutting and drilling, and notching.

Use Simpson HGLS type face mount hangers with capacity to match beam's shear capacity to support engineered beams. Use 63mm (2 1/2") 16d hanger nails. Do not use 38mm (1 1/2") 10d nails as they reduce capacity by 20 %.

STRUCTURAL STEEL

Code references and conformance:

- Fabrication, erection, design & detailing to CSA-S16.1
- Welding to CSA W47.1
- General requirements to CAN3-G40.20
- Workmanship to CAN3-G40.21
- Primer to CGSB 1-GP-40J

Fabrication shops shall be approved by the Canadian Welding Bureau to division 1 or 2 and all welding shall be performed by welders certified by CWB.

Submit clear, current copies of fabricator and welders' certificates to the Departmental Representative along with the shop drawings.

Submit shop drawings for steel fabrications to the Departmental Representative for review prior to fabrication. Show all pertinent details, material specifications on the shop drawings.

Grades of materials (minimum) are as follows U.N.O.:

- All structural steel - 350W
- Hollow structural sections, HSS - 350W, Class C
- Bars, rods, angles & misc. metal - 300W
- Bolts, nuts and washers - ASTM A325
- Welds - E-70xx (480 MPa)
- Shop primer (exterior) - ZINC-CHROMATE TYPE 1

All welds shall have a minimum 4.5mm throat and a minimum leg of 6mm. All bolted connections shall have 2-M20 bolts.

Cap all open ends of pipes, tubes and HSS with 4.8mm thick steel plate with seal weld all around.

Apply minimum one coat of shop primer to all steel work. Use weldable primer where further welding is anticipated.

Field prime all connection bolts, welds and burned or scratch primed surfaces at completion of erection.

SPECIALTY COMPONENTS, SHOP DRAWINGS & SPECIALIST ENGINEER

Refer to the contract documents for other items requiring shop drawings and for other requirements for shop drawing production and submission. Submit no more than 4 hard copies of shop drawings to the Departmental Representative and allow 10 working days for review by the Departmental Representative.

The shop drawings shall clearly indicate the supplier's company information, the detailer's information, drawing date, material lists, member arrangement, dimensions, assembly information, finish, etc. The supplier, subcontractor and specialty engineer are responsible for the components' dimensions, detailing, engineering design and field inspection of the installed component. Hand sketched shop drawings will be rejected.

Only shop drawings having an affect on and/or form a part of the building's structure need to be submitted to Departmental Representative for review.

Shop drawings for structural components of the building shall be complete, signed and sealed by the supplier's specialty professional engineer. The shop drawings shall clearly indicate the supplier's company information, detailer's information, drawing date, material lists, member arrangement, dimensions, assembly method, finish, etc.

The specialist engineer must be experienced with the associated component, registered in the province or territory having jurisdiction. The specialist engineer and subcontractor are responsible for coordination of items affecting their respective component. Upon completion of the work in the field, the specialty engineer shall submit to the general contractor and Departmental Representative a signed and sealed letter certifying conformity of the work to the contract documents and the applicable codes.

The subcontractor bidding on their component of the building shall furnish all materials, services and labor necessary to complete their work in conformity to the consultants' documents and applicable building codes. Proposed alterations resulting in a cost savings shall be credited to the owner. Proposed alterations resulting in additional cost to that component and/or to another subcontractor shall be borne by the subcontractor proposing the alteration.

ABBREVIATIONS

ALT = alternate	MAX = maximum
BLL = bottom lower layer	MF = factored moment
BOT = bottom	MIN = minimum
BUL = bottom upper layer	NS = near side
B/U = built up	N STUD = nelson/shear stud
CANT = cantilever	NTS = not to scale
CF = factored compression	O/F = outside face
CONC = concrete	PSL = Parallam
CL = centre line	PL = plate
CONT = continuous	P/T = post tension
CSK = counter-sink	PT = pressure treated
C/W = complete/connect with	RS = rough sawn
DL = dead load	R/W = reinforce with
EA = each	SDL = superimposed dead load
EE = each end	SEL = select grade
EF = each face	SIM. = similar
ELEV = elevation	S.O.G. = slab on grade
ES = each side	S.S. = stainless steel
EW = each way	STAG = stagger
EXT = exterior	TF = factored tension
FDN = foundation	T&G = tongue & groove
FO = face of	THK = thick
FS = far side	TJ = tie joist
GALV = hot dipped galvanize	TLL = top lower layer
GL = glulam	T.O. = top of
HIE = hook one end	TUL = top upper layer
HZE = hook two ends	TYP = typical
HDR = header	T&B = top & bottom
HOR = horizontal	UDL = uniformly distributed load
I/F = inside face	U.N.O. = unless noted otherwise
INT = interior	U/S = underside
KD = kiln dried	VERT = vertical
LL = live load	VF = factored shear
LSL = Timberstrand	W/ = with
LVL = Microllam	W/O = without

DRAWING LIST	
No.	TITLE
S1.01	GENERAL NOTES
S1.02	SECTIONS AND DETAILS
S1.03	SECTIONS AND DETAILS
S2.01	CRAWL SPACE FLOOR FRAMING PLAN
S2.02	GROUND FLOOR FRAMING PLAN
S2.03	SECOND FLOOR FRAMING PLAN
S2.04	ROOF FRAMING PLAN



REAL PROPERTY SERVICES
Western Region
SERVICES IMMOBILIERS
Région de l'ouest

**PRELIMINARY
NOT FOR CONSTRUCTION**

5		
4		
3	ISSUED FOR TENDER	2022 JAN 27
2	99% REVIEW	2021 DEC 15
1	66% REVIEW	2021 SEP 08
0	33% REVIEW	2021 AUG 13

Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title: Projct

**GREENING NORTHERN
HOUSING - POND INLET**

Designed by: Conçu par

Drawn by: Dessiné par

Approved by: Approuvé par

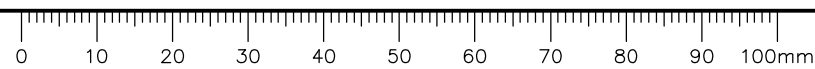
PWSSC Project Manager: Administrateur de Projets TPSGC

Drawing title: Titre du dessin

GENERAL NOTES

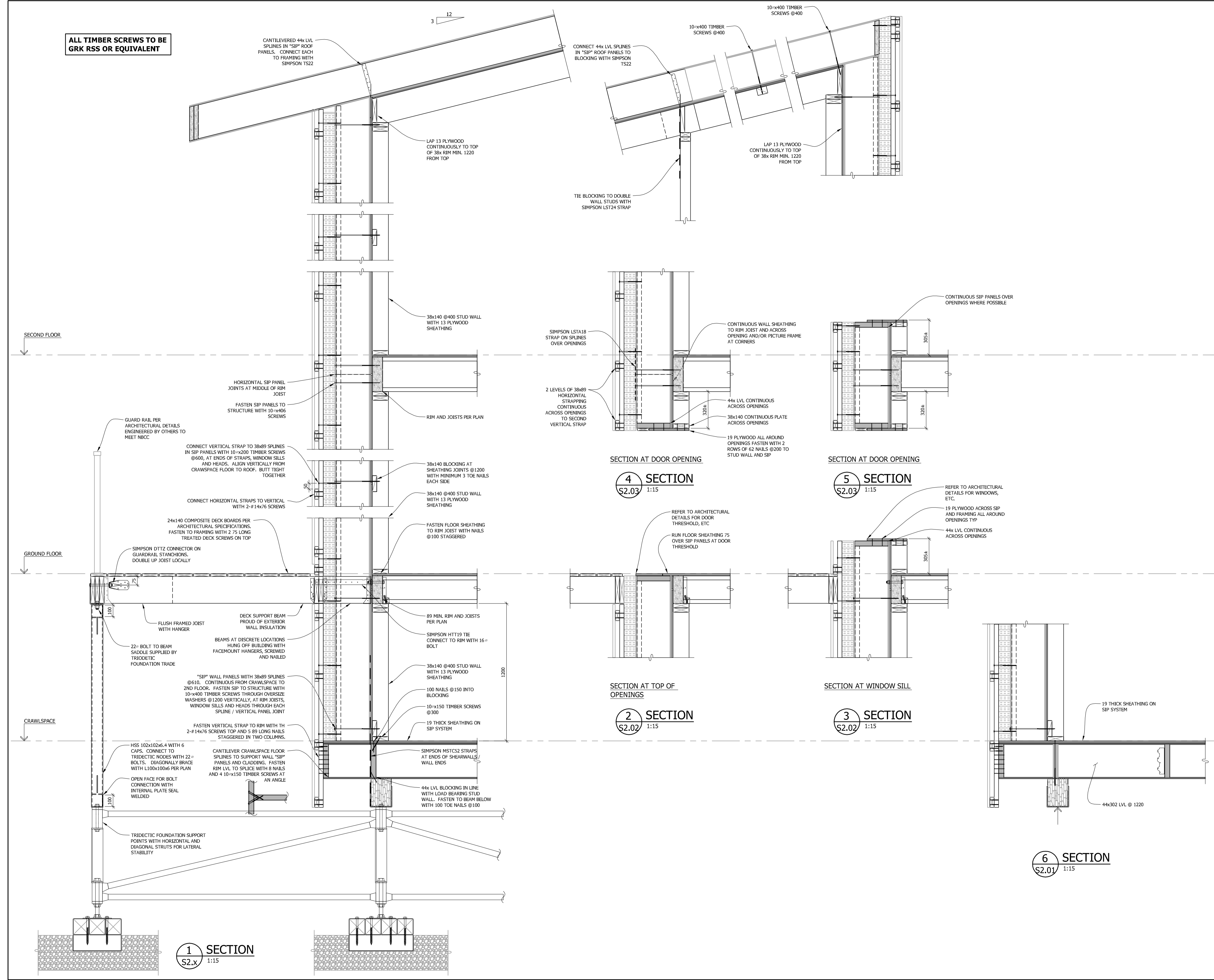
Project no./No. du projet: Drawing no./No. du dessin: Revision no.

S1.01



PRELIMINARY
 NOT FOR CONSTRUCTION

ALL TIMBER SCREWS TO BE GRK RSS OR EQUIVALENT



Revision	Description	Date
5		
4		
3	ISSUED FOR TENDER	2022 JAN 27
2	99% REVIEW	2021 DEC 15
1	66% REVIEW	2021 SEP 08
0	13% REVIEW	2021 AUG 13

Client: **PARKS CANADA AGENCY** client

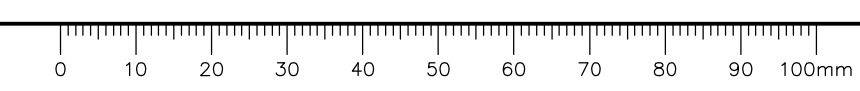
Project title: **GREENING NORTHERN HOUSING - POND INLET** Projet

Designed by: Conçu par
 Drawn by: Dessiné par
 Approved by: Approuvé par

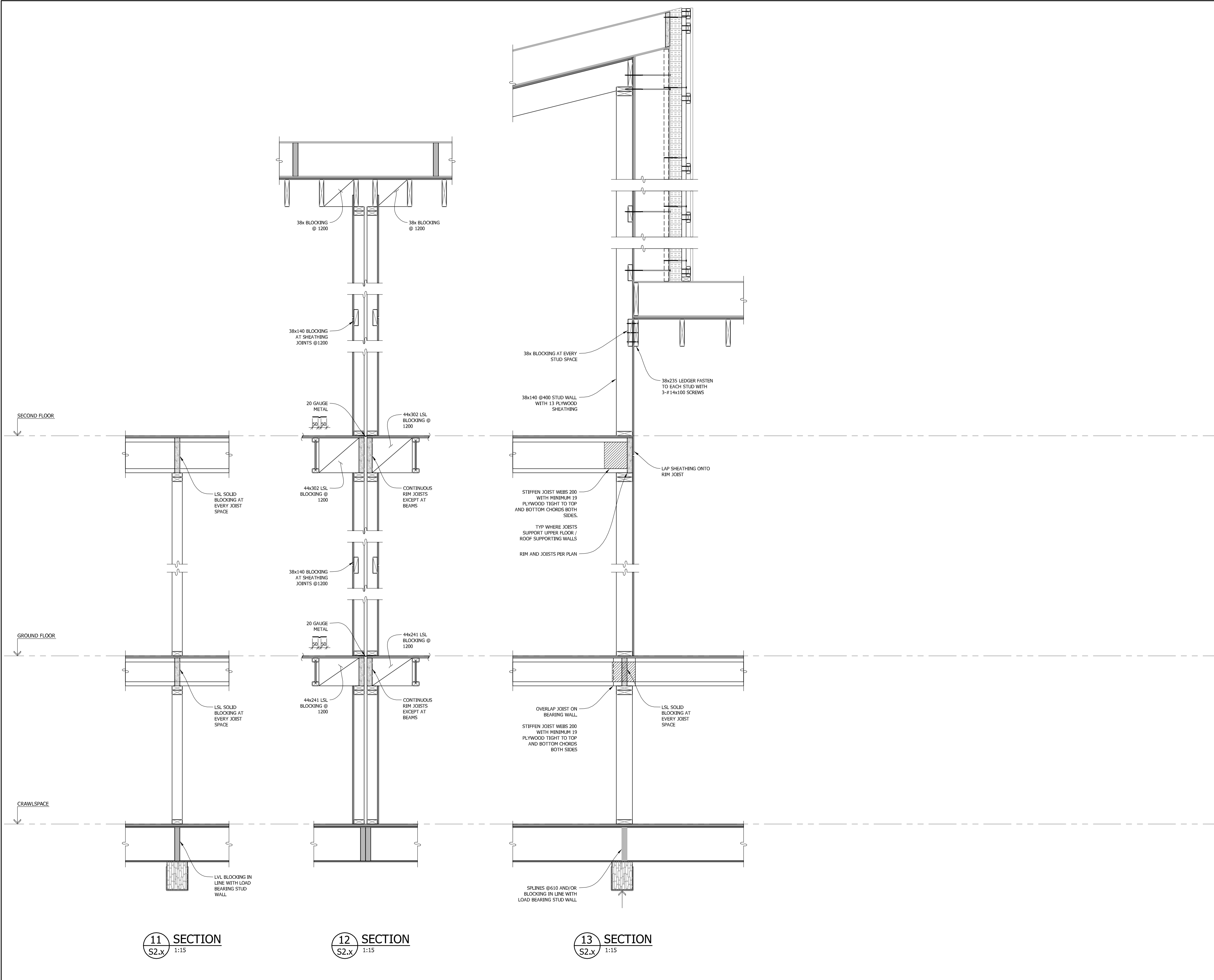
PWSSC Project Manager: Administrateur de Projets TPSGC

Drawing title: **SECTIONS AND DETAILS** Titre du dessin

Project no./No. du projet: **S1.02** Drawing no./No. du dessin: **S1.02** Revision no.: **S1.02**



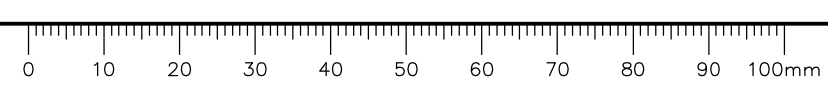
PRELIMINARY
NOT FOR CONSTRUCTION



11 SECTION
S2.x 1:15

12 SECTION
S2.x 1:15

13 SECTION
S2.x 1:15



5		
4		
3	ISSUED FOR TENDER	2022 JAN 27
2	99% REVIEW	2021 DEC 15
1	66% REVIEW	2021 SEP 08
0	13% REVIEW	2021 AUG 13
Revision	Description	Date
Client	client	

PARKS CANADA AGENCY

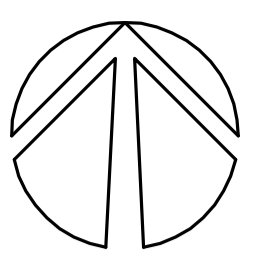
Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: _____ Conçu par: _____
 Drawn by: _____ Dessiné par: _____
 Approved by: _____ Approuvé par: _____
 PWSSC Project Manager: _____ Administrateur de Projets TPSGC

Drawing title: **SECTIONS AND DETAILS**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	S1.03	

arch
fnd
base - w
base - w



CRAWL SPACE (Pond Inlet) 2021.12.01

Public Works and Government Services Canada / Travaux publics et Services gouvernementaux Canada

REAL PROPERTY SERVICES
Western Region
SERVICES IMMOBILIERS
Région de l'ouest

PRELIMINARY
NOT FOR CONSTRUCTION

WIND EAST-WEST DIRECTION
 WINDWARD BASE SHEAR = 46.3 kN
 LEeward BASE SHEAR = 33.6 kN
TOTAL WIND BASE SHEAR = 79.9 kN

WIND NORTH-SOUTH DIRECTION
 WINDWARD BASE SHEAR = 94.0 kN
 LEeward BASE SHEAR = 73.1 kN
TOTAL WIND BASE SHEAR = 167.1 kN

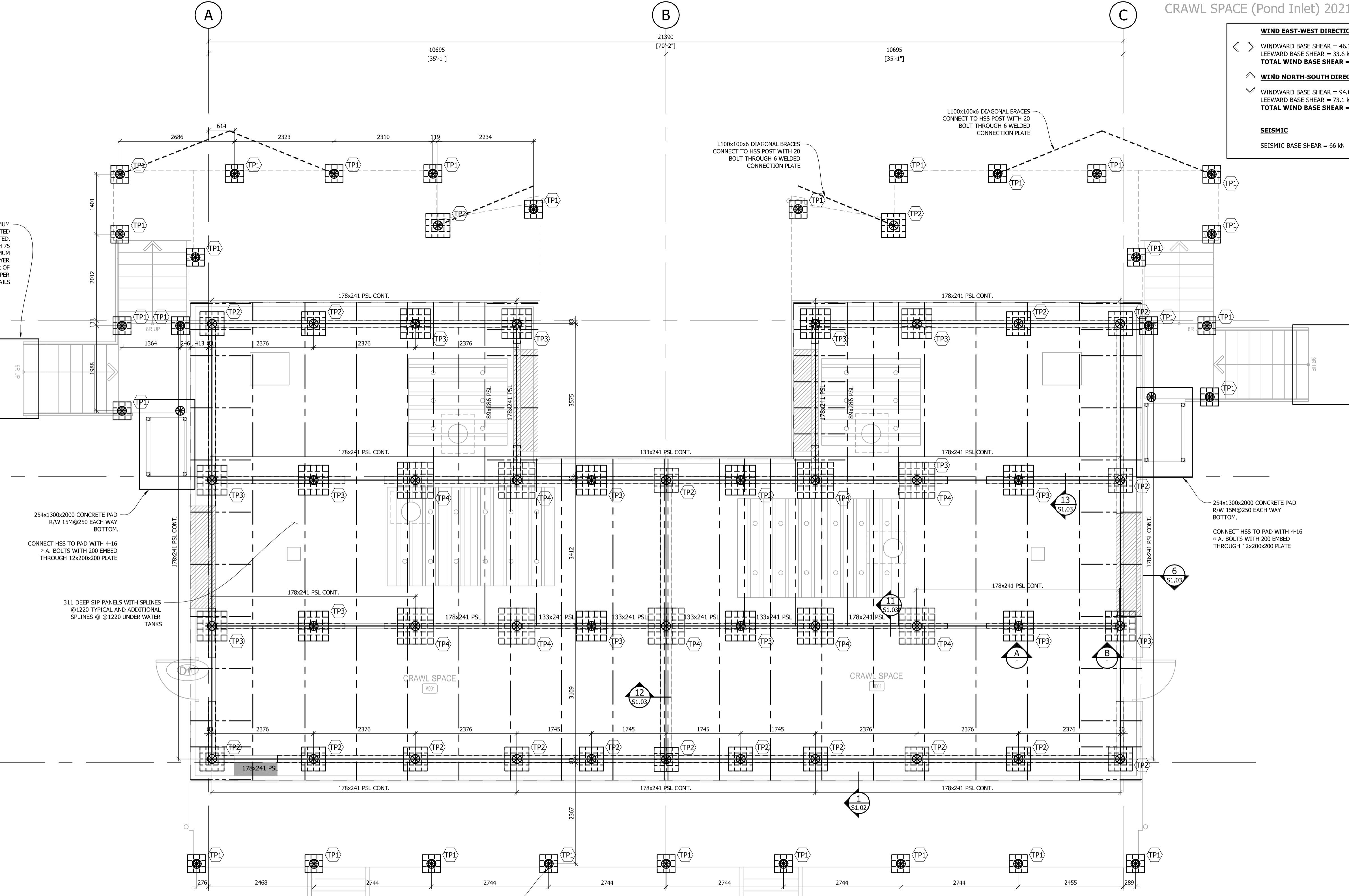
SEISMIC
 SEISMIC BASE SHEAR = 66 kN

TIMBER PAD LANDING: MINIMUM 2 LAYERS OF 38x235 TREATED TIMBER CROSS LAMINATED. FASTEN TOGETHER WITH 75 GALVANIZED NAILS 2 MINIMUM PER INTERSECTION PER LAYER WITH FINISHING LAYER OF 38x140 RADIUS DECKING PER ARCH. DETAILS

1

2

3

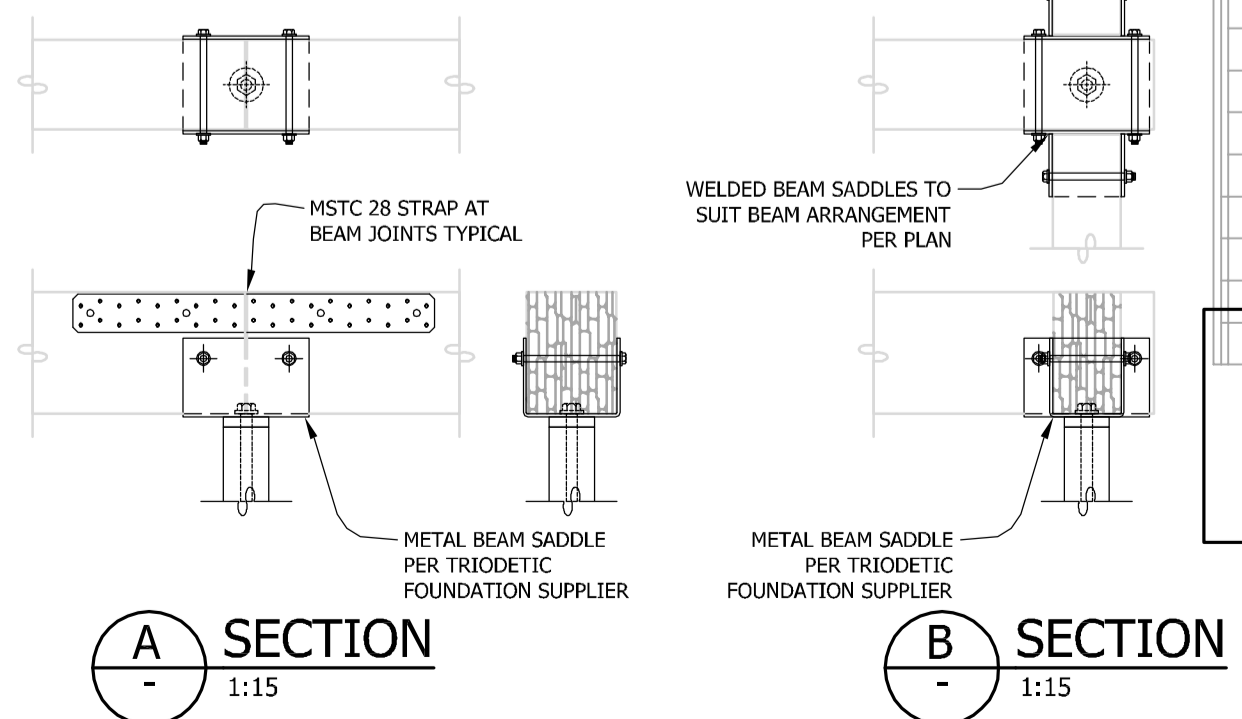


25x1300x2000 CONCRETE PAD R/W 15M@250 EACH WAY BOTTOM.
CONNECT HSS TO PAD WITH 4-16 A. BOLTS WITH 200 EMBED THROUGH 12x200x200 PLATE

311 DEEP SIP PANELS WITH SPLINES @1220 TYPICAL AND ADDITIONAL SPLINES @ @1220 UNDER WATER TANKS

25x1300x2000 CONCRETE PAD R/W 15M@250 EACH WAY BOTTOM.
CONNECT HSS TO PAD WITH 4-16 A. BOLTS WITH 200 EMBED THROUGH 12x200x200 PLATE

CRAWL SPACE FLOOR FRAMING PLAN
1:50



FOUNDATION SCHEDULE

MARK	SIZE	REINFORCING
TP1	420x420 (3) TIMBER PAD	2 LAYERS OF 140x140 TREATED TIMBER
TP2	560x560 (4) TIMBER PAD	2 LAYERS OF 140x140 TREATED TIMBER
TP3	700x700 (5) TIMBER PAD	3 LAYERS OF 140x140 TREATED TIMBER
TP4	840x840 (6) TIMBER PAD	4 LAYERS OF 140x140 TREATED TIMBER

THE BEARING SURFACE SHALL BE REVIEWED AND APPROVED, IN WRITING, BY THE GEOTECHNICAL ENGINEER PRIOR TO FOUNDATION CONSTRUCTION. NOTIFY THE DEPARTMENTAL REPRESENTATIVE IMMEDIATELY IF THE ACTUAL BEARING CAPACITY IS LESS THAN THAT ASSUMED.

CONNECT EACH LAYER OF TIMBER TOGETHER WITH 16x250 LAG SCREWS AT EVERY OTHER INTERSECTION.

Revision	Description	Date
5		
4		
3	ISSUED FOR TENDER	2022 JAN 27
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0	13% REVIEW	2021 AUG 13

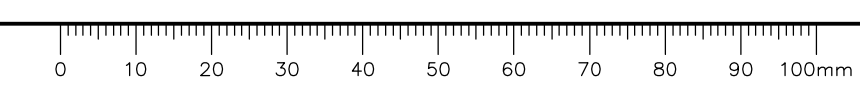
Client: PARKS CANADA AGENCY

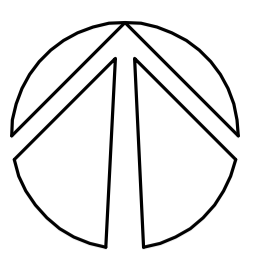
Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: Conçu par
 Drawn by: Dessiné par
 Approved by: Approuvé par
 PWSSC Project Manager: Administrateur de Projets TPSGC

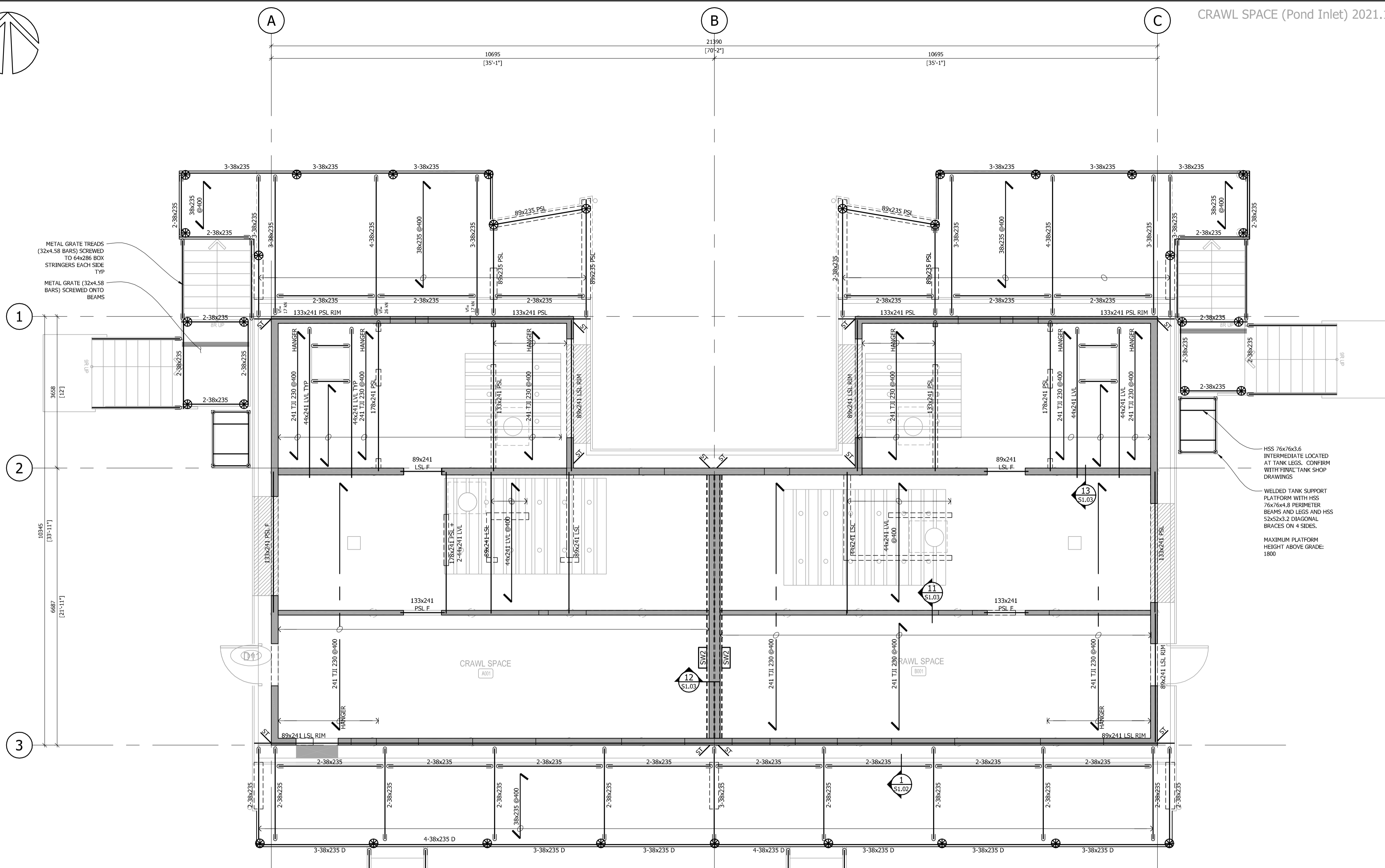
Drawing title: CRAWL SPACE FLOOR FRAMING PLAN

Project no./No. du projet: S2.01
 Drawing no./No. du dessin: S2.01
 Revision no.: S2.01





PRELIMINARY
NOT FOR CONSTRUCTION



GROUND FLOOR FRAMING PLAN
1:50

FLOOR CONSTRUCTION:
USE 19 D, FIR TONGUE AND GROOVE PLYWOOD ON FLOOR FRAMING AND SIP PANELS (90°).
GLUE AND FASTEN FLOOR SHEATHING TO JOISTS AND FLUSH BEAMS WITH 58 NAILS 150 ON CENTRE ALONG PANEL EDGES AND @ 250 THROUGHOUT.

ROOF CONSTRUCTION:
USE 16 MIN. TONGUE AND GROOVE PLYWOOD ON ROOF FRAMING AS SHOWN. FASTEN PLYWOOD TO FRAMING 64 NAILS (3.5") @ 150 ON CENTRE ALONG PANEL EDGES AND @ 250 THROUGHOUT.

FRAMING LEGEND			
	LOAD BEARING WALL OVER FLOOR FRAMING		6x6 POST
	LOAD BEARING WALL		TRIODETIC SUPPORT POINTS
	PLYWOOD SHEARWALL		BEAM W/ HANGER, INV=INVERTED
	POST IN STUD WALLS		CUSTOM STEEL HANGER WITH 3/4" BENT SADDLE
	# BEARING STUDS UNDER BEAM		CUSTOM STEEL HANGER WITH 3/4" BENT SADDLE WELDED TO 3/4" MIN. BACK PLATE WITH 3/8" ANCHOR BOLTS
	# OF KING STUDS CONTINUOUS TO TOP OF BEAM		D / F DROP OR FLUSH BEAM
			FLOOR/ROOF JOIST
			ROOF RAFTER (SLOPED)
			HOLD DOWN BRACKET
			STEEL STRAP TIE

SHEARWALL		
MARK	DESCRIPTION	CAPACITY
SW1	EDGE NAILS @ 150 UNBLOCKED ASPECT RATIO 2H:1L	3.3 kN/m
SW2	EDGE NAILS @ 100 BLOCK ALL EDGES 16" A. BOLTS @ 1200	8.3 kN/m
SW3	EDGE NAILS @ 75 BLOCK ALL EDGES 16" A. BOLTS @ 800	10.6 kN/m

FASTEN 13 PLYWOOD WITH 64 LONG x3.5" NAILS AT SPACING PER SCHEDULE AND AT 250 ON INTERMEDIATE FRAMING (FIELD). NAIL 2-38x STUDS AT HOLDDOWN AND STRAPS AT SPACING PER SCHEDULE TO EACH STUD. ALL EXTERIOR WALLS ARE TO BE NAILED SW2 U.N.O. **DO NOT OVER NAIL PANEL EDGES TO LESS THAN 75 O.C.**

HD = SIMPSON HDUS HOLDDOWN
ST = SIMPSON STRAP MSTC40 FOR 38x235, MSTC52 FOR 302 JOISTS

INSTALL STRAPS OVER SHEARWALL SHEATHING, FLAT AGAINST WALLS AND BEAMS, CENTRED ON RIM JOIST. DO NOT BEND. ISOLATE STRAP FROM PLYWOOD WITH BUILDING PAPER ON EXTERIOR WALLS. ALIGN HOLDDOWNS AND STRAPS VERTICALLY THROUGH FLOOR FRAMING. SOLID BLOCK JOIST SPACE AT HOLDDOWN AND STRAP LOCATIONS.

FASTEN SHEARWALL BOTTOM PLATES DOWN TO TRANSFER BEAMS WITH SDS25600 (6.5" x150 LONG) SIMPSON SDS SCREWS @600 O.C. FOR SW1, @250 O.C. FOR SW2, AND @200 O.C. FOR SW3.

Revision	Description	Date
5		
4		
3	ISSUED FOR TENDER	2022 JAN 27
2	99% REVIEW	2021 DEC 15
1	66% REVIEW	2021 SEP 08
0	13% REVIEW	2021 AUG 13

Client: PARKS CANADA AGENCY

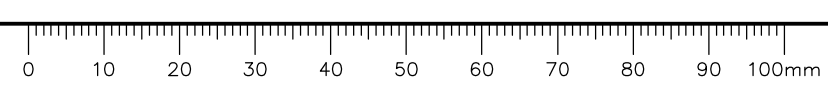
Project title: GREENING NORTHERN HOUSING - POND INLET

Designed by: Conçu par
Drawn by: Dessiné par
Approved by: Approuvé par

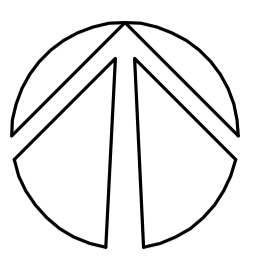
PWSSC Project Manager / Administrateur de Projets TPSGC

Drawing title: GROUND FLOOR FRAMING PLAN

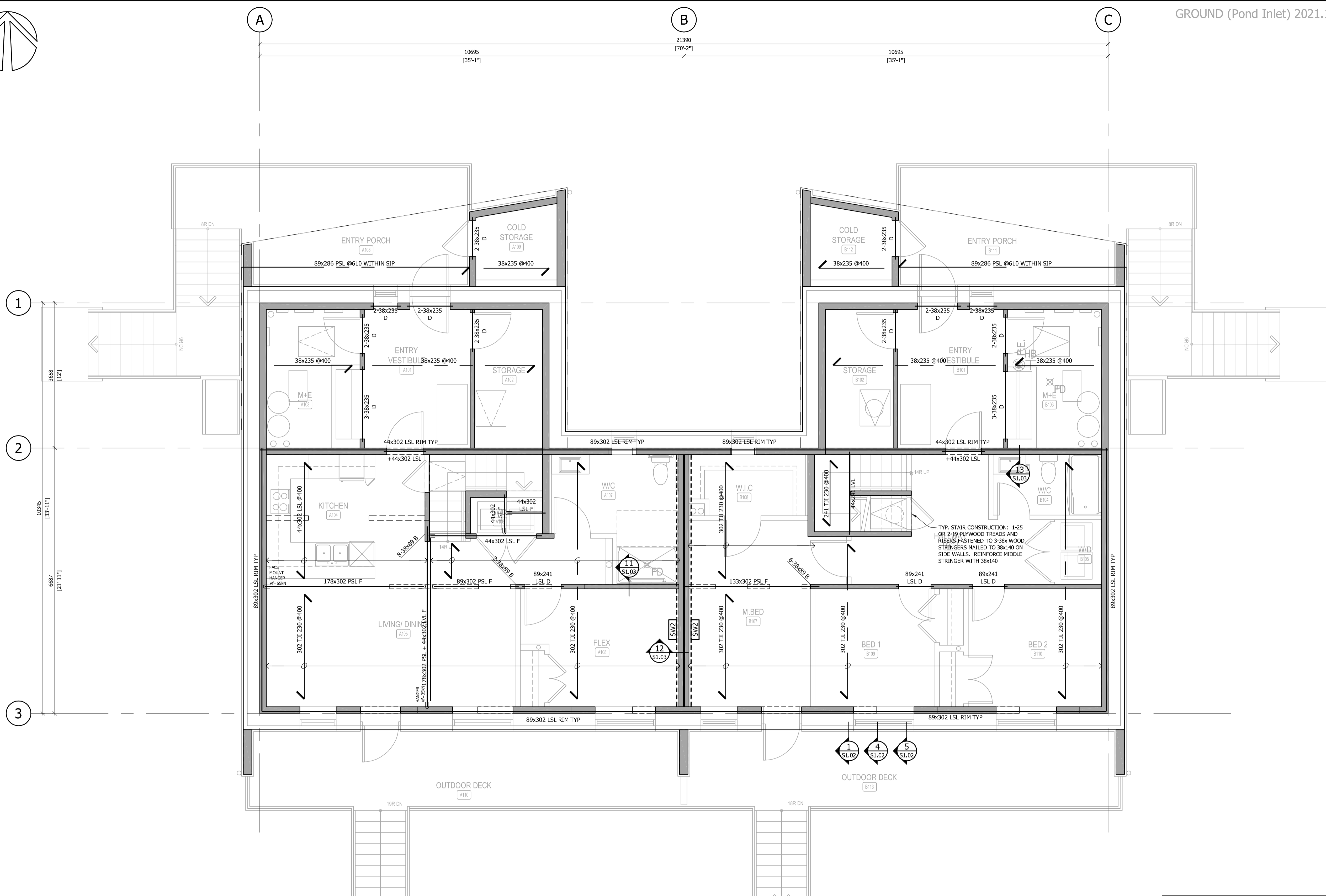
Project no./No. du projet	Drawing no./No. du dessin	Revision no.
		S2.02



- arch
- base - w
- level1
- level2
- M2deck
- roof lower



PRELIMINARY
NOT FOR CONSTRUCTION



SECOND FLOOR FRAMING PLAN
 1:50

FLOOR CONSTRUCTION:
 USE 19 D, FIR TONGUE AND GROOVE PLYWOOD ON FLOOR FRAMING AND SIP PANELS (90°).
 GLUE AND FASTEN FLOOR SHEATHING TO JOISTS AND FLUSH BEAMS WITH 58 NAILS 150 ON CENTRE ALONG PANEL EDGES AND @ 250 THROUGHOUT.

ROOF CONSTRUCTION:
 USE 16 MIN. TONGUE AND GROOVE PLYWOOD ON ROOF FRAMING AS SHOWN. FASTEN PLYWOOD TO FRAMING 64 NAILS (3.5") @ 150 ON CENTRE ALONG PANEL EDGES AND @ 250 THROUGHOUT.

FRAMING LEGEND			
	LOAD BEARING WALL OVER FLOOR FRAMING		6x6 POST
	LOAD BEARING WALL		TRIODETIC SUPPORT POINTS
	PLYWOOD SHEARWALL		BEAM W/ HANGER, INV=INVERTED
	POST IN STUD WALLS		CUSTOM STEEL HANGER WITH 3/4" BENT SADDLE
	# OF BEARING STUDS UNDER BEAM		CUSTOM STEEL HANGER WITH 3/4" BENT SADDLE WELDED TO 1/2" MIN. BACK PLATE WITH 3/8" ANCHOR BOLTS
	# OF KING STUDS CONTINUOUS TO TOP OF BEAM		D / F DROP OR FLUSH BEAM
			FLOOR/ROOF JOIST
			ROOF RAFTER (SLOPED)
			HOLD DOWN BRACKET
			STEEL STRAP TIE

SHEARWALL		
MARK	DESCRIPTION	CAPACITY
SW1	EDGE NAILS @ 150 UNBLOCKED ASPECT RATIO 2H:1L	3.3 kN/m
SW2	EDGE NAILS @ 100 BLOCK ALL EDGES 16" A. BOLTS @ 1200	8.3 kN/m
SW3	EDGE NAILS @ 75 BLOCK ALL EDGES 16" A. BOLTS @ 800	10.6 kN/m

FASTEN 13 PLYWOOD WITH 64 LONG x3.5" NAILS AT SPACING PER SCHEDULE AND AT 250 ON INTERMEDIATE FRAMING (FIELD). NAIL 2-38x STUDS AT HOLDDOWN AND STRAPS AT SPACING PER SCHEDULE TO EACH STUD. ALL EXTERIOR WALLS ARE TO BE NAILED SW2 U.N.O. **DO NOT OVER NAIL PANEL EDGES TO LESS THAN 75 O.C.**

HD = SIMPSON HDUS HOLDDOWN
ST = SIMPSON STRAP MSTC40 FOR 38x235, MSTC52 FOR 302 JOISTS

INSTALL STRAPS OVER SHEARWALL SHEATHING, FLAT AGAINST WALLS AND BEAMS, CENTRED ON RIM JOIST. DO NOT BEND. ISOLATE STRAP FROM PLYWOOD WITH BUILDING PAPER ON EXTERIOR WALLS. ALIGN HOLDDOWNS AND STRAPS VERTICALLY THROUGH FLOOR FRAMING. SOLID BLOCK JOIST SPACE AT HOLDDOWN AND STRAP LOCATIONS.

FASTEN SHEARWALL BOTTOM PLATES DOWN TO TRANSFER BEAMS WITH SDS25600 (6.5" x150 LONG) SIMPSON SDS SCREWS @600 O.C. FOR SW1, @250 O.C. FOR SW2, AND @200 O.C. FOR SW3.

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3	ISSUED FOR TENDER	2022 JAN 27
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1	66% REVIEW	2021 SEP 08
0	13% REVIEW	2021 AUG 13

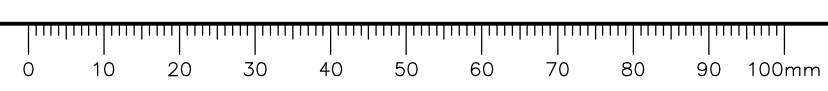
Client: **PARKS CANADA AGENCY**

Project title: **GREENING NORTHERN HOUSING - POND INLET**

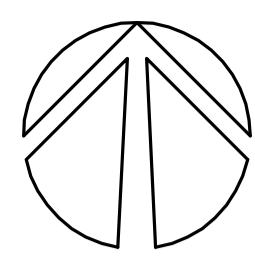
Designed by: Conçu par
 Drawn by: Dessiné par
 Approved by: Approuvé par
 PWSSC Project Manager / Administrateur de Projets TPSGC

Drawing title: **SECOND FLOOR FRAMING PLAN**

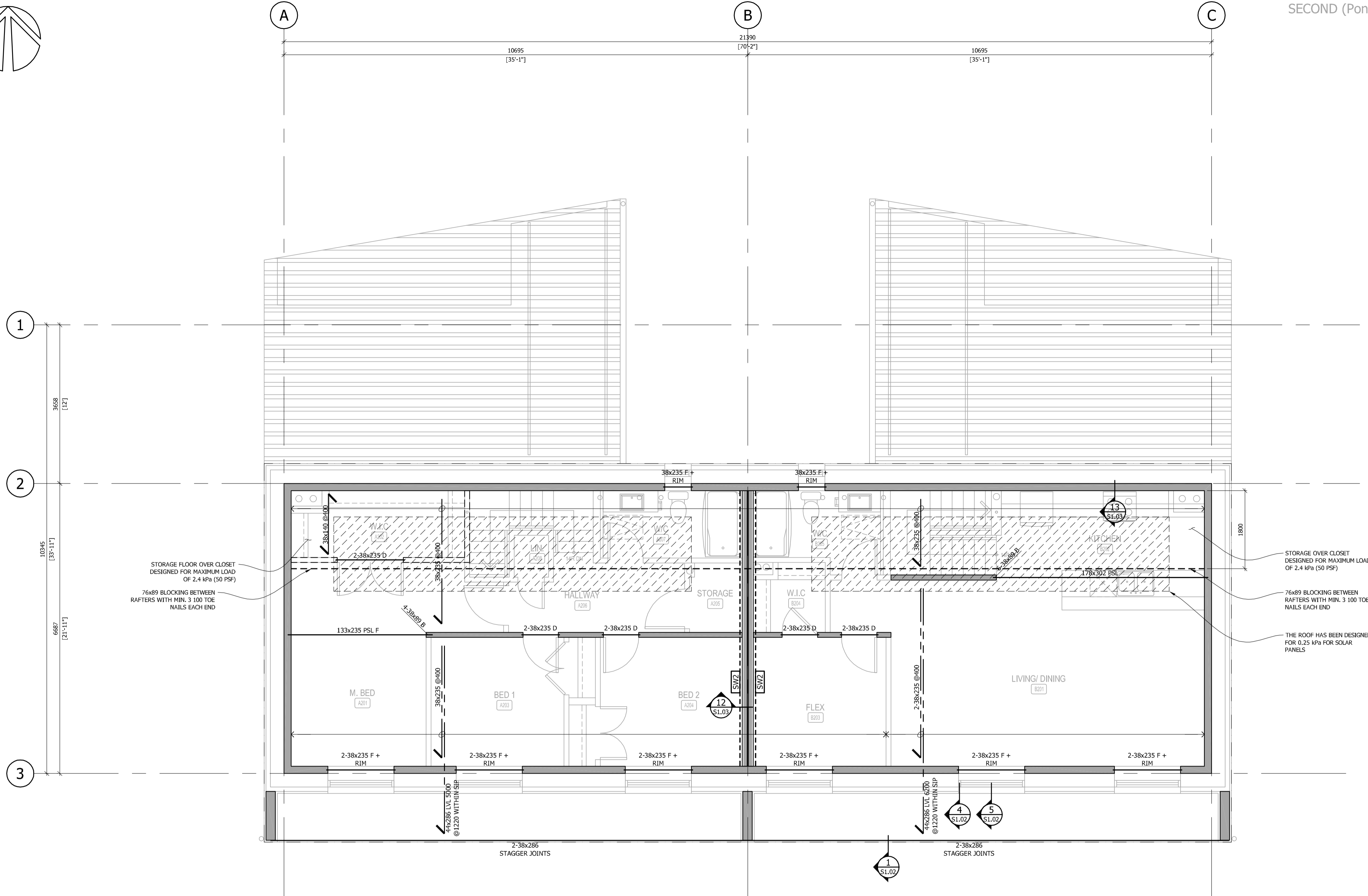
Project no./No. du projet	Drawing no./No. du dessin	Revision no.
		S2.03



arch
level2
roof



PRELIMINARY
NOT FOR CONSTRUCTION



STORAGE FLOOR OVER CLOSET
DESIGNED FOR MAXIMUM LOAD
OF 2.4 kPa (50 PSF)
76x89 BLOCKING BETWEEN
RAFTERS WITH MIN. 3 100 TOE
NAILS EACH END

STORAGE OVER CLOSET
DESIGNED FOR MAXIMUM LOAD
OF 2.4 kPa (50 PSF)
76x89 BLOCKING BETWEEN
RAFTERS WITH MIN. 3 100 TOE
NAILS EACH END
THE ROOF HAS BEEN DESIGNED
FOR 0.25 kPa FOR SOLAR
PANELS

ROOF FRAMING PLAN
1:50

5		
4		
3	ISSUED FOR TENDER	2022 JAN 27
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1	66% REVIEW	2021 SEP 08
0	13% REVIEW	2021 AUG 13
Revision	Description	Date
Client		client

PARKS CANADA AGENCY

Project title **GREENING NORTHERN HOUSING - POND INLET**

Designed by **Conçu par**
Drawn by **Dessiné par**
Approved by **Approuvé par**
PWSSC Project Manager **Administrateur de Projets TPSGC**

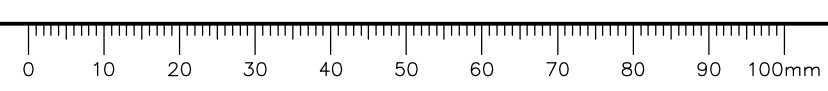
FLOOR CONSTRUCTION:		ROOF CONSTRUCTION:	
USE 19 D, FIR TONGUE AND GROOVE PLYWOOD ON FLOOR FRAMING AND SIP PANELS (90°).	GLUE AND FASTEN FLOOR SHEATHING TO JOISTS AND FLUSH BEAMS WITH 58 NAILS 150 ON CENTRE ALONG PANEL EDGES AND @ 250 THROUGHOUT.	USE 16 MIN. TONGUE AND GROOVE PLYWOOD ON ROOF FRAMING AS SHOWN. FASTEN PLYWOOD TO FRAMING 64 NAILS (3.5") @ 150 ON CENTRE ALONG PANEL EDGES AND @ 250 THROUGHOUT.	

FRAMING LEGEND					
	LOAD BEARING WALL OVER FLOOR FRAMING		6x6 POST		D / F DROP OR FLUSH BEAM
	LOAD BEARING WALL		TRIODETIC SUPPORT POINTS		FLOOR/ROOF JOIST
	PLYWOOD SHEARWALL		BEAM W/ HANGER, INV=INVERTED		ROOF RAFTER (SLOPED)
	POST IN STUD WALLS		CUSTOM STEEL HANGER WITH 3/4" BENT SADDLE		HOLD DOWN BRACKET
	# BEARING STUDS UNDER BEAM		CUSTOM STEEL HANGER WITH 3/4" BENT SADDLE WELDED TO 1/2" MIN. BACK PLATE WITH 3/8" ANCHOR BOLTS		STEEL STRAP TIE
	# OF KING STUDS CONTINUOUS TO TOP OF BEAM				

SHEARWALL		
MARK	DESCRIPTION	CAPACITY
SW1	EDGE NAILS @ 150 UNBLOCKED ASPECT RATIO 2H:1L	3.3 kN/m
SW2	EDGE NAILS @ 100 BLOCK ALL EDGES 16" A. BOLTS @ 1200	8.3 kN/m
SW3	EDGE NAILS @ 75 BLOCK ALL EDGES 16" A. BOLTS @ 800	10.6 kN/m

FASTEN 13 PLYWOOD WITH 64 LONG x3.5" NAILS AT SPACING PER SCHEDULE AND AT 250 ON INTERMEDIATE FRAMING (FIELD). NAIL 2-38x STUDS AT HOLDDOWN AND STRAPS AT SPACING PER SCHEDULE TO EACH STUD. ALL EXTERIOR WALLS ARE TO BE NAILED SW2 U.N.O. **DO NOT OVER NAIL PANEL EDGES TO LESS THAN 75 O.C.**
HD = SIMPSON HDUS HOLDDOWN
ST = SIMPSON STRAP MSTC40 FOR 38x235, MSTC52 FOR 302 JOISTS
 INSTALL STRAPS OVER SHEARWALL SHEATHING, FLAT AGAINST WALLS AND BEAMS, CENTRED ON RIM JOIST. DO NOT BEND. ISOLATE STRAP FROM PLYWOOD WITH BUILDING PAPER ON EXTERIOR WALLS. ALIGN HOLDDOWNS AND STRAPS VERTICALLY THROUGH FLOOR FRAMING. SOLID BLOCK JOIST SPACE AT HOLDDOWN AND STRAP LOCATIONS.
 FASTEN SHEARWALL BOTTOM PLATES DOWN TO TRANSFER BEAMS WITH SDS25600 (6.5" x150 LONG) SIMPSON SDS SCREWS @600 O.C. FOR SW1, @250 O.C. FOR SW2, AND @200 O.C. FOR SW3.

ROOF FRAMING PLAN		
Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	S2.04	



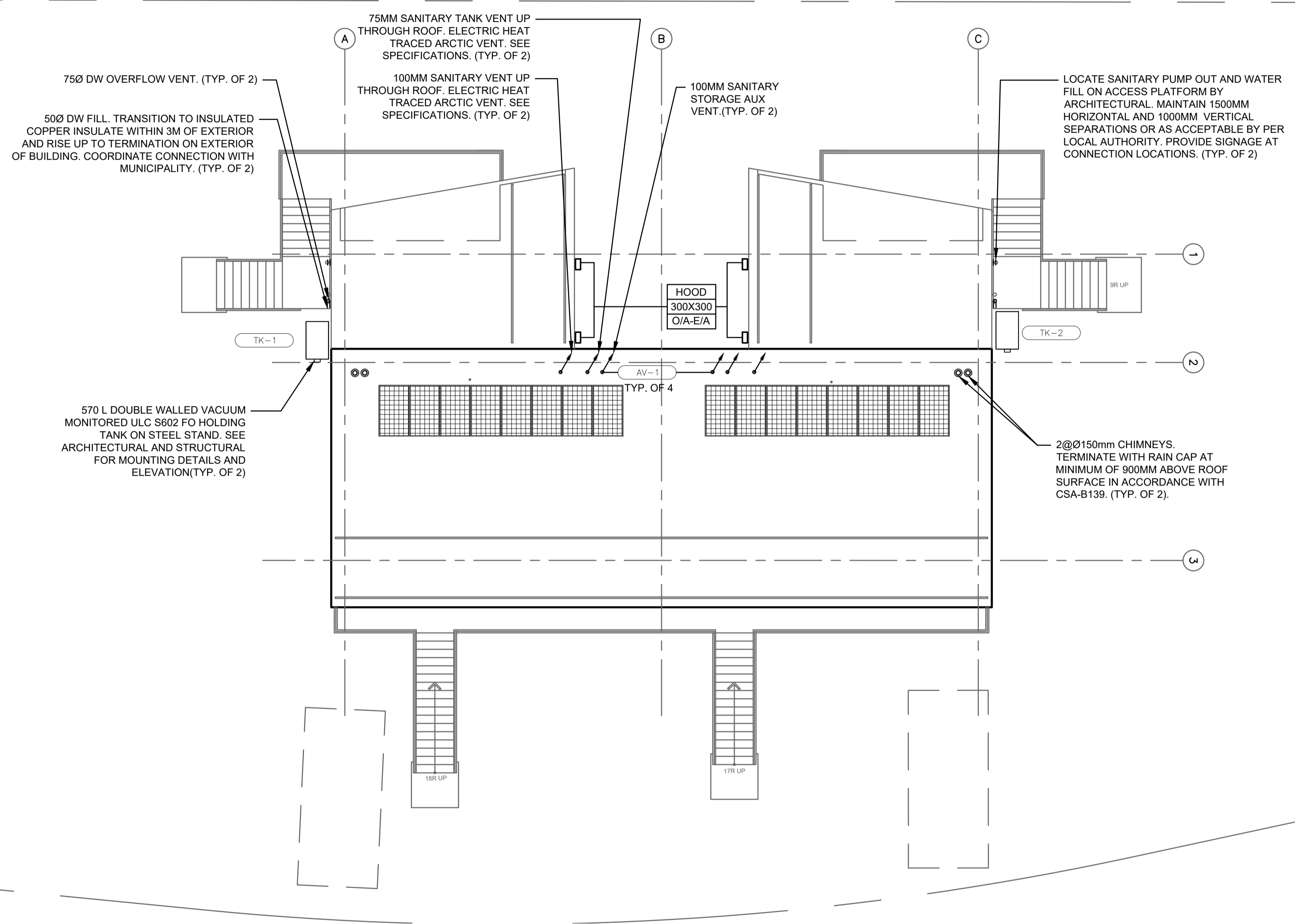
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LEGEND

	DUCT WITH ACOUSTIC INSULATION		SAN	CONTROL WIRING
	SQUARE ELBOW TURN (SUPPLY UP/DOWN)		SAN	SANITARY PIPING
	SQUARE ELBOW TURN (RETURN UP/DOWN)		V	SANITARY PIPING (UNDER GROUND)
	SQUARE ELBOW TURN (EXHAUST UP/DOWN)		RDN	SANITARY VENT PIPING
	SQUARE ELBOW TURN (INTAKE UP/DOWN)		RDN	RADON VENT PIPING
	ELBOW, ROUND, SMOOTH RADIUS (UP/DOWN)		RDN	RADON VENT PIPING (UNDER GROUND)
	TRANSITION, RECTANGULAR, PYRAMIDAL (30° CONTRACTUAL ANGLE DEFAULT)		RDN	DOMESTIC COLD WATER PIPING
	TRANSITION, RECTANGULAR, SIDE (30° CONTRACTUAL ANGLE DEFAULT)		RDN	DOMESTIC HOT WATER PIPING
	SINGLE-LINE DUCT TAKEOFF		RDN	DOMESTIC HOT WATER RECIRC. PIPING
	DUCT CAP		RDN	PROPANE GAS PIPING
	DUCT BREAK		RDN	HEATING WATER SUPPLY PIPING
	SINGLE-LINE SUPPLY OR RETURN DUCT		RDN	HEATING WATER RETURN PIPING
	SINGLE-LINE EXHAUST DUCT		RDN	PIPE FLOW ARROW
	CEILING DIFFUSER 600x600/300x300		RDN	PIPE RISER
	RETURN GRILLE		RDN	PIPE DROP
	EXHAUST GRILLE		RDN	PIPE BREAK
	AIR FLOW ARROWS		RDN	PIPE CAP
	THERMOSTAT / THERMOSTAT IN LOCK BOX		RDN	PIPE CONNECTION
	STEEL RADIATOR		RDN	HOSE BIBB
	AIR OUTLET TAG (REFER TO SCHEDULE)		RDN	P-TRAP
	PLUMBING FIXTURE TAG (REFER TO SCHEDULE)		RDN	FLOOR DRAIN
	EQUIPMENT TAG (REFER TO SCHEDULE)		RDN	ROOF DRAIN
	KEYNOTE TAG		RDN	CLEANOUT
	QUANTITY		RDN	BUILDING CLEANOUT
	TYPE		RDN	GAS METER
	SIZE		RDN	WATER METER
	VOLUME		RDN	SANITARY VENT RISER
	TYPE		RDN	GAS PRESSURE REGULATOR TO ATMOSPHERE VENT
	QUANTITY		RDN	FIRE EXTINGUISHER
	TYPE		RDN	PUMP (REFER TO SCHEDULE)
	SIZE		RDN	ISOLATION VALVE
	VOLUME		RDN	PRESSURE REDUCING VALVE
	TYPE		RDN	CHECK VALVE
	QUANTITY		RDN	PLUG VALVE
	TYPE		RDN	CIRCUIT BALANCING VALVE
	SIZE		RDN	2-WAY CONTROL VALVE
	VOLUME		RDN	3-WAY CONTROL VALVE
	TYPE		RDN	UNION
	QUANTITY		RDN	Y STRAINER
	TYPE		RDN	AIR VALVE
	SIZE		RDN	RELIEF (R) OR SAFETY (S) VALVE
	VOLUME		RDN	PRESSURE GAUGE AND COCK
	TYPE		RDN	THERMOMETER
	QUANTITY		RDN	SIGHT FLOW GLASS
	TYPE		RDN	FLEXIBLE CONNECTOR
	SIZE		RDN	BACKFLOW PREVENTER, REDUCED PRESSURE ZONE (RPZ) TYPE
	VOLUME		RDN	RADIATION HEATING TAG (REFER TO SCHEDULE)
	TYPE		RDN	KEYNOTE TAG



DRAWING NUMBER	DRAWING NAME	DRAWING SCALE	DRAWING INCLUDED	DRAWING EXCLUDED
M1.01	SITE PLAN, LEGEND & DRAWING LIST	1:100	•	
M2.01	HEATING & DOMESTIC WATER SCHEMATIC	NTS	•	
M2.02	VENTILATION, FUEL OIL, DOMESTIC WATER & SANITARY SCHEMATIC, DETAILS	NTS	•	
M3.01	CRAWLSPACE MECHANICAL PLAN	1:50	•	
M3.02	GROUND FLOOR MECHANICAL PLAN	1:50	•	
M3.03	SECOND FLOOR MECHANICAL PLAN	1:50	•	
M3.04	MECHANICAL ROOM PLAN	1:25	•	

1 SITE PLAN
M1.01 SCALE: 1:100



REGISTERED PROFESSIONAL ENGINEER
D.J.P. STEWART
LICENSEE
01/24/11
2018-162

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Date: 01/26/21
PERMIT NUMBER: P 1507
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Revision	Description	Date
6	ISSUED FOR TENDER	2022/01/26
5	ISSUED FOR 95% SUBMISSION	2021/12/17
4	ISSUED FOR 85% SUBMISSION	2021/09/13
3	ISSUED FOR 33% SUBMISSION	2021/08/13
2	ISSUED FOR DESIGN DEVELOPEMENT	2021/06/09
1	ISSUED FOR SCHEMATIC DESIGN	2021/03/21

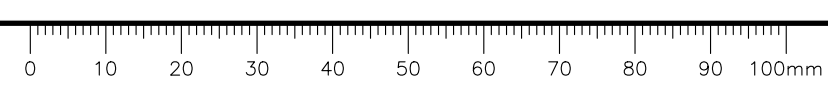
Client: client

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: RA
Drawn by: PH
Approved by: DS
PWSCC Project Manager: Administrateur de Projets TPSCC

Drawing title: **SITE PLAN LEGEND & DRAWING LIST**

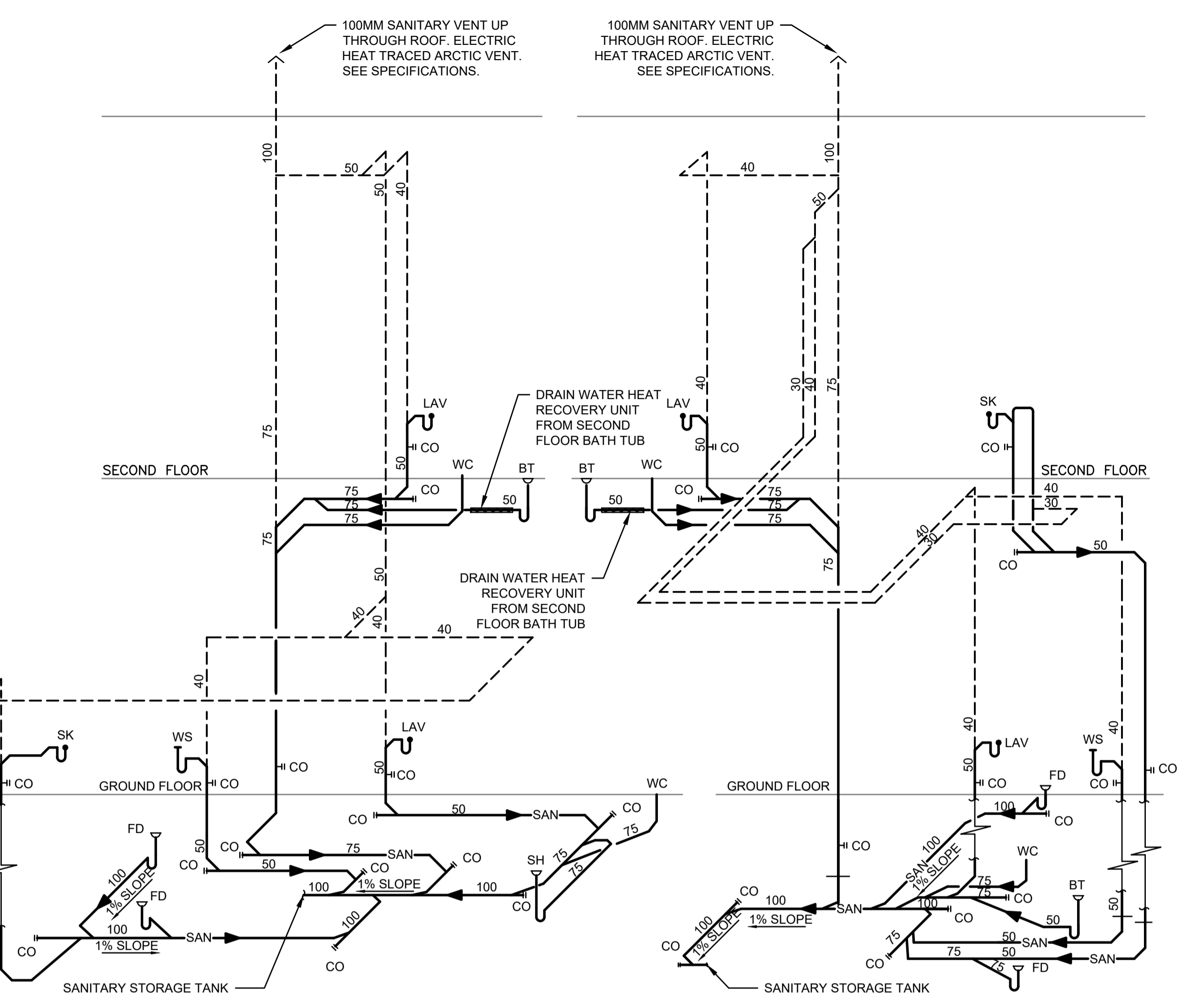
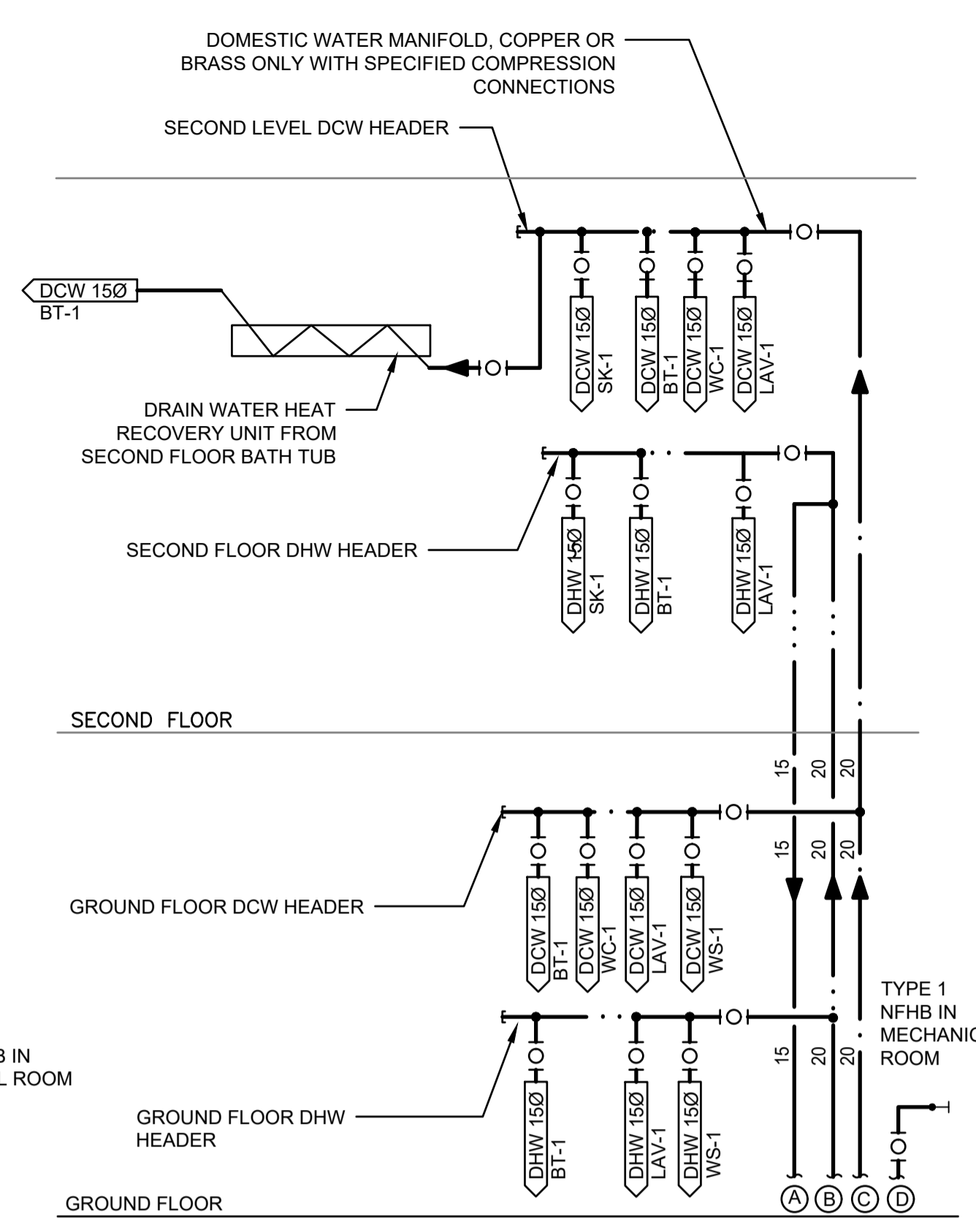
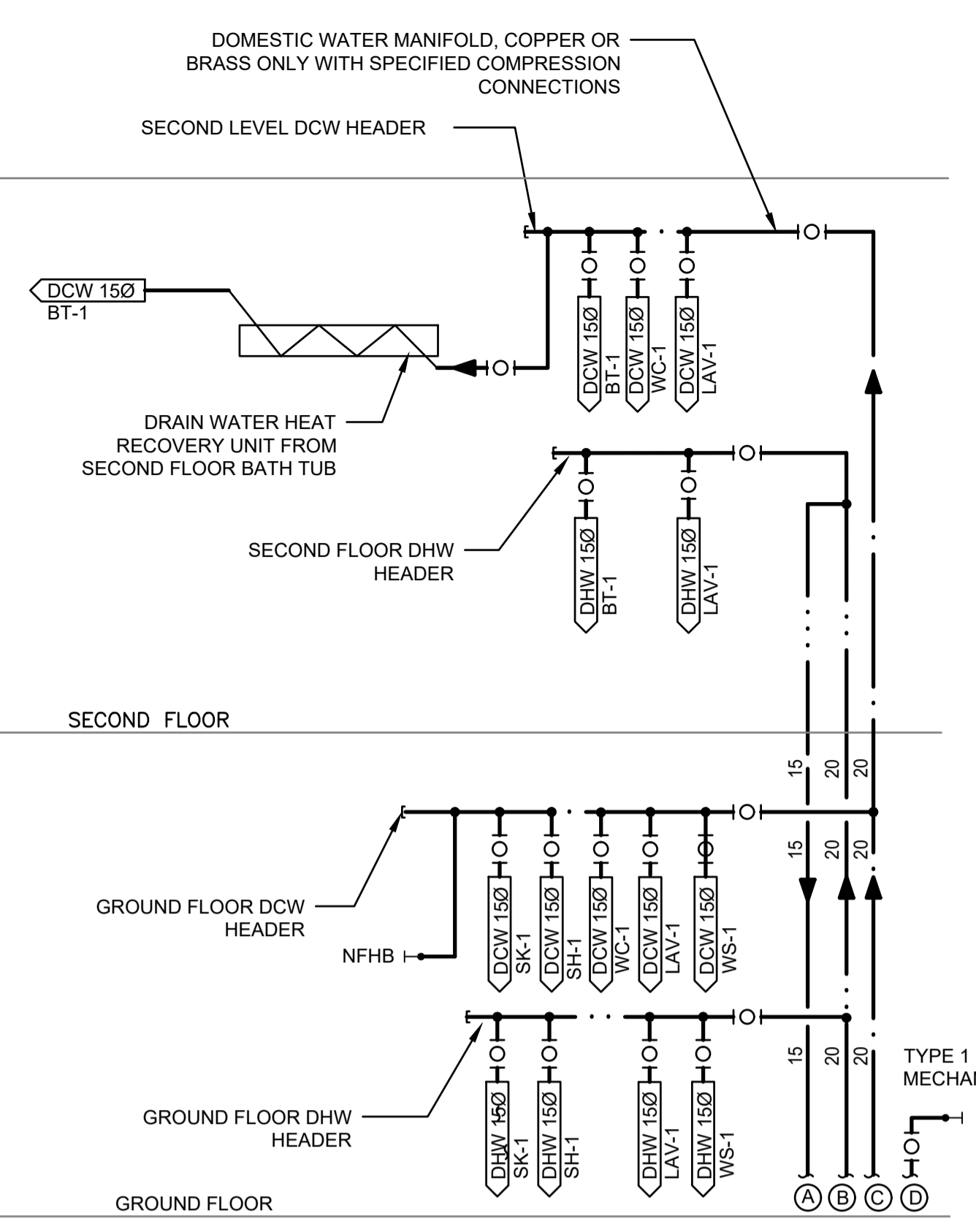
Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	M1.01	6
	1 OF 7	



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DOMESTIC WATER RISER DIAGRAM FOR UNIT A (WEST UNIT)

DOMESTIC WATER RISER DIAGRAM FOR UNIT B (EAST UNIT)

SANITARY RISER DIAGRAM FOR UNIT A (WEST UNIT)
 NOTE: SANITARY PIPE SLOPE TO BE 2% UNLESS AS NOTED.

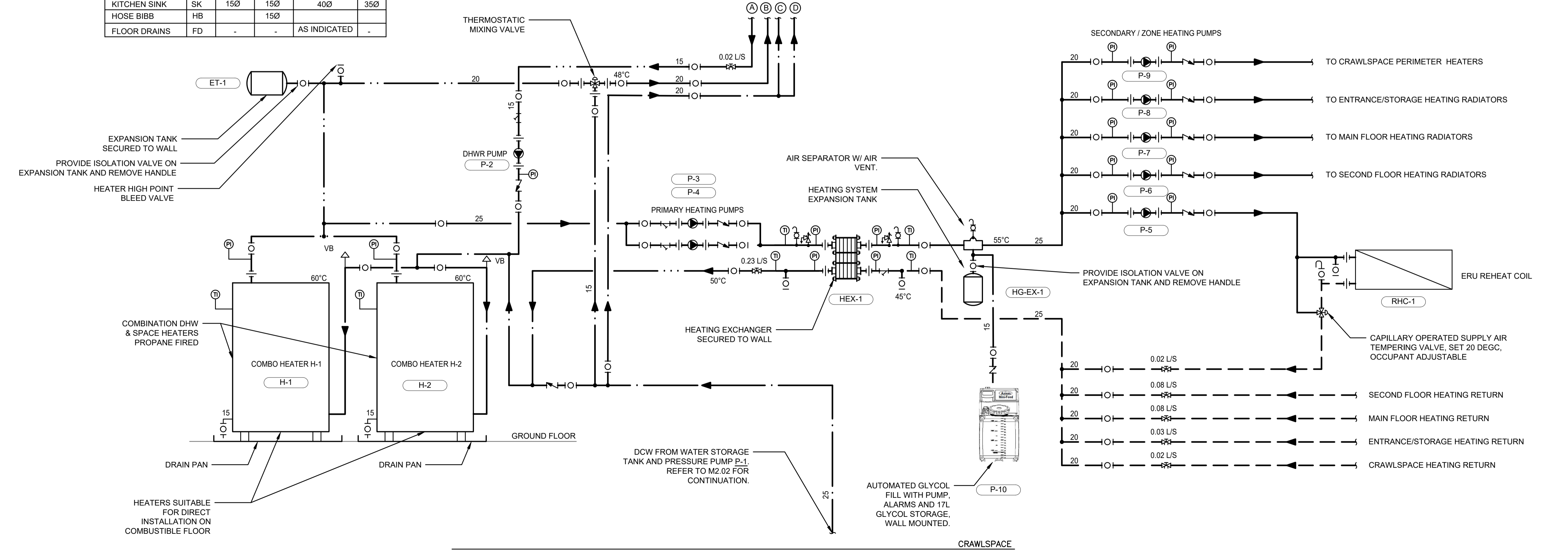
SANITARY RISER DIAGRAM FOR UNIT B (EAST UNIT)
 NOTE: SANITARY PIPE SLOPE TO BE 2% UNLESS AS NOTED.

FIXTURE ROUGH-IN SCHEDULE					
FIXTURE	TAG	HOT WATER	COLD WATER	WASTE	VENT
LAVATORY	LV	150	150	350	350
WATER CLOSET	WC	-	150	750	400
SHOWER	SH	150	150	500	400
BATH TUB	BT	150	150	500	400
WASHER	WS	150	150	500	400
KITCHEN SINK	SK	150	150	400	350
HOSE BIBB	HB	-	150	-	-
FLOOR DRAINS	FD	-	-	AS INDICATED	-

REGISTERED PROFESSIONAL ENGINEER
 O.J.P. STEWART
 LICENSEE
 217421
 NTNU
 2016-102

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BUILDING SYSTEMS CONSULTING INC.
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2	ISSUED FOR DESIGN DEVELOPMENT	2021/06/09
1	ISSUED FOR SCHEMATIC DESIGN	2021/03/21

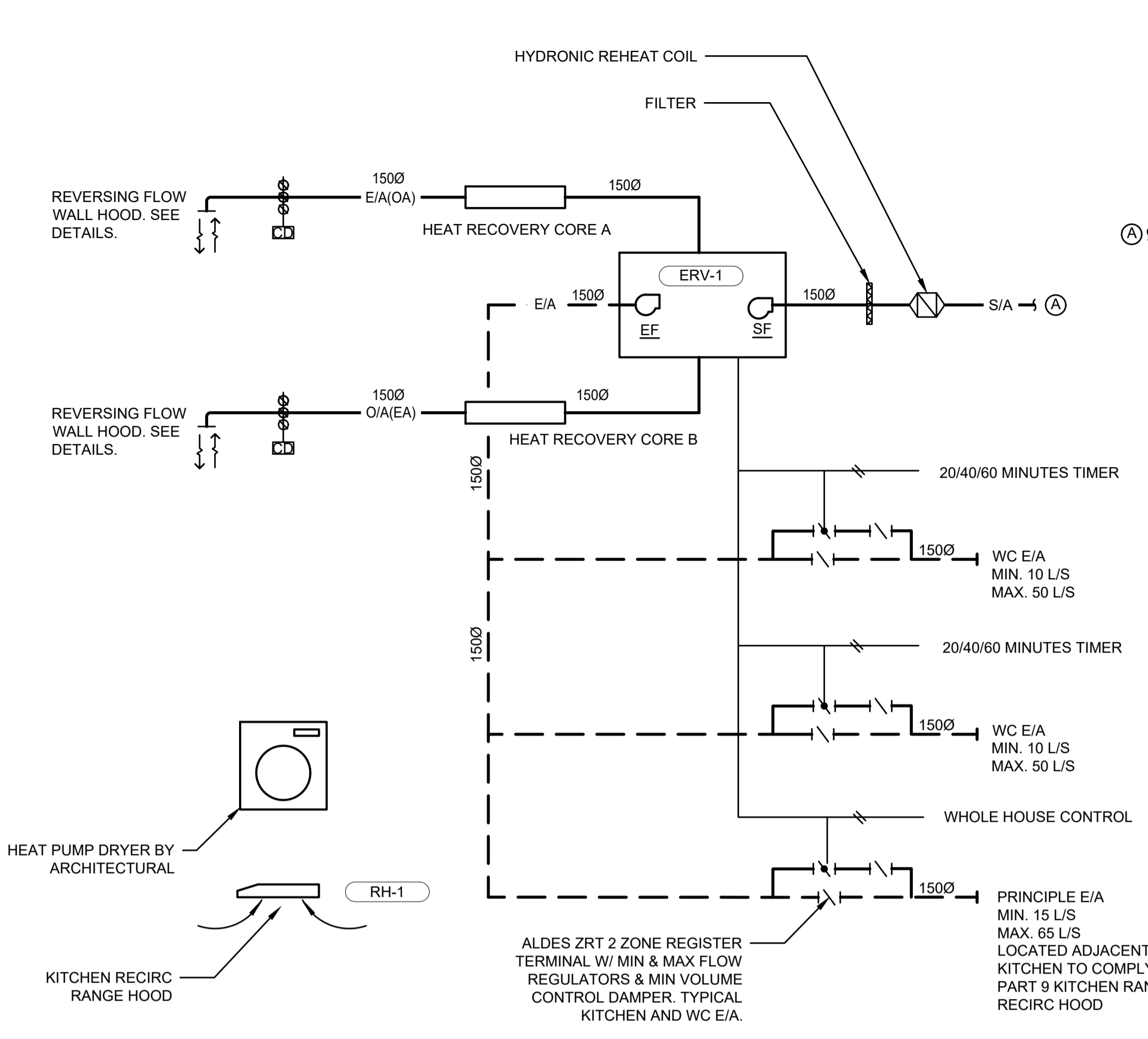


1 HEATING & DOMESTIC WATER SCHEMATIC
 M2.01 SCALE: NTS

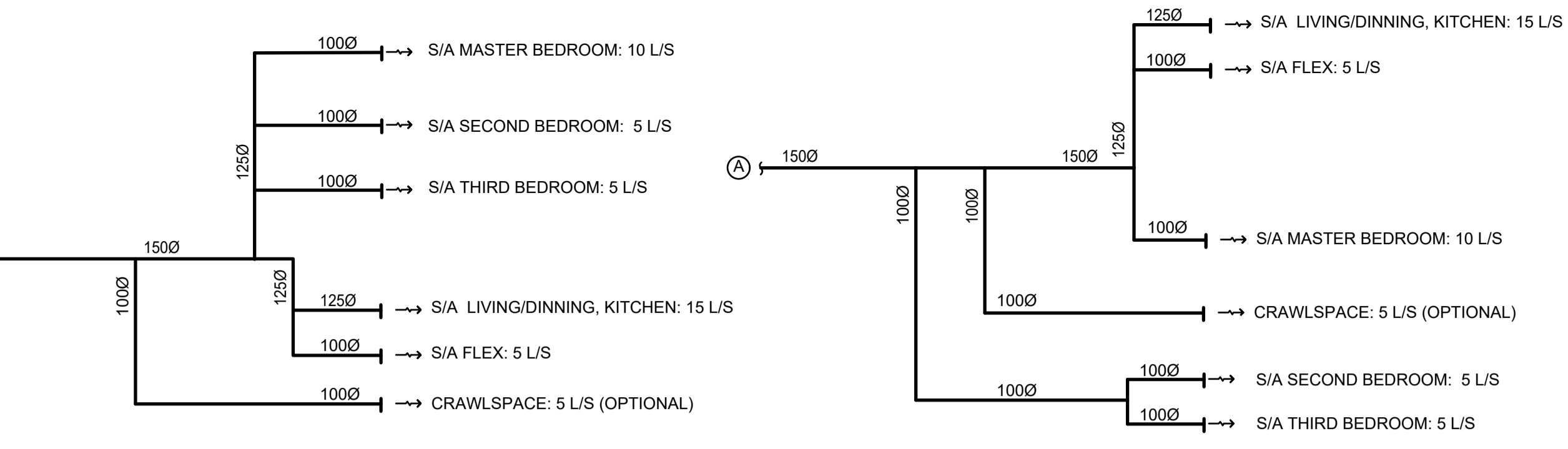
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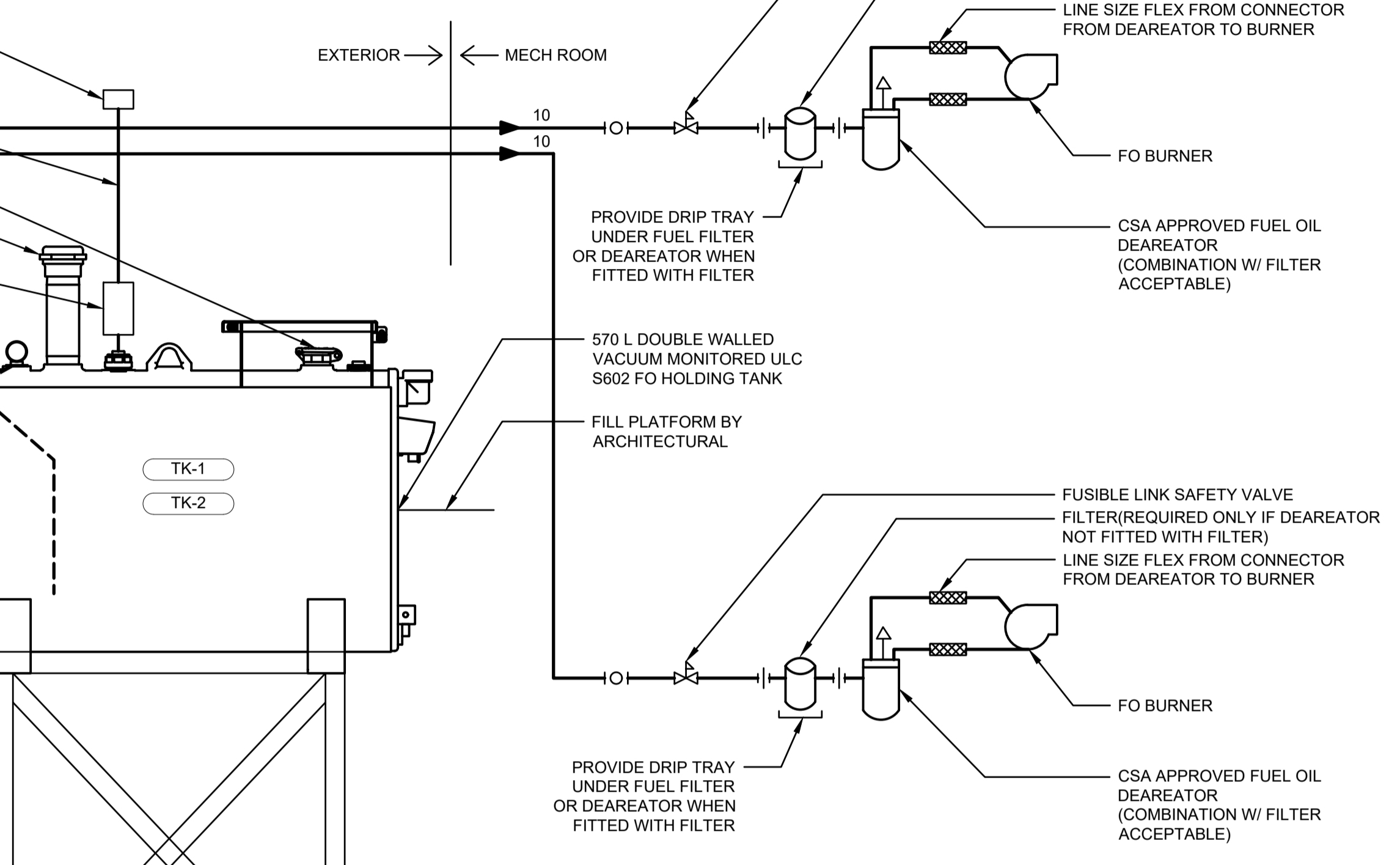
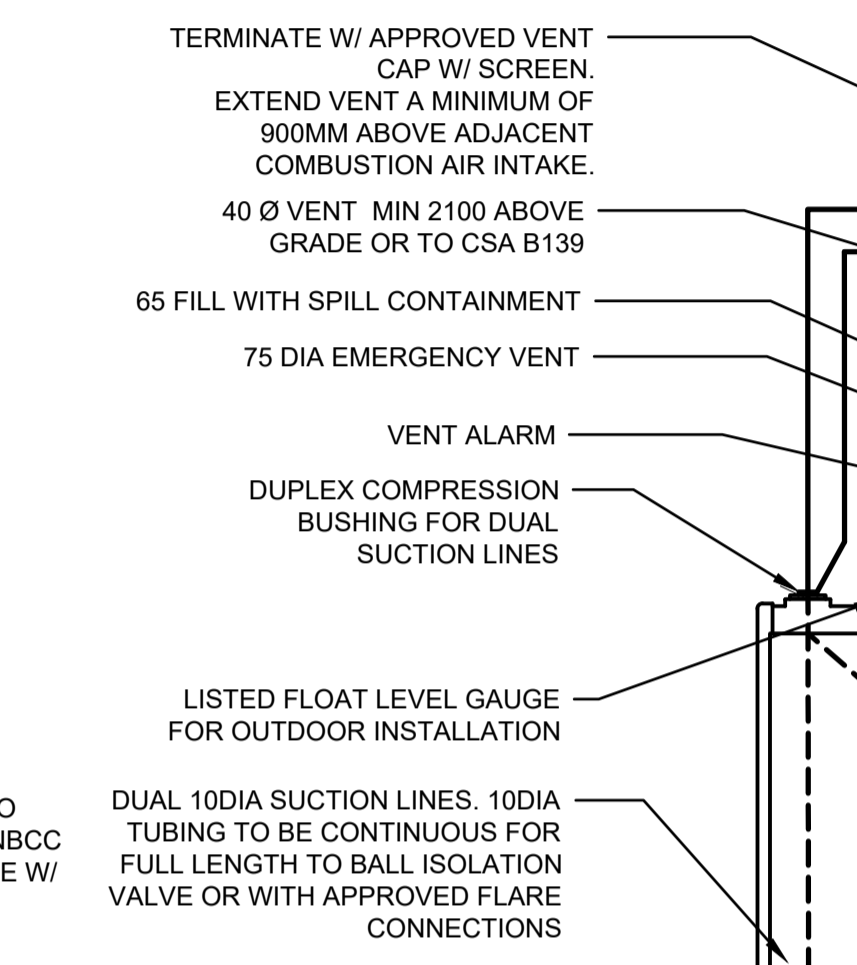


1 VENTILATION SYSTEM SCHEMATIC
M2.02 SCALE: NTS



VENTILATION DIAGRAM FOR UNIT A (WEST UNIT)

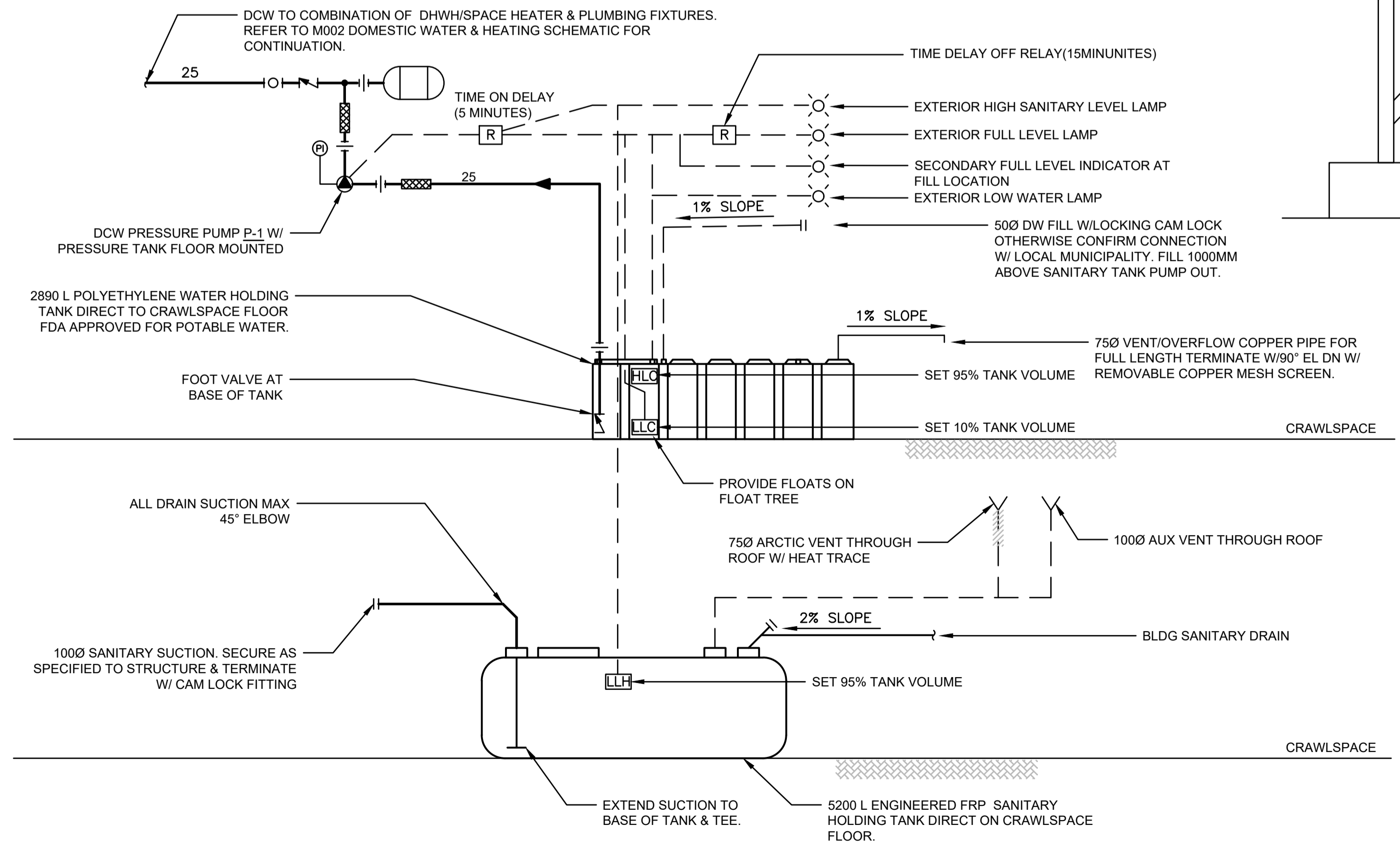
VENTILATION DIAGRAM FOR UNIT B (EAST UNIT)



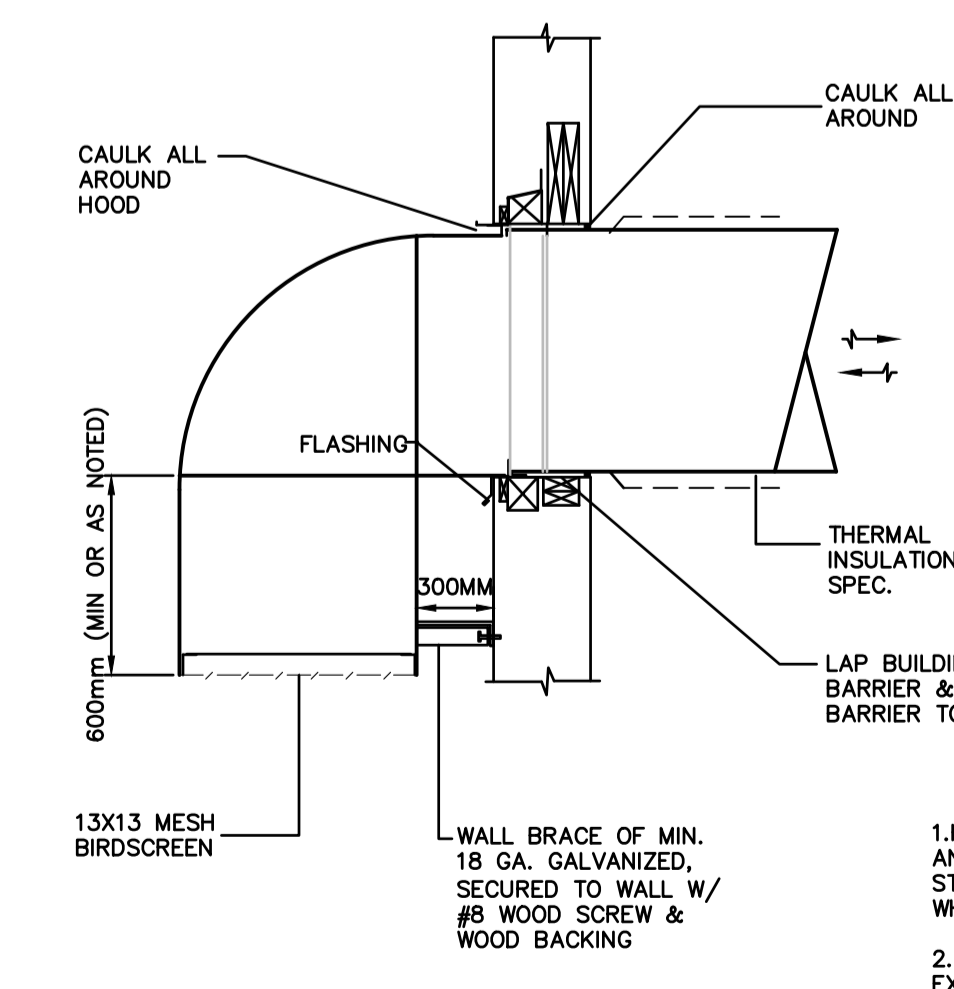
2 FUEL OIL SCHEMATIC
M2.02 SCALE: NTS

GENERAL NOTES:

- ALL TANK CONNECTIONS W/ BULKHEAD FITTINGS.
- ALL TANK FITTINGS TO BE ADJACENT TO ACCESS HATCH & SERVICEABLE FROM MAIN FLOOR. EXCEPTION SANITARY DRAIN CONNECTIONS FROM FIXTURES.



3 DOMESTIC WATER & SANITARY SCHEMATIC
M2.02 SCALE: NTS



4 WALL HOOD DETAIL
M2.02 SCALE: NTS

- HOOD TO BE SHOP FABRICATED TO ASHRAE AND SMACNA COMMERCIAL DUCT CONSTRUCTION STANDARDS AND MIN 20 GA OR TO SMACNA WHICH EVER IS GREATER OF GALVANIZED STEEL.
- ALL JOINTS TO BE FORMED FOR FLUSH EXTERIOR FINISH OF HOOD.
- BIRD SCREEN OF 2.7MM DIA STAINLESS STEEL WIRE WITH GALVANIZED SHEET METAL FRAME SHEET METAL SCREWED TO HOOD INLET.
- FINISH: SHOP PRIME AND PAINTED FINISH TO ARCHITECTURAL REQUIREMENTS.

PROFESSIONAL ENGINEER
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0198/21
NTNU
2020-10-26

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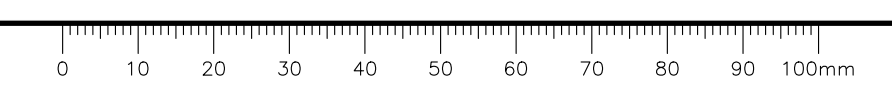
Revision	Description	Date
6	ISSUED FOR TENDER	2022/01/26
5	ISSUED FOR 85% SUBMISSION	2021/12/17
4	ISSUED FOR 66% SUBMISSION	2021/09/13
3	ISSUED FOR 33% SUBMISSION	2021/08/13
2	ISSUED FOR DESIGN DEVELOPMENT	2021/06/09
1	ISSUED FOR SCHEMATIC DESIGN	2021/03/21

Client: client

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: RA
Drawn by: PH
Approved by: DS
PWSC Project Manager: Administrateur de Projets TPSCC

VENTILATION SCHEMATIC
FUEL OIL SCHEMATIC
DOMESTIC WATER & SANITARY SCHEMATIC
DETAILS



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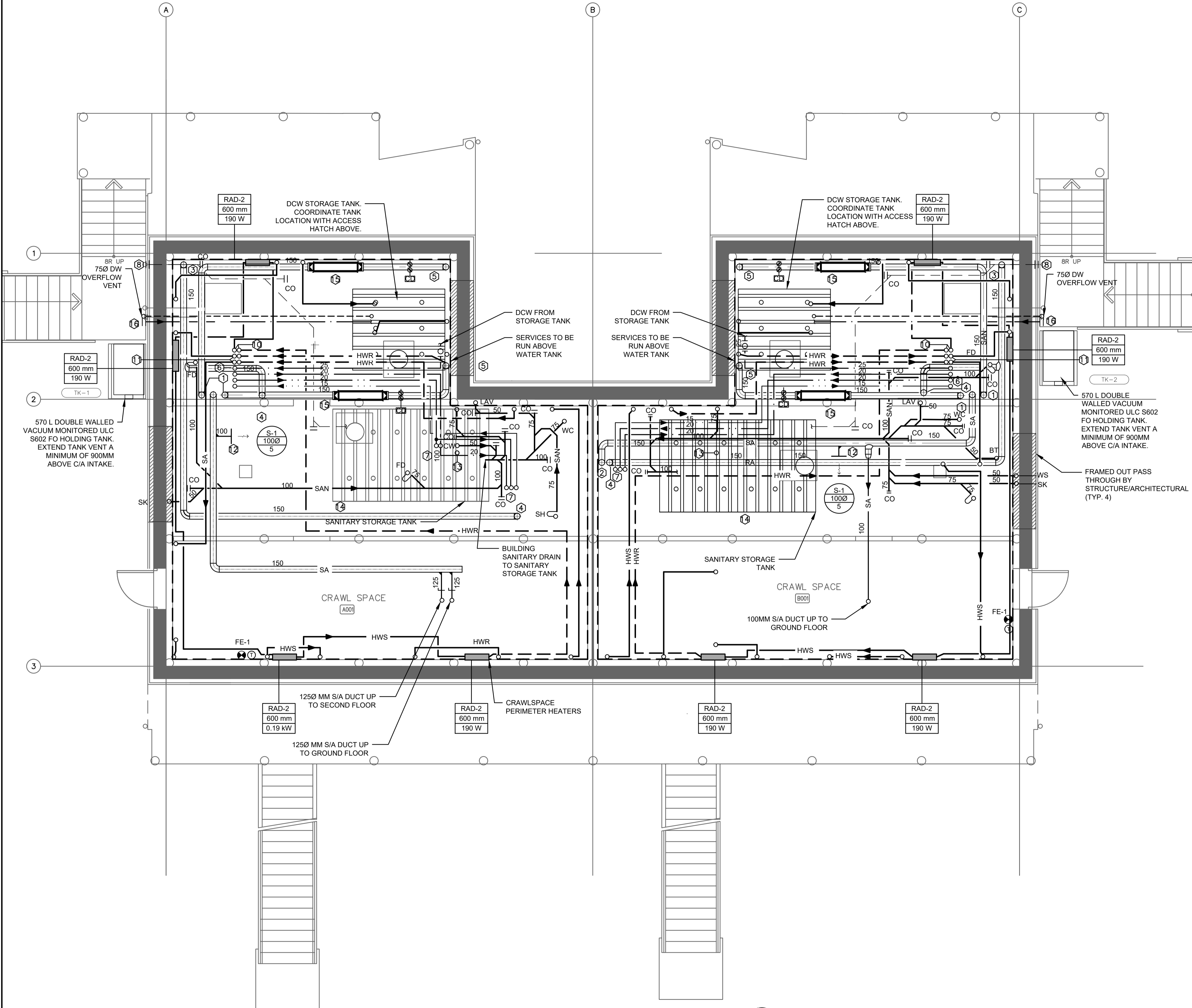
GENERAL NOTES:

- HEATING/PLUMBING PIPING THROUGH TJI FLOOR STRUCTURE. ALL OPENINGS TO BE TO TJI MANUFACTURERS RECOMMENDATIONS FOR PLACEMENT AND MINIMUM DISTANCE FROM END, CENTRE AND ANY CANTILEVER SUPPORT. DO NOT CUT OR NOTCH FLANGE OR ANY CANTILEVERED PORTIONS."
- 20mm FOR ALL HEATING SUPPLY/RETURN UNLESS OTHERWISE NOTICED.

KEYNOTES:

- 1500 MM OA/EA CONNECTION TO ERU.
- 1500 MM S/A DUCT UP TO GROUND FLOOR & 1250 MM S/A DUCT TO SECOND FLOOR.
- 1500 MM R/A DUCT CONNECTION TO ERU.
- 1500 MM R/A DUCT FROM ABOVE.
- 1500 MM OA/EA FROM ABOVE. INSULATED UP TO AND INCLUDING THE CORES.
- 25MM DCW UP TO MECHANICAL ROOM PRESSURE PUMP P-1 AND MAIN FLOOR DCW HEADER, 20MM DCW/DHW DOWN FROM MECHANICAL ROOM. REFER TO DRAWING M3.02.
- 20MM DCW AND DHW UP TO SECOND FLOOR DCW AND DHW HEADERS.
- SEWAGE PUMP OUT. MAINTAIN 1.5m SEPARATION TO WATER FILL. TRANSITION TO STEEL AND INSULATE AS PER SPECIFICATION. COORDINATE TERMINATION WITH MUNICIPALITY.
- N/A.
- HWS AND HWR FROM MECHANICAL ROOM TO CRAWL SPACE RADIATORS.
- HWS AND HWR FROM MECHANICAL ROOM TO ENTRANCE/STORAGE AND MAIN FLOOR RADIATORS.
- OPTIONAL CRAWLSPACE S/A INSTALLED AND CLOSED FOR FUTURE USE BY OWNER IF REQUIRED
- 50MM SANITARY STORAGE TANK VENT UP.
- CUSTOM FRP SANITARY TANK LOCATED IN CRAWLSPACE. COORDINATE ACCESS MANHOLE LOCATION TO ALIGN WITH ACCESS HATCH ABOVE. SEE SPECIFICATIONS.
- ERU CORE WITH DRAIN AND DRAIN PUMP. CONDENSATE PUMPED TO MECH ROOM FLOOR DRAIN(TYP 2)
- 500 DW FILL. TRANSITION TO COPPER AND INSULATE WITHIN 3M OF EXTERIOR. COORDINATE CONNECTION WITH MUNICIPALITY.

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Revision	Description	Date
6	ISSUED FOR TENDER	2022/01/26
5	ISSUED FOR 85% SUBMISSION	2021/12/17
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3	ISSUED FOR 33% SUBMISSION	2021/08/13
2	ISSUED FOR DESIGN DEVELOPMENT	2021/06/09
1	ISSUED FOR SCHEMATIC DESIGN	2021/03/21

Client: _____

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: RA
 Drawn by: PH
 Approved by: DS
 PWSCC Project Manager: Administrateur de Projets TPSGC

Drawing title: **CRAWLSPACE MECHANICAL PLAN**

Project no./No. du projet: _____
 Drawing no./No. du dessin: **M3.01**
 Revision no.: **6**
 4 OF 7

1 CRAWLSPACE MECHANICAL PLAN
 M3.01 SCALE: 1:50



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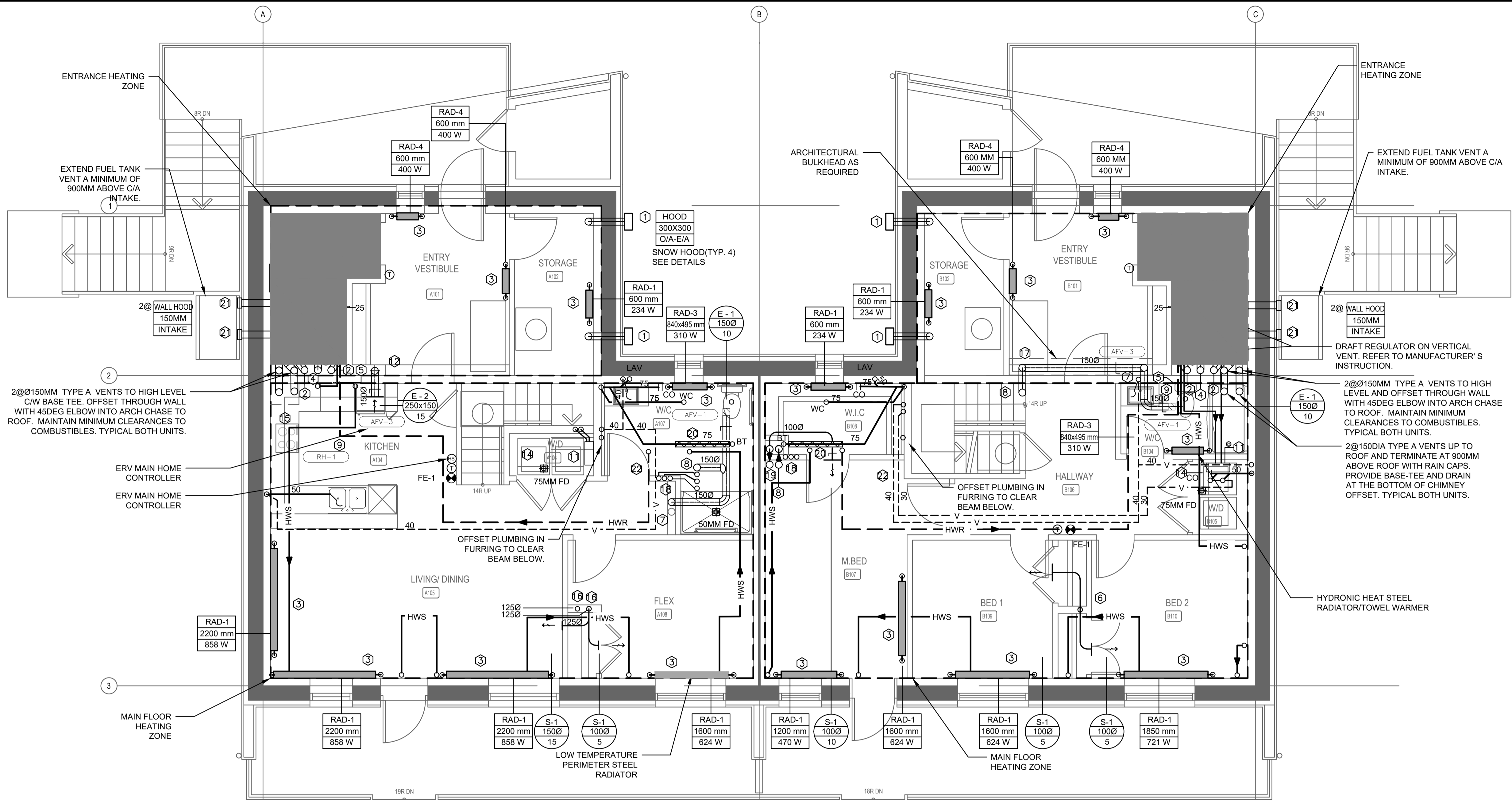
6	ISSUED FOR TENDER	20220126
5	ISSUED FOR 85% SUBMISSION	20211217
4	ISSUED FOR 86% SUBMISSION	20210913
3	ISSUED FOR 33% SUBMISSION	20210813
2	ISSUED FOR DESIGN DEVELOPEMENT	20210609
1	ISSUED FOR SCHEMATIC DESIGN	20210321
Revision	Description	Date
Client		client

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: RA
 Drawn by: PH
 Approved by: DS
 PWSCC Project Manager: Administrateur de Projets TPSCC

Drawing title: **GROUND FLOOR MECHANICAL PLAN**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
	M3.02	6
	5 OF 7	



GENERAL NOTES:
 1. HEATING/PLUMBING PIPING THROUGH TJI FLOOR STRUCTURE. ALL OPENINGS TO BE TO TJI MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND MINIMUM DISTANCE FROM END, CENTRE AND ANY CANTILEVER SUPPORT. DO NOT CUT OR NOTCH FLANGE OR ANY CANTILEVERED PORTIONS.
 2. 20mm FOR ALL HEATING SUPPLY/RETURN UNLESS OTHERWISE NOTICED.

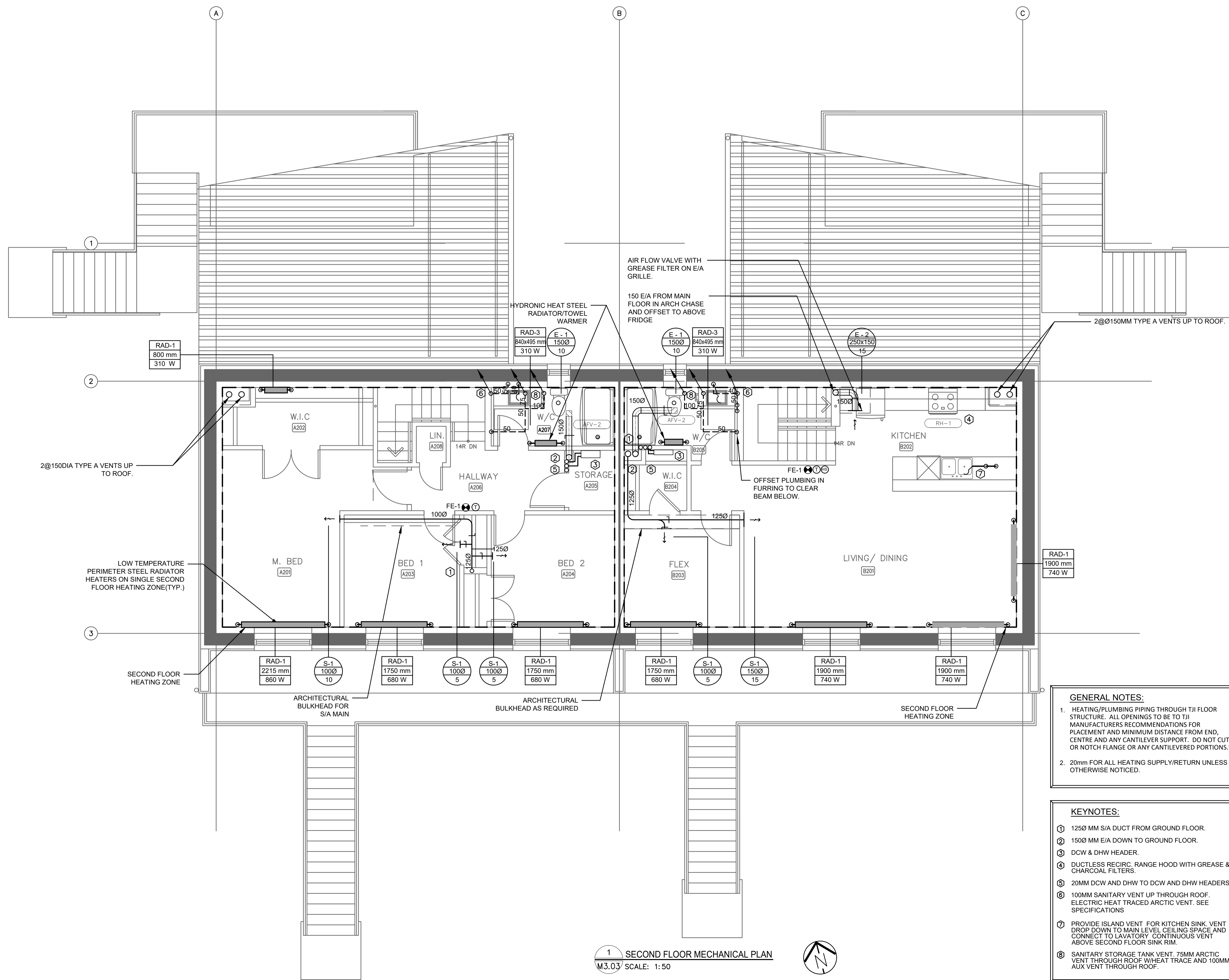
1 GROUND FLOOR MECHANICAL PLAN
 M3.02 SCALE: 1:50

KEYNOTES:
 ① REVERSING FLOW WALL CAPS WITH ARCH WIND SCREENING. MIN. 3 METERS SEPARATION. INSTALL AS HIGH ELEVATION AS POSSIBLE.
 ② 1500 MM O/A/E/A CONNECTION TO ERU.
 ③ 20 GLS/R FROM CRAWLSPACE TO HEATING RADIATORS. SEE M3.01 FOR CONTINUATION.
 ④ 1500 MM S/A DUCT DOWN TO CRAWLSPACE.
 ⑤ REFER TO M3.04 FOR CONTINUATION.
 ⑥ 1000 MM S/A DUCT FROM CRAWLSPACE.
 ⑦ 1500 MM R/A DUCT DOWN TO CRAWL SPACE & RETURN TO ERU.
 ⑧ 1500 MM R/A FROM SECOND LEVEL.
 ⑨ HWS AND HWR FOR SECOND FLOOR RADIATORS. PIPING RUN IN JOIST SPACE WITH ALL HEATING VALVES LOCATED IN THE MECHANICAL ROOM.
 ⑩ N/A.
 ⑪ DCW & DHW HEADER.
 ⑫ KITCHEN EXHAUST DOWN TO CRAWLSPACE.
 ⑬ N/A.
 ⑭ DUCTLESS HEAT PUMP DRYER.
 ⑮ DUCTLESS RECIRC. RANGE HOOD WITH GREASE & CHARCOAL FILTERS
 ⑯ 1250 MM S/A DUCT FROM CRAWLSPACE.
 ⑰ RISE 1500 MM TO UNDER SIDE OF ROOF JOIST AND THEN THROUGH WALL AND UP TO SECOND FLOOR.
 ⑱ 20MM DCW AND DHW FROM BELOW AND UP TO SECOND FLOOR DCW AND DHW HEADERS.
 ⑲ 1500 MM S/A DUCT FROM CRAWLSPACE. 1000 MM DUCT TO SERVE MAIN FLOOR AND 1250 MM DUCT TO SERVE SECOND FLOOR.
 ⑳ DRAIN WATER HEAT RECOVERY UNIT INSTALLED IN CEILING CAVITY. SEE DOMESTIC WATER SCHEMATIC FOR PIPING CONNECTION.
 ㉑ 150MM WALL HOOD FRO C/A AT ABOUT 2200MM ABOVE MAIN LEVEL. SEE M3.04 FOR CONTINUATION
 ㉒ OFFSET TO CLEAR STRUCTURE BELOW.

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2	ISSUED FOR DESIGN DEVELOPMENT	2021/06/09
1	ISSUED FOR SCHEMATIC DESIGN	2021/03/21

Client: client

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: RA
Drawn by: PH
Approved by: DS
PWSSC Project Manager / Administrateur de Projets TPSGC

Drawing title: **SECOND FLOOR MECHANICAL PLAN**

Project no./No. du projet: M3.03
Drawing no./No. du dessin: 6
Revision no.: 7

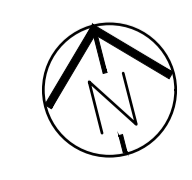
GENERAL NOTES:

- HEATING/PLUMBING PIPING THROUGH TJI FLOOR STRUCTURE. ALL OPENINGS TO BE TO TJI MANUFACTURERS RECOMMENDATIONS FOR PLACEMENT AND MINIMUM DISTANCE FROM END, CENTRE AND ANY CANTILEVER SUPPORT. DO NOT CUT OR NOTCH FLANGE OR ANY CANTILEVERED PORTIONS.
- 20mm FOR ALL HEATING SUPPLY/RETURN UNLESS OTHERWISE NOTICED.

KEYNOTES:

- 125Ø MM S/A DUCT FROM GROUND FLOOR.
- 150Ø MM E/A DOWN TO GROUND FLOOR.
- DCW & DHW HEADER.
- DUCTLESS RECIRC. RANGE HOOD WITH GREASE & CHARCOAL FILTERS.
- 20MM DCW AND DHW TO DCW AND DHW HEADERS.
- 100MM SANITARY VENT UP THROUGH ROOF. ELECTRIC HEAT TRACED ARCTIC VENT. SEE SPECIFICATIONS
- PROVIDE ISLAND VENT FOR KITCHEN SINK. VENT DROP DOWN TO MAIN LEVEL CEILING SPACE AND CONNECT TO LAVATORY. CONTINUOUS VENT ABOVE SECOND FLOOR SINK RIM.
- SANITARY STORAGE TANK VENT. 75MM ARCTIC VENT THROUGH ROOF W/HEAT TRACE AND 100MM AUX VENT THROUGH ROOF.

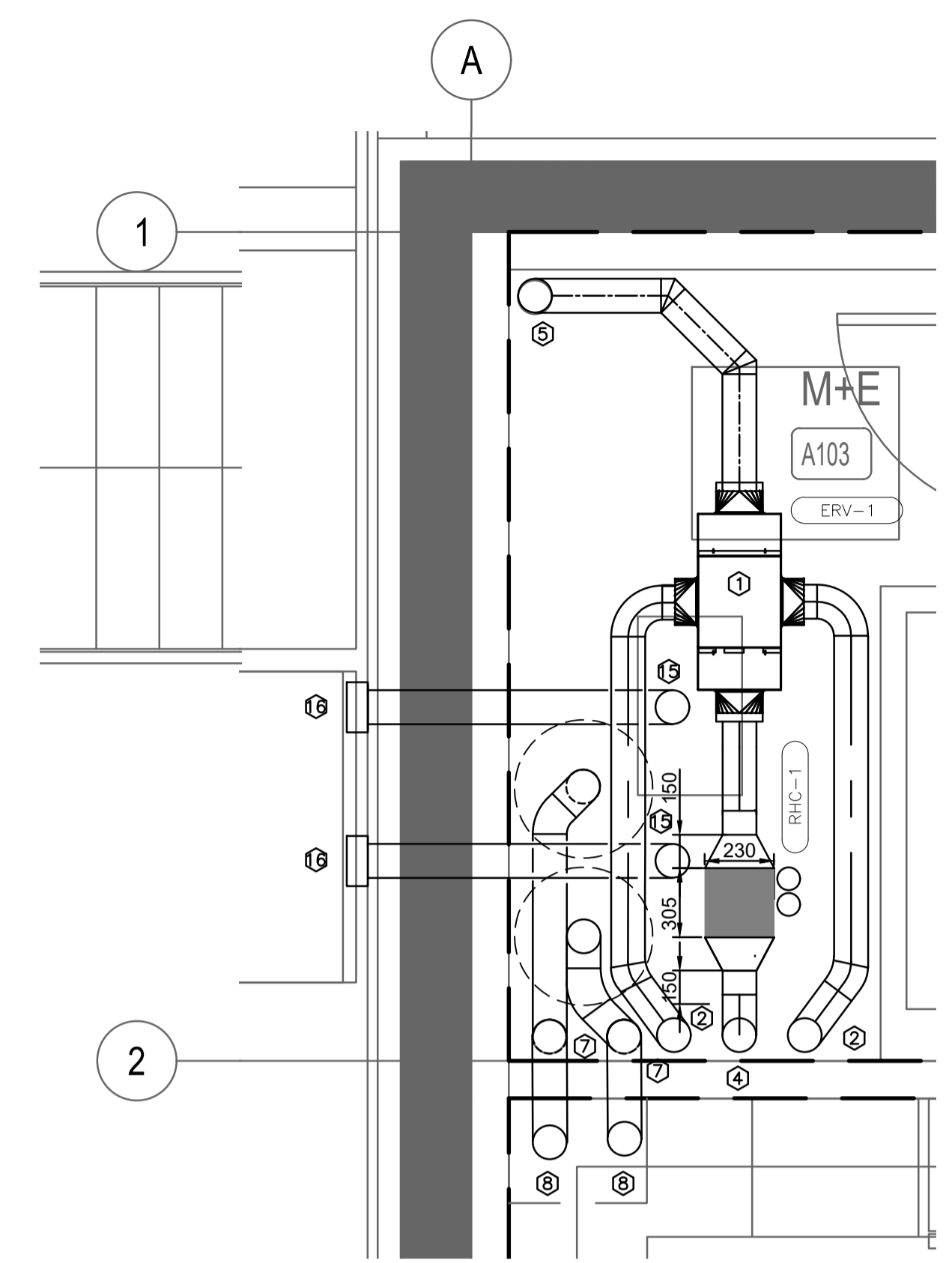
1 SECOND FLOOR MECHANICAL PLAN
M3.03 SCALE: 1:50



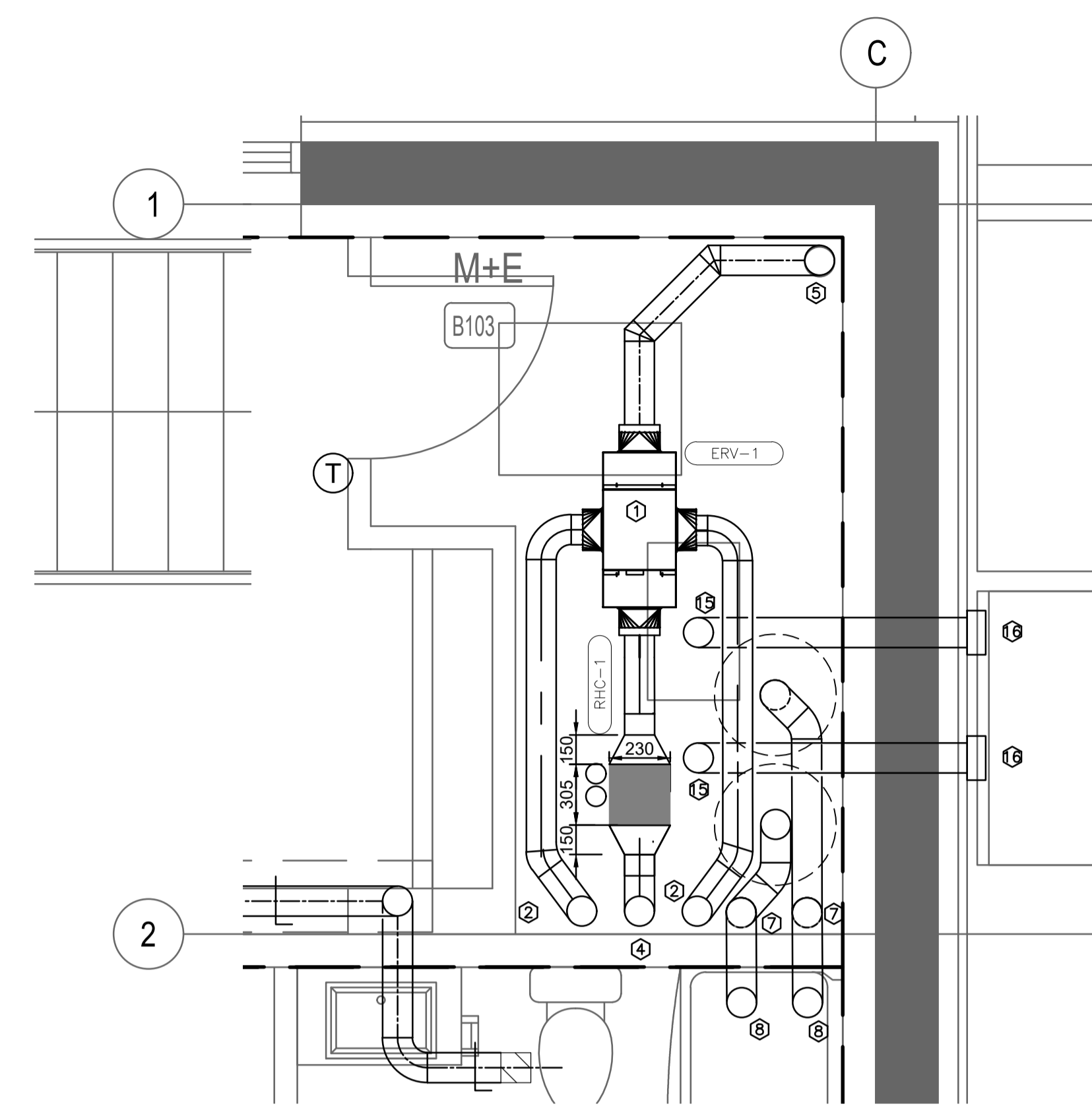
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1 UNIT A MECHANICAL ROOM PLAN - UPPER LEVEL
M3.04 SCALE: 1:25

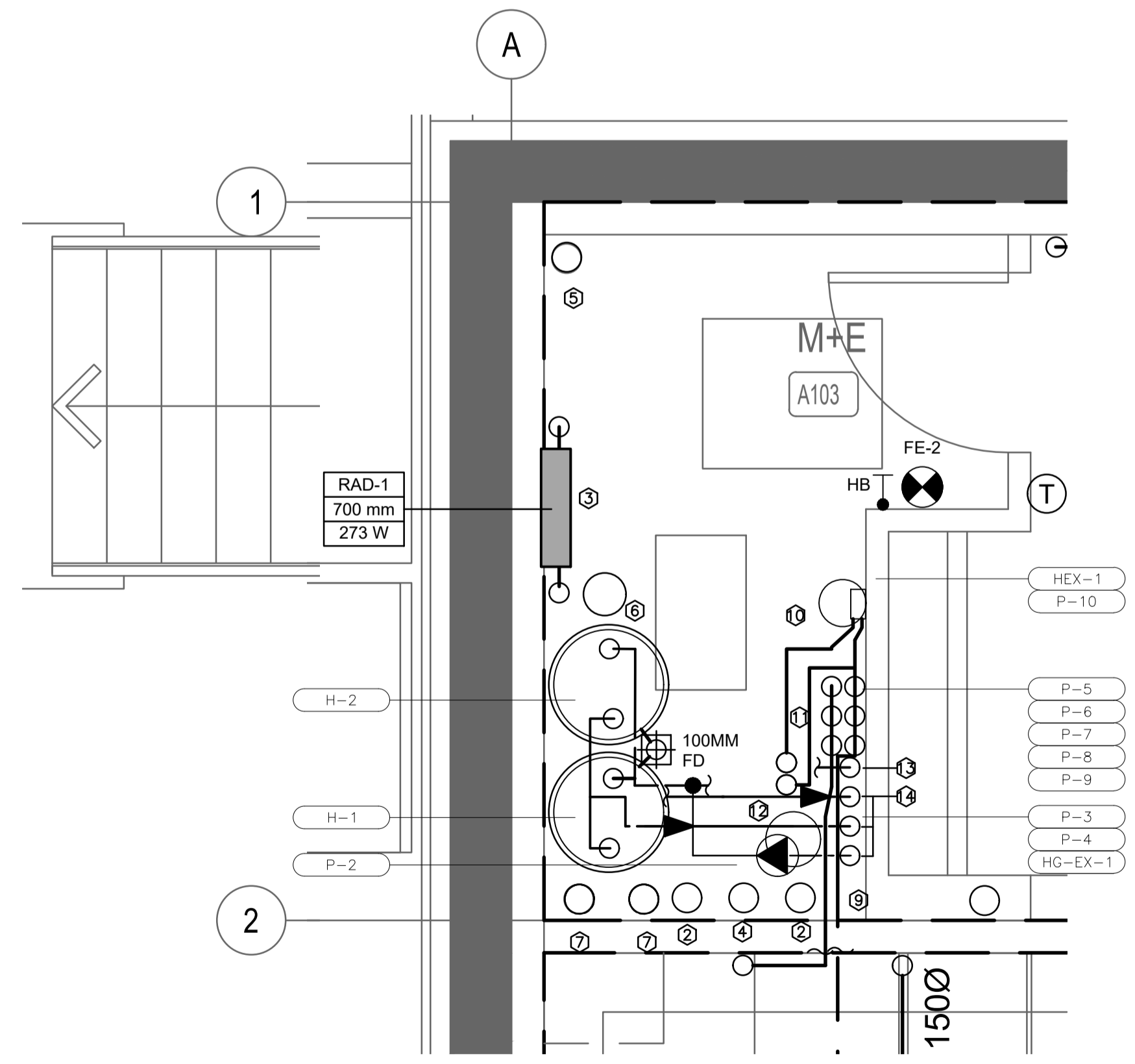


3 UNIT B MECHANICAL ROOM PLAN - UPPER LEVEL
M3.04 SCALE: 1:25

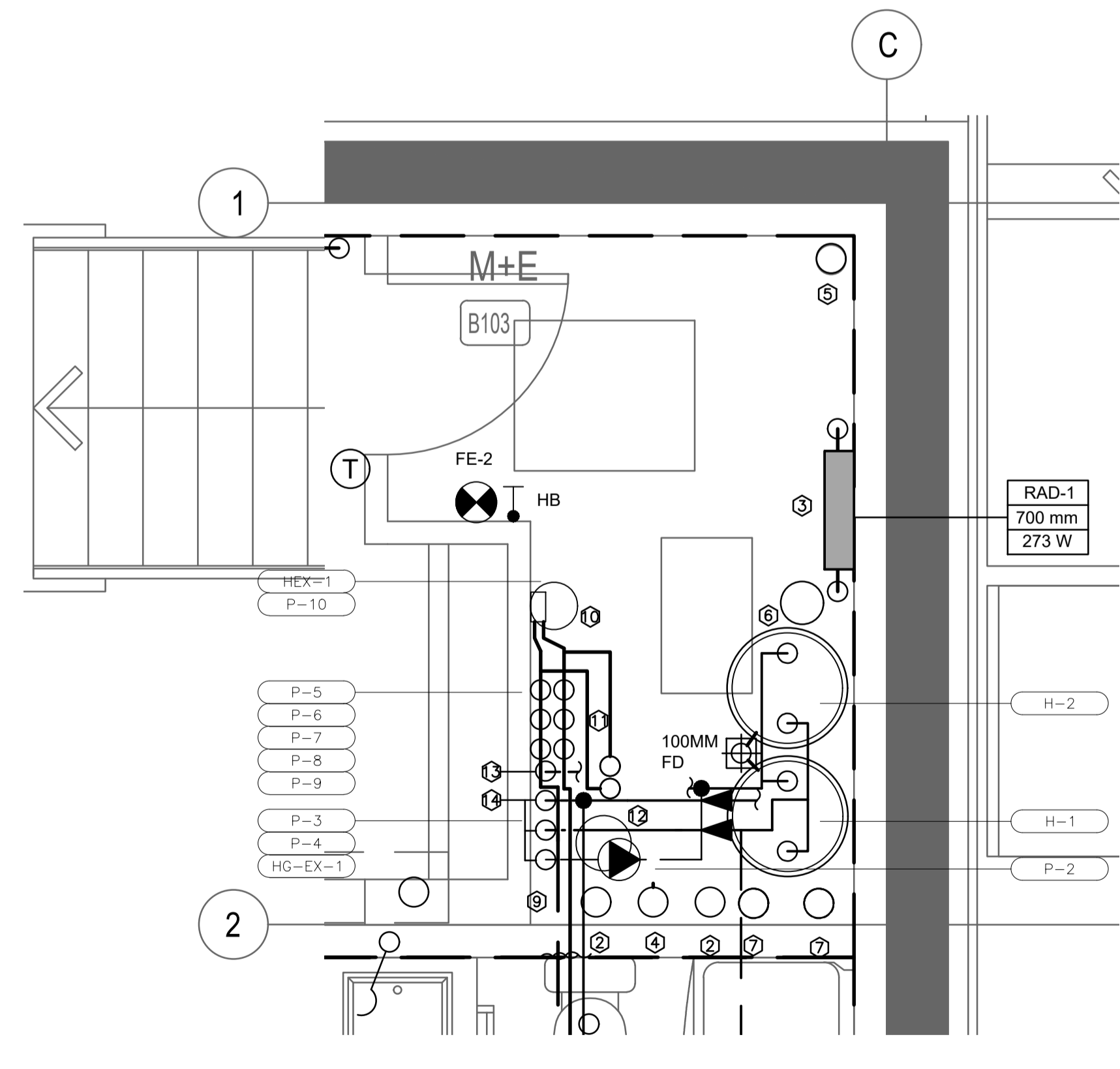
- KEYNOTES:**
- ① REVERSE FLOW ENERGY RECOVERY VENTILATOR. SEE SPECIFICATION.
 - ② 1500 MM O/A/E CONNECTION TO ERU.
 - ③ 20 GLS/R FROM CRAWLSPACE TO HEATING RADIATORS. SEE M3.01 FOR CONTINUATION.
 - ④ 1500 MM S/A DUCT DOWN TO CRAWLSPACE.
 - ⑤ 1500 MM R/A DUCT CONNECTION TO ERU.
 - ⑥ COMBINATION HEATERS ON VENTED MASONRY PAD AND GALVANIZED DRIP TRAP AS PER CSA-B139. EXPANSION TANK ON WALL. PROVIDE DRIP TRAY OVERFLOW PIPED TO FLOOR DRAIN WITH OVERFLOW LINE SIZED COPPER PIPING.
 - ⑦ 2@Ø150MM TYPE A VENTS TO HIGH LEVEL AND OFFSET THROUGH WALL WITH 45DEG ELBOW INTO ARCH CHASE TO ROOF. PROVIDE BAROMETRIC DRAFT REGULATOR ON VERTICAL VENT AS PER MANUFACTURERS INSTRUCTIONS. MAINTAIN MINIMUM CLEARANCES TO COMBUSTIBLES. TYPICAL BOTH UNITS.
 - ⑧ 2@150DIA TYPE A VENTS UP TO ROOF AND TERMINATE AT 900MM ABOVE ROOF WITH RAIN CAPS. PROVIDE BASE-TEE AND DRAIN AT THE BOTTOM OF CHIMNEY OFFSET. TYPICAL BOTH UNITS.
 - ⑨ HWS AND HWR FOR SECOND FLOOR RADIATORS. PIPING RUN IN JOIST SPACE WITH ALL HEATING VALVES LOCATED IN THE MECHANICAL ROOM.
 - ⑩ HEAT EXCHANGER WALL MOUNTED AT HIGHER LEVEL AND AUTOMATED GLYCOL FEEDER AT LOWER LEVEL ENSURE BOTH ACCESSIBLE FROM FLOOR LEVEL.
 - ⑪ HWS AND HWR DOWN TO CRAWL SPACE TO SERVE ENTRANCE/STORAGE RADIATOR, GROUND FLOOR RADIATOR AND CRAWLSPACE RADIATOR.
 - ⑫ HEATING SYSTEM EXPANSION TANK.
 - ⑬ 25MM DCW FROM WATER STORAGE TANK AND UP TO MECHANICAL ROOM PRESSURE PUMP P-1.
 - ⑭ 20MM DCW/DHW DOWN TO CRAWLSPACE FOR WATER DISTRIBUTION. 15MM DHWR FROM CRAWL SPACE. REFER TO M3.01 FOR CONTINUATION.
 - ⑮ 150MM DIA COMBUSTION AIR DUCT WITH INTERLOCKED C/A CONTROL DAMPER INSTALLED AT FLOOR LEVEL.
 - ⑯ 150MM WALL HOOD FOR C/A AT ABOUT 2200MM ABOVE MAIN LEVEL.



PERMIT TO PRACTICE
BUILDING SYSTEMS CONSULTING INC.
Signature: [Signature]
Date: 01/26/21
PERMIT NUMBER: P 1507
NTNU Association of Professional Engineers and Geoscientists



1 UNIT A MECHANICAL ROOM PLAN - LOWER LEVEL
M3.04 SCALE: 1:25



4 UNIT B MECHANICAL ROOM PLAN - LOWER LEVEL
M3.04 SCALE: 1:25

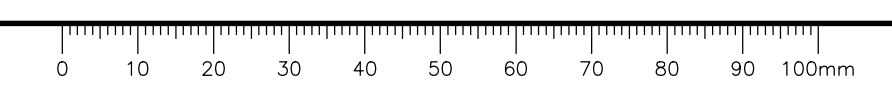
Revision	Description	Date
6	ISSUED FOR TENDER	2022/01/26
5	ISSUED FOR 86% SUBMISSION	2021/12/17
4	ISSUED FOR 86% SUBMISSION	2021/09/13
3	ISSUED FOR 33% SUBMISSION	2021/08/13
2	ISSUED FOR DESIGN DEVELOPEMENT	2021/06/09
1	ISSUED FOR SCHEMATIC DESIGN	2021/03/21

Client: client

Project title: **GREENING NORTHERN HOUSING - POND INLET**

Designed by: RA
Drawn by: PH
Approved by: DS
PWSC Project Manager: Administrateur de Projets TPSGC

Drawing title: **MECHANICAL ROOM PLAN**



PARKS CANADA: GREENING NORTHERN HOUSING PROJECT - POND INLET



POND INLET, NU

GENERAL NOTES (APPLIES TO ALL DRAWINGS)	
#	DESCRIPTION
1	CONTRACTOR SHALL FIRE STOP ALL PENETRATIONS THROUGH FIRE WALLS AND SMOKE SEPARATIONS WITH AN APPROVED ULC-LISTED FIRE STOPPING SYSTEM. CONSULTANT TO BE PROVIDED WITH SYSTEM DRAWINGS FOR EXACT TYPE USED PRIOR TO THE FIRE STOPPING INSPECTION. ALL OTHER PENETRATIONS TO BE PATCHED TO SUIT WALL MATERIALS.

DRAWING LIST	
Sheet Number	Sheet Title
E1-01	GENERAL COVER & LEGEND
E2-01	ELECTRICAL SITE PLAN
E3-01	CRAWLSPACE ELECTRICAL UNIT POWER & COMMUNICATIONS PLAN
E3-02	GROUND FLOOR ELECTRICAL UNIT POWER & COMMUNICATION PLAN
E3-03	SECOND FLOOR ELECTRICAL UNIT POWER & COMMUNICATIONS PLAN
E4-01	CRAWLSPACE LIGHTING PLAN
E4-02	GROUND FLOOR LIGHTING PLANS
E4-03	SECOND FLOOR LIGHTING PLANS
E5-01	ENLARGED SERVICE ROOM PLANS
E6-01	ELECTRICAL DETAILS
E7-01	ELECTRICAL SCHEDULES

POWER	
	DUPLEX 5-15R RECEPTACLE
	DUPLEX 5-20R RECEPTACLE, T-SLOT
	SINGLE RECEPTACLE (TYPE AS NOTED)
	SPLIT CIRCUIT DUPLEX 5-15R RECEPTACLE
	TWO DUPLEX 5-15R RECEPTACLES
	CEILING MOUNTED DUPLEX 5-15R RECEPTACLE - NUMBER AS SHOWN
	UTILITY POLE (TYPE AS INDICATED)
	CEILING MOUNTED JUNCTION BOX
	WALL MOUNTED JUNCTION BOX
	DIRECT CONNECTION
	POWER PANELBOARD
	GROUND BUS BAR
	MOTOR
	MOTOR c/w DISCONNECT SWITCH
	DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH
	THERMOSTAT
	DEVICE MOUNTED ABOVE MILLWORK COUNTERTOP
	BASEBOARD HEATER

FIRE DEVICES	
	SMOKE & CO ALARM

LOW TENSION	
	WALL MOUNTED RJ45 OUTLET (# DENOTES NUMBER OF PORTS)
	WALL MOUNTED COAXIAL OUTLET

LIGHTING	
	STRIP LUMINAIRE, SIZE AS INDICATED
	WALL MOUNTED LINEAR
	RECESSED LUMINAIRE / POT LIGHT
	SURFACE MOUNTED OR PENDANT MOUNTED LUMINAIRE
	WALL MOUNTED LUMINAIRE
	POLE MOUNTED FIXTURE - NUMBER OF HEADS AS SHOWN
	SINGLE, TWO, THREE & FOUR GANG LINE VOLTAGE SWITCH
	LOW VOLTAGE SWITCH - NUMBER OF SWITCHES/BUTTONS AS SHOWN
	CEILING / WALL MOUNTED OPEN LOOP PHOTOCCELL
	DAYLIGHT SENSOR

LIGHTING ANNOTATIONS:	
'D'	- DIMMER SWITCH
'OS'	- OCCUPANCY SENSOR
'K'	- KEY SWITCH
'T'	- TIMER SWITCH
'3/4'	- 3 OR 4 WAY

ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
DW	DISHWASHER
GF	GROUND FAULT CIRCUIT INTERRUPTER
JB	JUNCTION BOX
MLO	MAIN LUGS ONLY
MW	MICROWAVE
RA	RANGE
REF	REFRIGERATOR
TR	TAMPER RESISTANT
TV	TELEVISION
TYP	TYPICAL
WP	WEATHERPROOF
WAP	WIRELESS ACCESS POINT

SINGLE LINE	
	CIRCUIT BREAKER - SIZE AND TYPE AS NOTED
	DISCONNECT SWITCH
	FUSE - SIZE AND TYPE AS NOTED
	TRANSFORMER - TYPE AS NOTED
	CURRENT TRANSFORMER
	PV SOLAR PANEL
	AC/DC - INVERTER
	BATTERY BANK
	METER - TYPE AS NOTED
	GROUNDING ELECTRODE / GROUNDING CONNECTION
	BRANCH CIRCUIT PANEL (MLO OR WITH MAIN BREAKER - AS SHOWN)

Revision/	Description/Description	Date/Date
5	RE-ISSUED FOR TENDER	2022/02/16
4	ISSUED FOR 99%	2021/12/15
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0	PRELIM REVIEW	2021/03/03

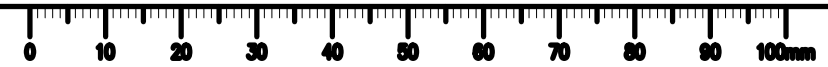
Client/client
PARKS CANADA AGENCY

Project title/Titre du projet
GREENING NORTHERN HOUSING - POND INLET

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 Designed by/Conçue par
 JNT
 PWGSC Project Manager/Administrateur de Projets TPSGC
 -
 Regional Manager, Architectural and Engineering Services
 Gestionnaire régionale, Services d'architectural et de génie, TPSGC
 -

Drawing title/Titre du dessin
GENERAL COVER & LEGEND

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
0049	E1.01	4
	OF 11	

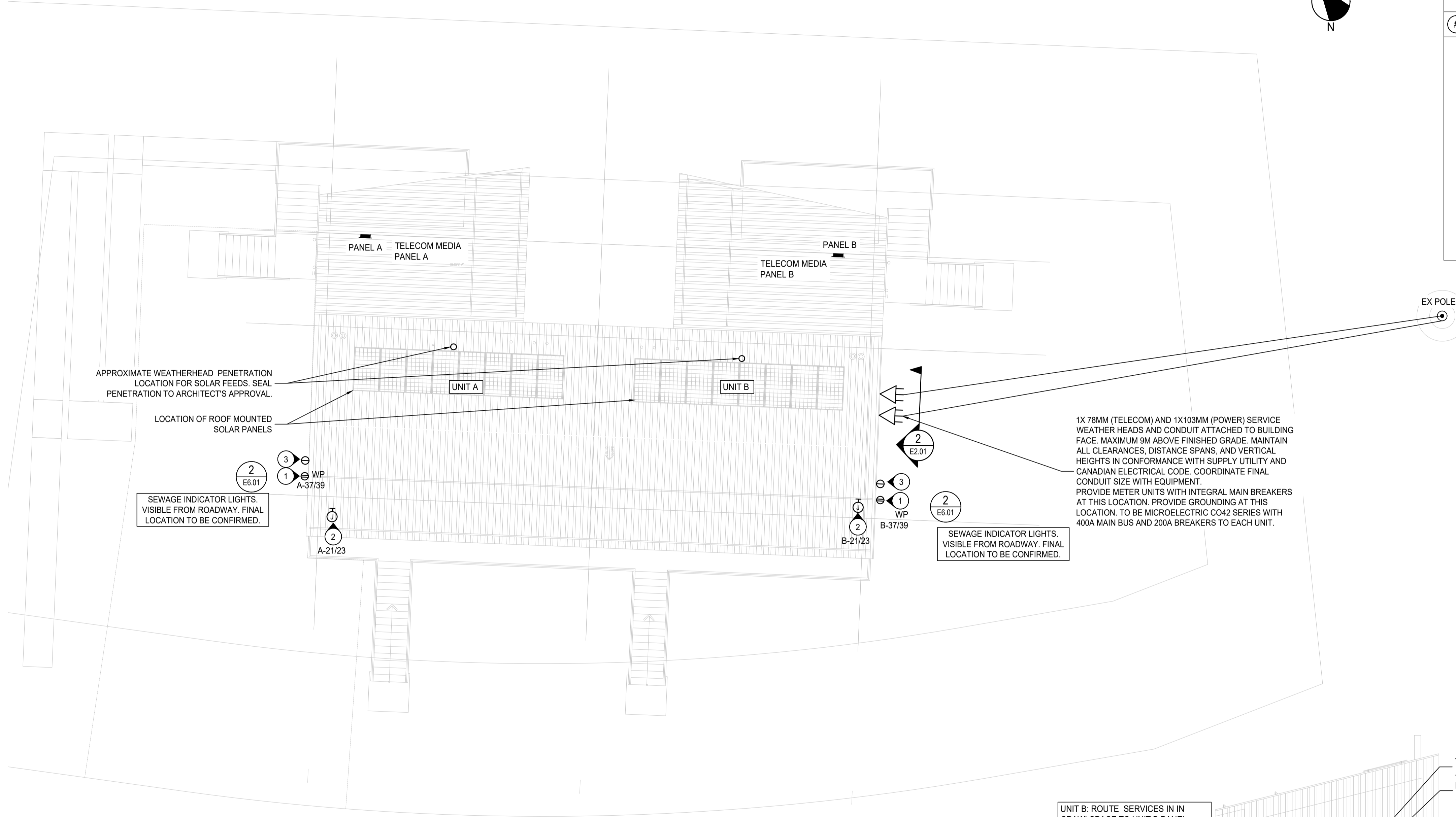
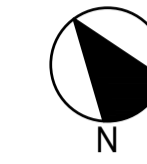


GENERAL NOTES

#	DESCRIPTION
1	REFER TO THE FLOORPLANS FOR BUILDING MOUNTED ELECTRICAL LIGHTING AND DEVICES.
2	ROUTING OF SERVICES AND CONDUITS SHOWN IS DIAGRAMMATIC. CONTRACTOR TO COORDINATE ROUTING ON SITE. PROVIDE ALL REQUIRED JUNCTION/PULLBOXES AS REQUIRED.

KEY NOTES

#	DESCRIPTION
1	PROVIDE WEATHERPOOF, IPLC, RECEPTACLE AT VEHICLE PARKING LOCATION. PROVIDE PARKING POST AS OUTLINED IN THE SPECIFICATIONS. CONNECTIONS TYPICAL OF BOTH UNITS. FOR EXTERIOR, PROVIDE 2C #8CU XLPE RW90 + BOND IN CONDUIT FOR BLOCK HEATER RECEPTACLE. 2C#8CU NMD90 IS ACCEPTABLE FOR INTERIOR AREAS. LOCATE INTERIOR WIRING IN THE CRAWLSPACE (NOT SHOWN). SEAL ALL PENETRATIONS TO ARCHITECT'S APPROVAL.
2	FUTURE EV CHARGING STATION. PROVIDE 3C #6CU NMD90 TO LOCATION OF EXTERIOR NEMA 3R STEEL JUNCTION BOX. SEAL PENETRATIONS TO ARCHITECT'S APPROVAL. INTERIOR WIRING IN THE CRAWLSPACE (NOT SHOWN).
3	L14-30R 30-AMP ENCLOSED, OUTDOOR RATED, RECEPTACLE FOR GENERATOR CONNECTION. COORDINATE WITH OWNER FOR FINAL CONNECTION TYPE.



APPROXIMATE WEATHERHEAD PENETRATION LOCATION FOR SOLAR FEEDS. SEAL PENETRATION TO ARCHITECT'S APPROVAL.

LOCATION OF ROOF MOUNTED SOLAR PANELS

SEWAGE INDICATOR LIGHTS. VISIBLE FROM ROADWAY. FINAL LOCATION TO BE CONFIRMED.

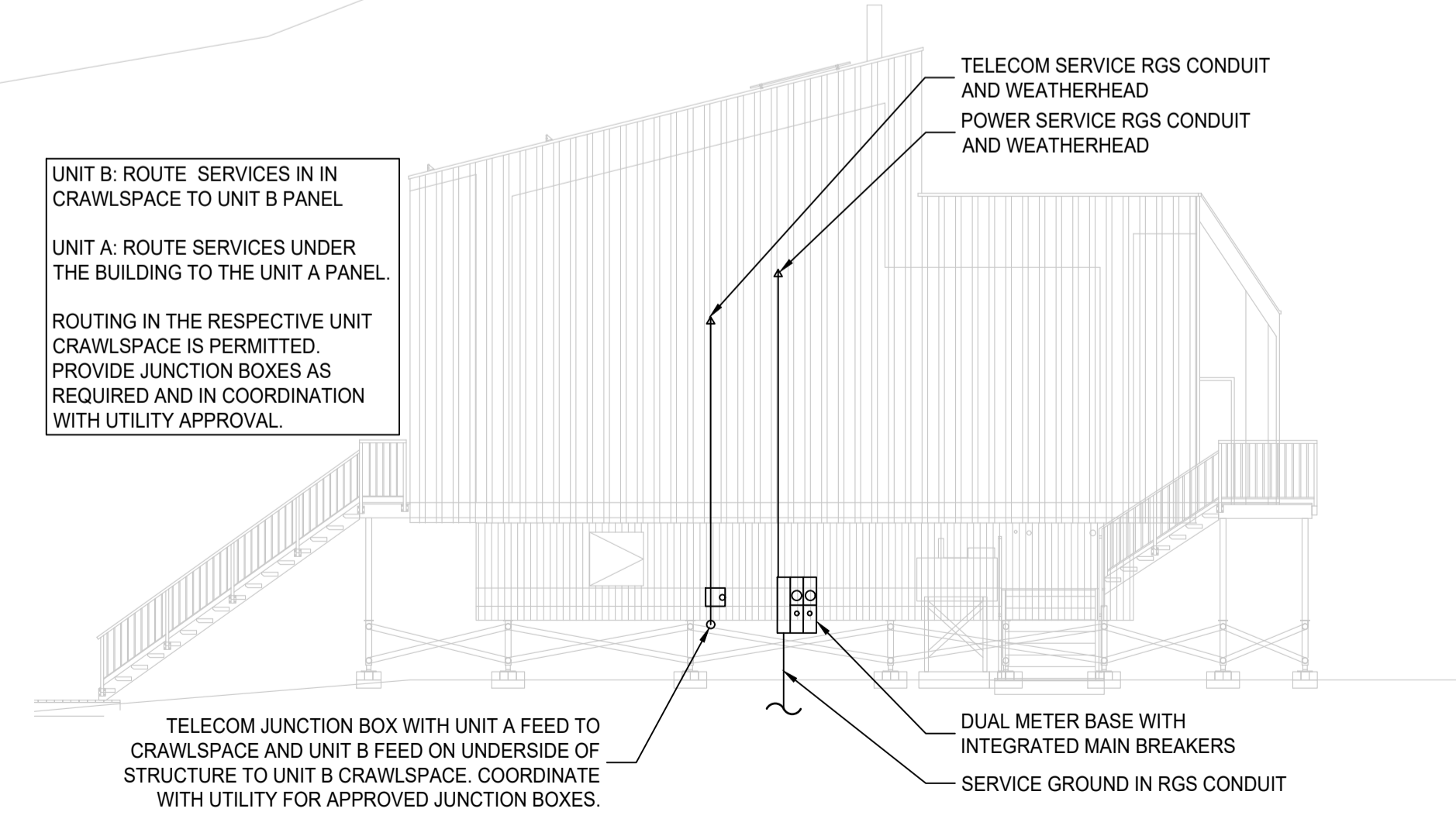
1X 78MM (TELECOM) AND 1X103MM (POWER) SERVICE WEATHER HEADS AND CONDUIT ATTACHED TO BUILDING FACE. MAXIMUM 9M ABOVE FINISHED GRADE. MAINTAIN ALL CLEARANCES, DISTANCE SPANS, AND VERTICAL HEIGHTS IN CONFORMANCE WITH SUPPLY UTILITY AND CANADIAN ELECTRICAL CODE. COORDINATE FINAL CONDUIT SIZE WITH EQUIPMENT. PROVIDE METER UNITS WITH INTEGRAL MAIN BREAKERS AT THIS LOCATION. PROVIDE GROUNDING AT THIS LOCATION. TO BE MICROELECTRIC CO42 SERIES WITH 400A MAIN BUS AND 200A BREAKERS TO EACH UNIT.

SEWAGE INDICATOR LIGHTS. VISIBLE FROM ROADWAY. FINAL LOCATION TO BE CONFIRMED.

ROAD R29 96054 CLSR 75

1 ELECTRICAL SITE PLAN
E2.01 1:100

UNIT B: ROUTE SERVICES IN IN CRAWLSPACE TO UNIT B PANEL
UNIT A: ROUTE SERVICES UNDER THE BUILDING TO THE UNIT A PANEL.
ROUTING IN THE RESPECTIVE UNIT CRAWLSPACE IS PERMITTED. PROVIDE JUNCTION BOXES AS REQUIRED AND IN COORDINATION WITH UTILITY APPROVAL.



TELECOM JUNCTION BOX WITH UNIT A FEED TO CRAWLSPACE AND UNIT B FEED ON UNDERSIDE OF STRUCTURE TO UNIT B CRAWLSPACE. COORDINATE WITH UTILITY FOR APPROVED JUNCTION BOXES.

TELECOM SERVICE RGS CONDUIT AND WEATHERHEAD
POWER SERVICE RGS CONDUIT AND WEATHERHEAD

DUAL METER BASE WITH INTEGRATED MAIN BREAKERS
SERVICE GROUND IN RGS CONDUIT

2 SERVICE ELEVATION
E2.01 1:100

Revision/	Description/Description	Date/Date
5	RE-ISSUED FOR TENDER	2022/02/16
4	ISSUED FOR 99%	2021/12/15
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2	ISSUED FOR 30% DESIGN REVIEW	2021/08/13
1	ISSUED FOR DESIGN DEVELOPMENT	2021/06/03
0	PRELIM REVIEW	2021/03/03

Client/client
PARKS CANADA AGENCY

Project title/Titre du projet

GREENING NORTHERN HOUSING - POND INLET

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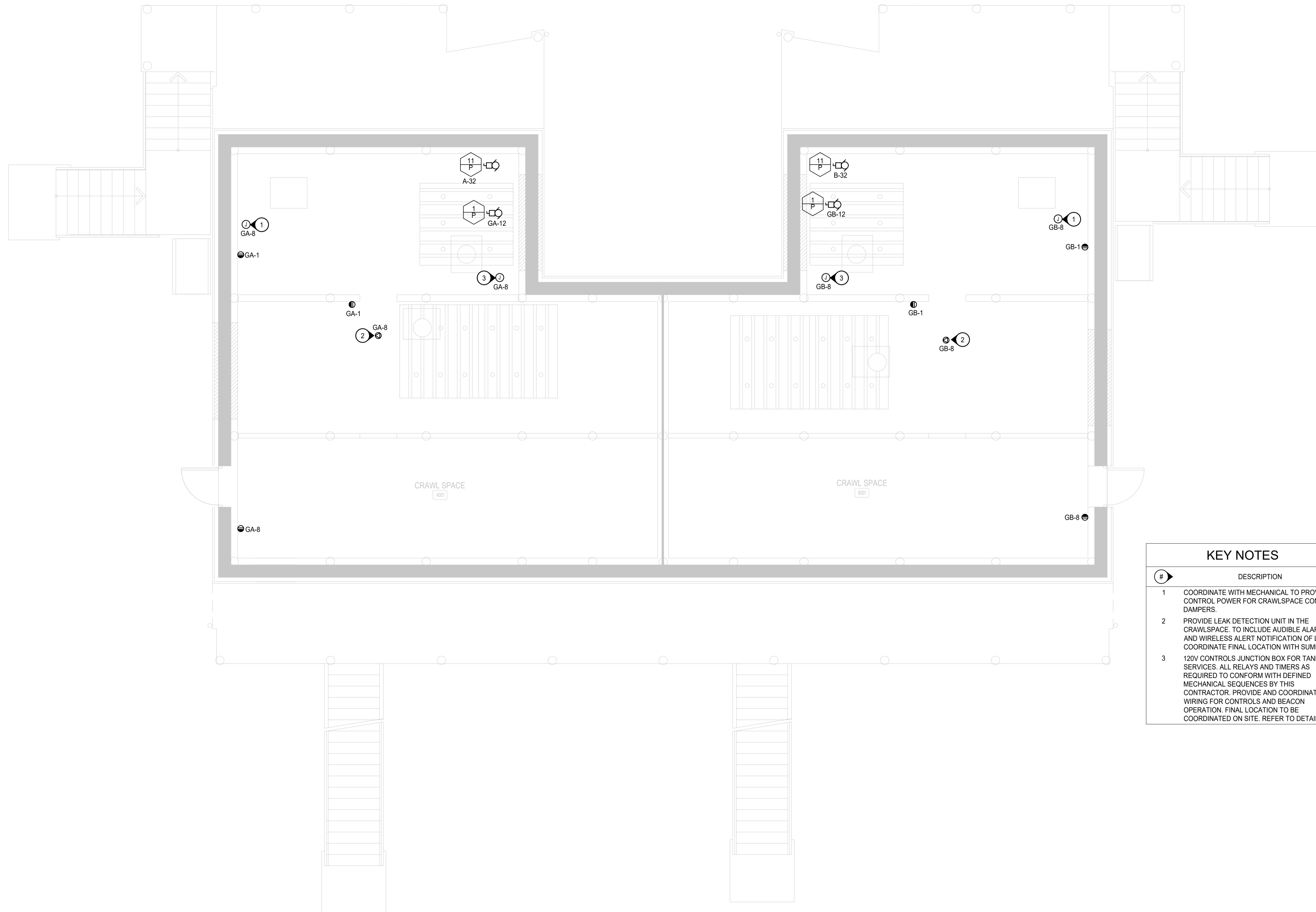
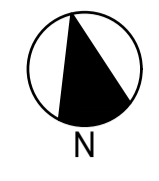
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PWGCSC Project Manager/Administrateur de Projets TPSSC

Regional Manager, Architectural and Engineering Services
Gestionnaire régionale, Services d'architectural et de génie, TPSSC

Drawing title/Titre du dessin
ELECTRICAL SITE PLAN

Project No./No. du projet	Sheet/Fauille	Revision no./La Révision no.
0049	E2.01 OF 11	4



#	DESCRIPTION
1	COORDINATE WITH MECHANICAL TO PROVIDE CONTROL POWER FOR CRAWLSPACE CONTROL DAMPERS.
2	PROVIDE LEAK DETECTION UNIT IN THE CRAWLSPACE. TO INCLUDE AUDIBLE ALARM AND WIRELESS ALERT NOTIFICATION OF LEAKS. COORDINATE FINAL LOCATION WITH SUMP PIT.
3	120V CONTROLS JUNCTION BOX FOR TANKED SERVICES. ALL RELAYS AND TIMERS AS REQUIRED TO CONFORM WITH DEFINED MECHANICAL SEQUENCES BY THIS CONTRACTOR. PROVIDE AND COORDINATE ALL WIRING FOR CONTROLS AND BEACON OPERATION. FINAL LOCATION TO BE COORDINATED ON SITE. REFER TO DETAILS.

Revision/	Description/Description	Date/Date
5	RE-ISSUED FOR TENDER	2022/02/16
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2	ISSUED FOR 33% DESIGN REVIEW	2021/08/13
1	ISSUED FOR DESIGN DEVELOPMENT	2021/06/03
0	PRELIM REVIEW	2021/03/03

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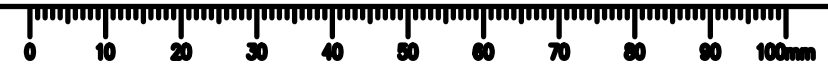
Project title/Titre du projet
GREENING NORTHERN HOUSING - POND INLET

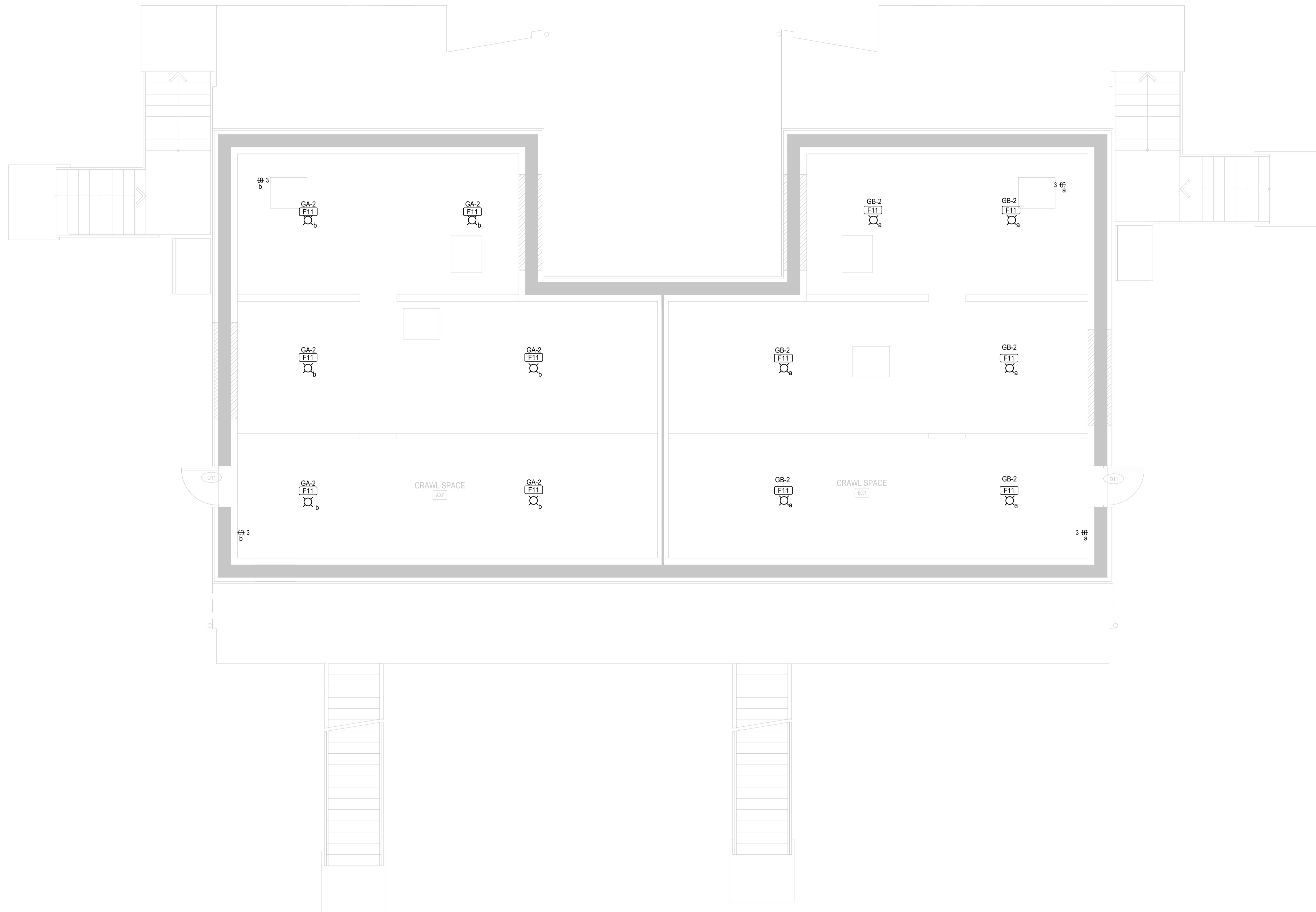
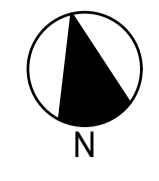
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PWGSC Project Manager/Administrateur de Projets TPSGC
Regional Manager, Architectural and Engineering Services
Gestionnaire régionale, Services d'architectural et de génie, TPSGC

Drawing title/Titre du dessin
CRAWLSPACE ELECTRICAL UNIT POWER & COMMUNICATIONS PLAN

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
0049	E3.01 OF 11	4

1 CRAWLSPACE FLOOR PLAN
E3.01 / 1:50





5	RE-ISSUED FOR TENDER	2022/02/16
4	ISSUED FOR 99%	2021/12/15
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Revision/ Révision Description/Description Date/Date

Client/client
PARKS CANADA AGENCY

Project title/Titre du projet

GREENING NORTHERN HOUSING - POND INLET

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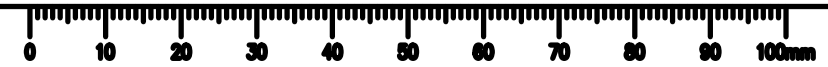
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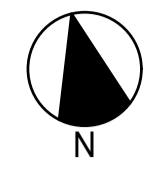
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Gestionnaire régionale, Services d'architectural et de génie, TPSGC
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Drawing title/Titre du dessin
CRAWLSPACE LIGHTING PLANS

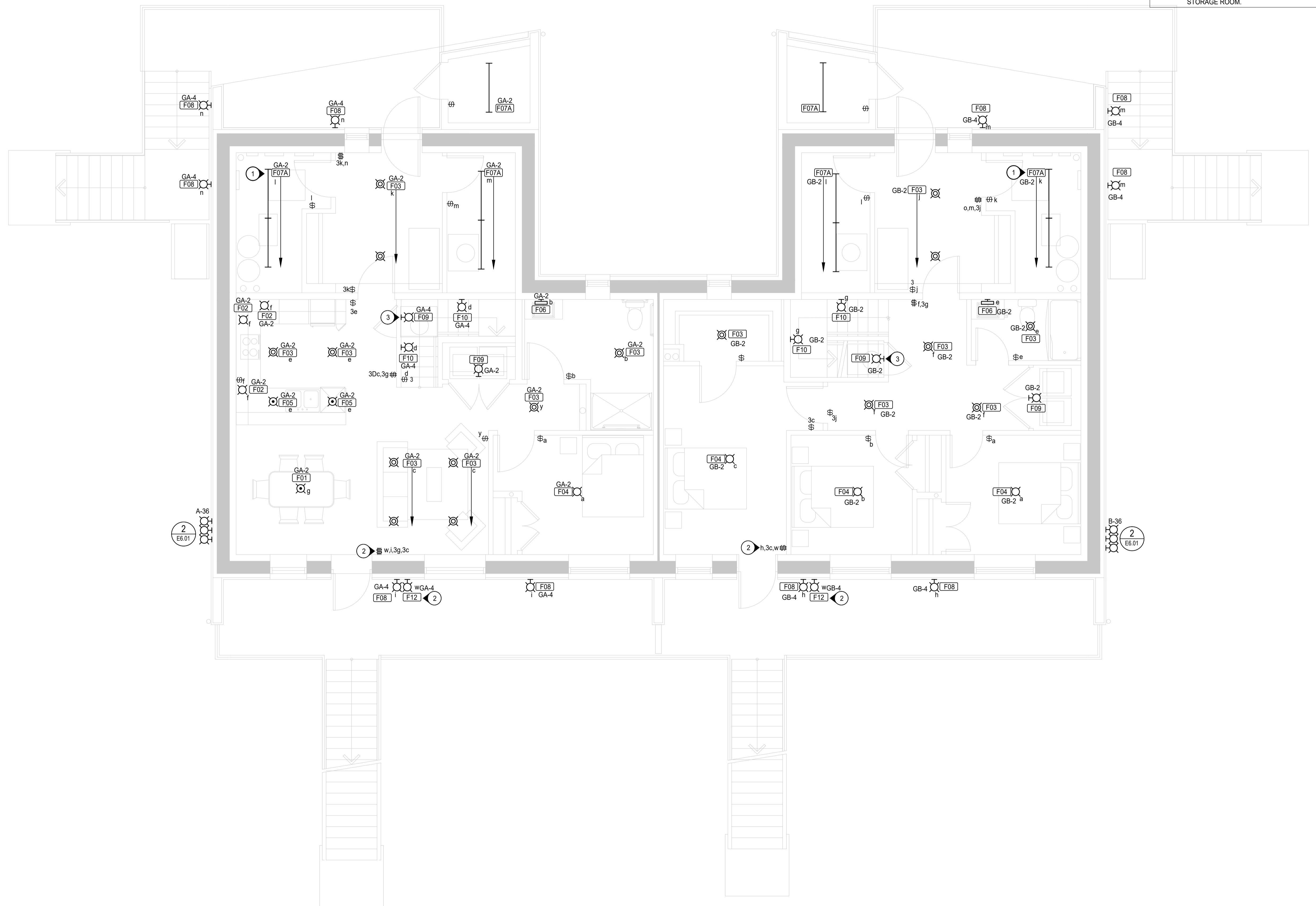
Project No./No. du projet 0049	Sheet/Feuille E4.01 OF 11	Revision no./La Révision no. 4
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1 CRAWLSPACE FLOOR PLAN
E4.01 1:50





#	DESCRIPTION
1	COORDINATE WITH MECHANICAL EQUIPMENT FOR FINAL LOCATION OF FIXTURES.
2	PROVIDE DIGITAL LINE VOLTAGE TIMER SWITCH TO OPERATE EXTERIOR FLOOD LIGHT. TIMER SWITCH TO RANGE FROM 5/15 MINUTES TO 2 HOURS. MOUNT F12 FIXTURE IN ALIGNMENT AND ABOVE F08 FIXTURE. FINAL HEIGHT TO BE CONFIRMED ON SITE.
3	FIXTURE LOCATED IN THE UNDER STAIR STORAGE ROOM.



Revision/	Description/Description	Date/Date
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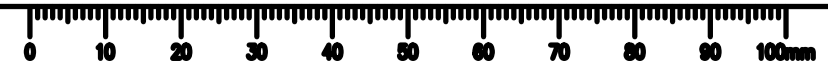
Project title/Titre du projet
GREENING NORTHERN HOUSING - POND INLET

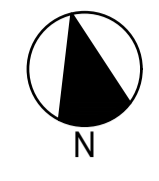
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JNT
PWGSC Project Manager/Administrateur de Projets TPSGC
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Gestionnaire régionale, Services d'architecture et de génie, TPSGC

Drawing title/Titre du dessin
GROUND FLOOR LIGHTING PLANS

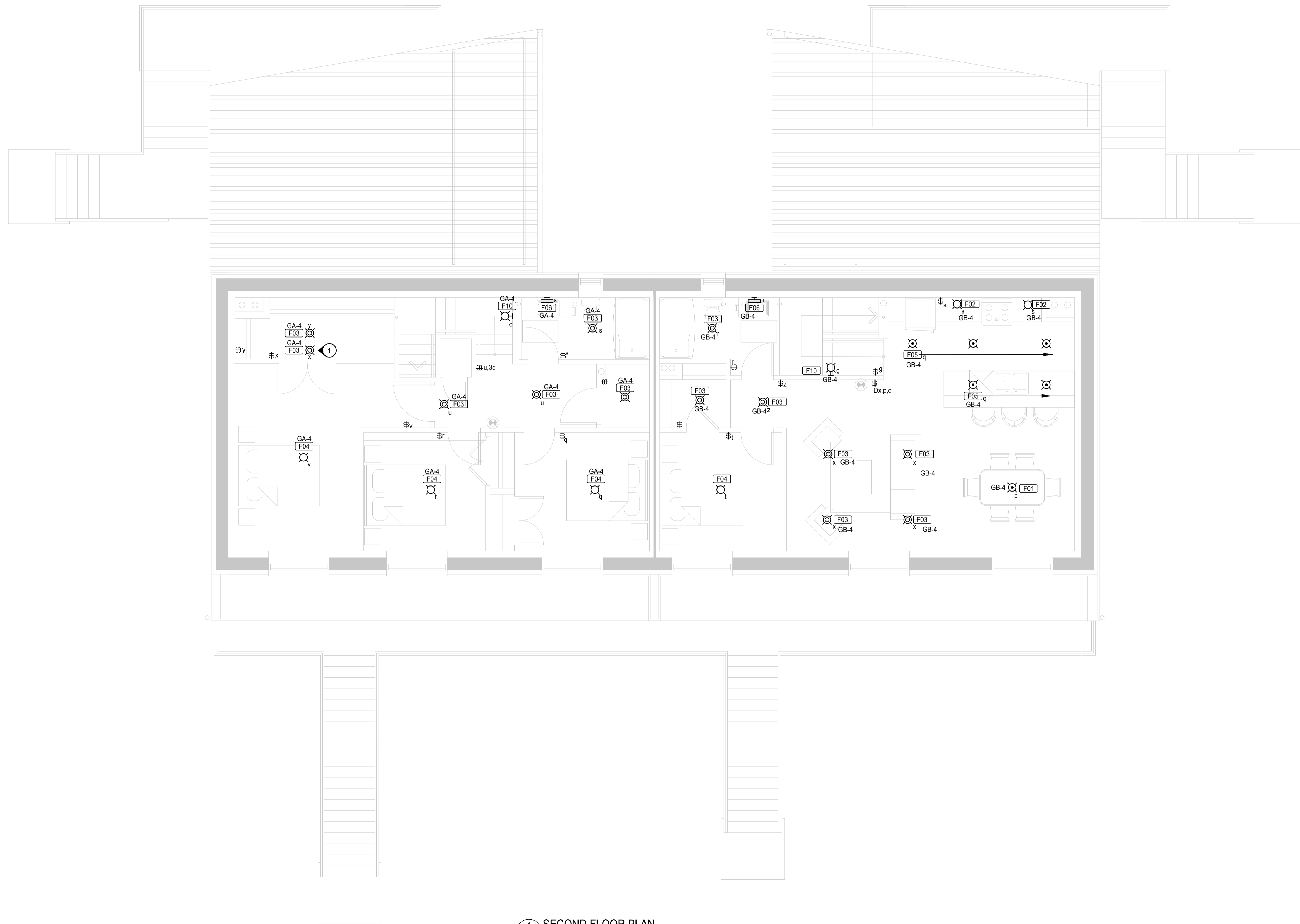
Project No./No. du projet	Sheet/Fauille	Revision no./La Révision no.
0049	E4.02 OF 11	4

1 GROUND FLOOR PLAN
E4.02 / 1:50





#	DESCRIPTION
1	PROVIDE ONE LIGHT IN THE WALK-IN CLOSET AND ONE LIGHT IN THE STORAGE SPACE ABOVE THE WALK-IN CLOSET. EACH LIGHT TO HAVE DEDICATED SWITCH.



1 SECOND FLOOR PLAN
E4.03 1:50

5	RE-ISSUED FOR TENDER	2022/02/16
4	ISSUED FOR 99%	2021/12/15
3	ISSUED FOR 66%	2021/09/08
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Revision/Revisions Description/Description Date/Date

Client/client
PARKS CANADA AGENCY

Project title/Titre du projet

GREENING NORTHERN HOUSING - POND INLET

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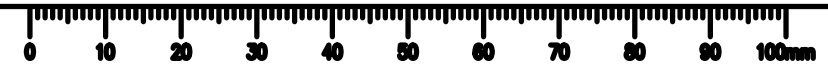
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Drawing title/Titre du dessin

SECOND FLOOR LIGHTING PLANS

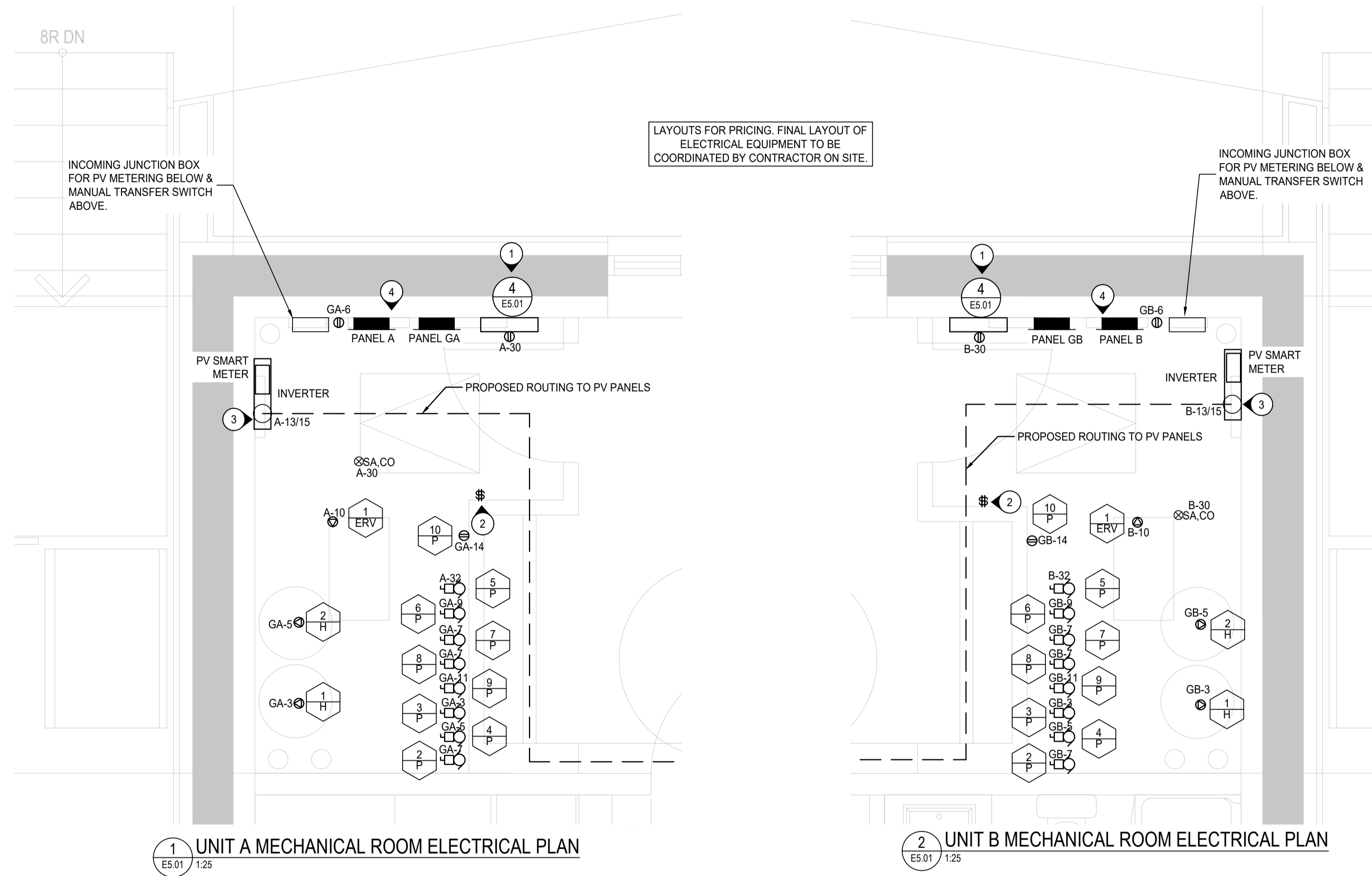
Project No./No. du projet	Sheet/Fauille	Revision no./La Révision no.
0049	E4.03 OF 11	4





KEY NOTES

#	DESCRIPTION
1	PROVIDE DEVICES AND TWO (2) RUNS OF RG11 COAXIAL CABLE FROM THE TELECOM BACKBOARD TO A LOCATION ON THE EAVES ON THE SOUTH SIDE OF THE BUILDING FOR FUTURE SATELLITE CONNECTIONS. PROVIDE SPLITTERS AS REQUIRED AT THE TELECOM BACKBOARD.
2	PROVIDE DISCONNECT SWITCHES FOR HEATERS H-1, H-2. MOUNT AT +1600MM AFF. PROVIDE RED, METAL COVER PLATES TO READ: "HEATER 1 & 2 SHUTOFF SWITCHES." COORDINATE FINAL LOCATIONS ON SITE.
3	PROVIDE INTERCONNECTION TO ROOFTOP SOLAR PANELS. PROVIDE WEATHER HEAD AND CONNECTORS AS REQUIRED. SEAL ALL PENETRATIONS TO ARCHITECT'S APPROVAL. COORDINATE ROUTING WITH ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DIVISIONS.
4	SURGE SUPPRESSION MOUNTED ADJACENT TO PANEL.



1 UNIT A MECHANICAL ROOM ELECTRICAL PLAN
E5.01 1:25

2 UNIT B MECHANICAL ROOM ELECTRICAL PLAN
E5.01 1:25

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4	ISSUED FOR 99%	2021/12/15
3	ISSUED FOR 66%	2021/09/08
2	ISSUED FOR 33% DESIGN REVIEW	2021/08/13
1	ISSUED FOR DESIGN DEVELOPMENT	2021/06/03
0	PRELIM REVIEW	2021/03/03

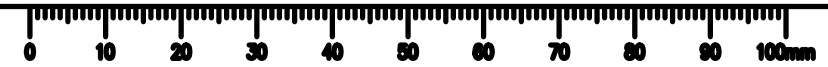
Client/client
PARKS CANADA AGENCY

Project title/Titre du projet
GREENING NORTHERN HOUSING - POND INLET

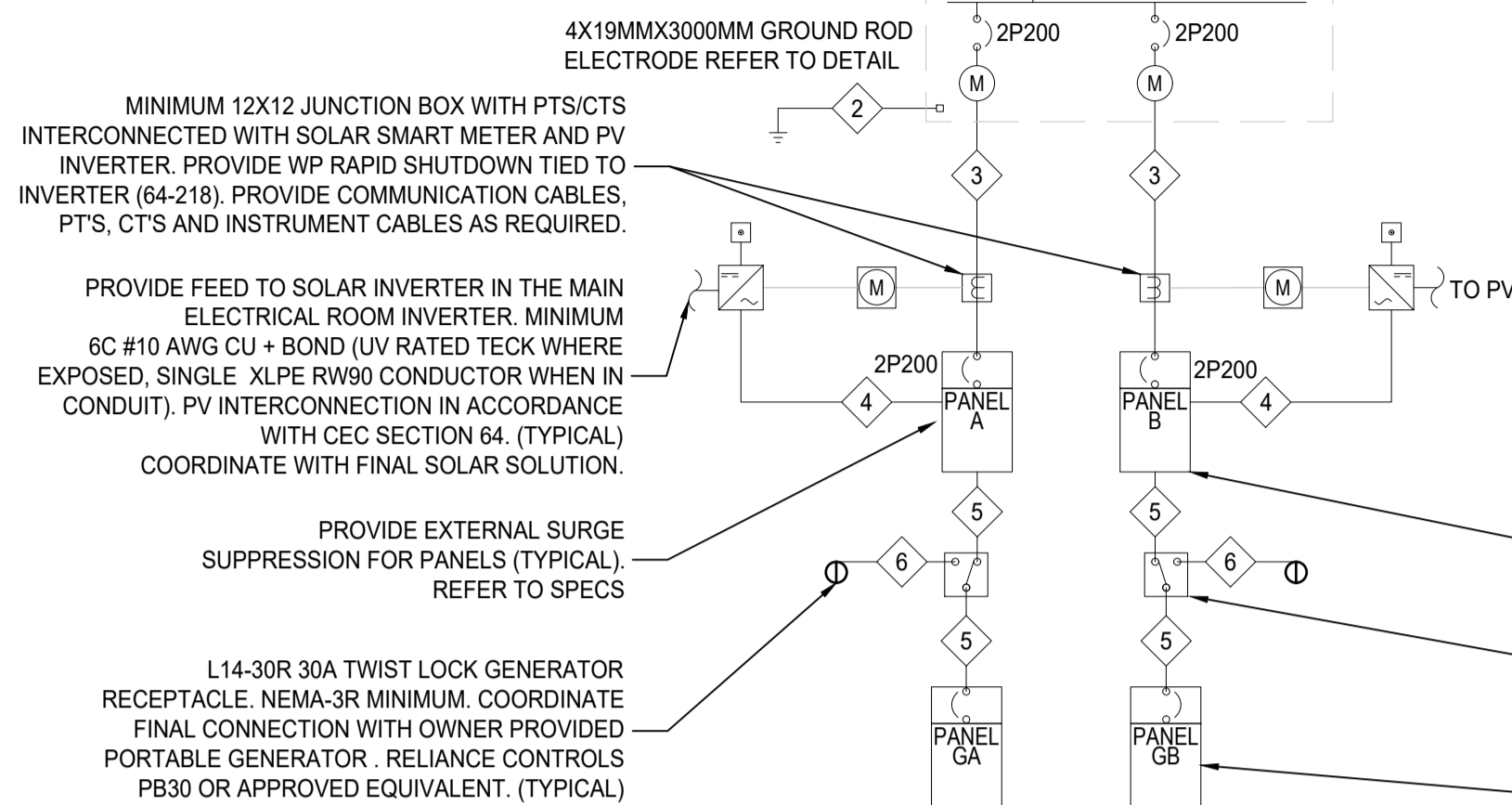
Consultant Signature Only
CONSULTANT_SIGNATURE_ONLY
Designed by/Concept par
PIO
Drawn by/Dessiné par
JNT
PWGSC Project Manager/Administrateur de Projets TPSGC
Regional Manager, Architectural and Engineering Services
Gestionnaire régionale, Services d'architecture et de génie, TPSGC

Drawing title/Titre du dessin
ENLARGED SERVICE ROOM PLANS

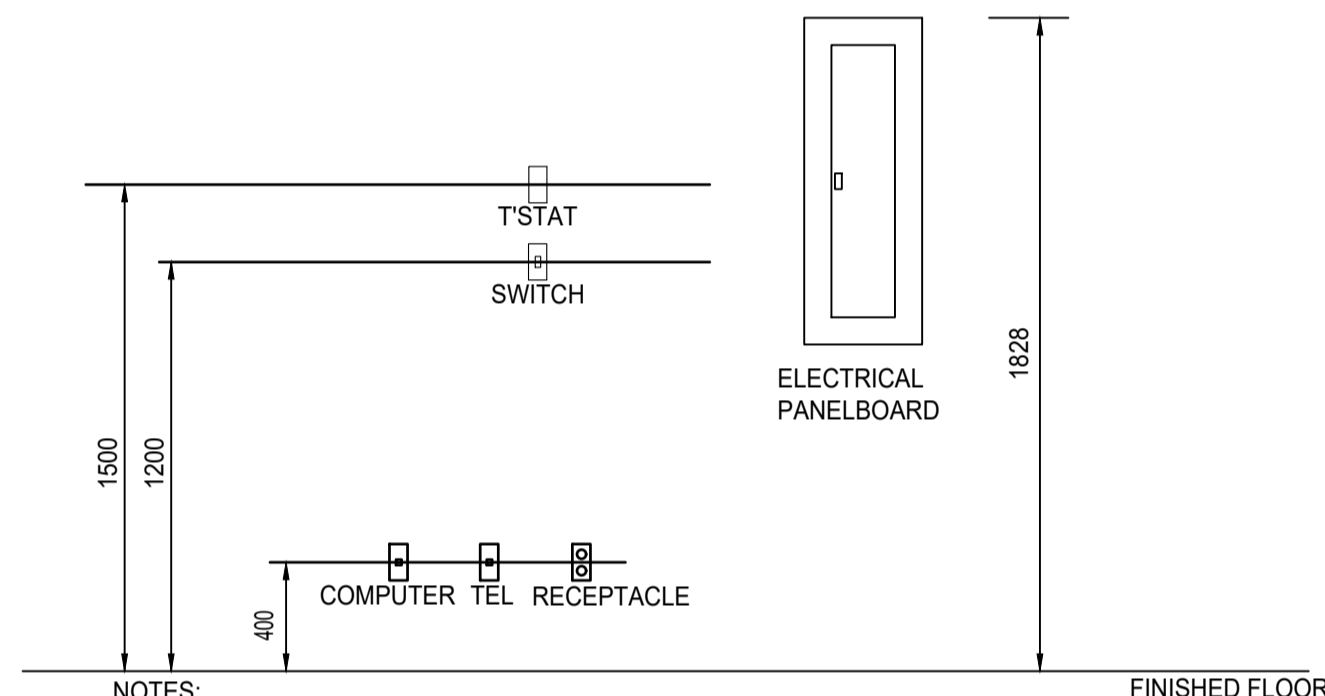
Project No./No. du projet	Sheet/Fauille	Revision no./La Révision no.
0049	E5.01 OF 11	4



PRODUCT STANDARD OF ACCEPTANCE: MICROELECTRIC CO42 SERIES METER, 400A MAIN, 200A PER POSITION, 120/240V COMBINATION ENCLOSURE WITH BREAKERS



1 SINGLE LINE DIAGRAM
E6.01 NTS



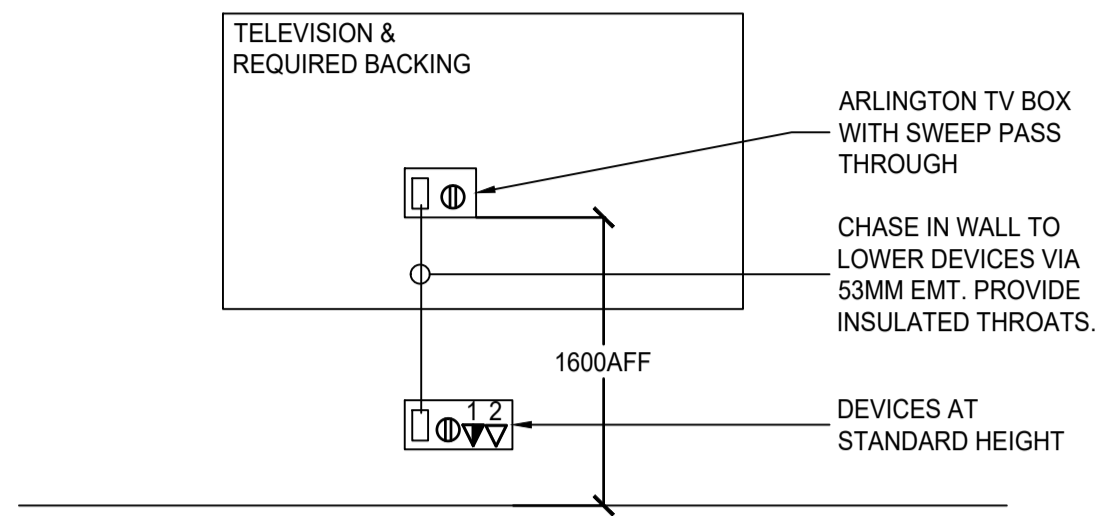
4 MOUNTING HEIGHTS
E6.01 NTS

#	DESCRIPTION
1	1 RUN [3x #500 KCMIL AL RW90 IN CONDUIT] SERVICE MAST TO BE MINIMUM 103MM RGS
2	#1/0 AWG COPPER GROUND TIED TO NEUTRALS 3x #250 KCMIL AL RW90 + #4 CU BOND IN CONDUIT PROVIDE JUNCTION BOXES AS REQUIRED AND AS APPROVED BY UTILITY.
3	3C #8 AWG NMD90 CU + CU BOND
4	3C #8 CU AWG NMD90 CU + #10 CU BOND
5	3C #8 CU + BOND TECK90
6	

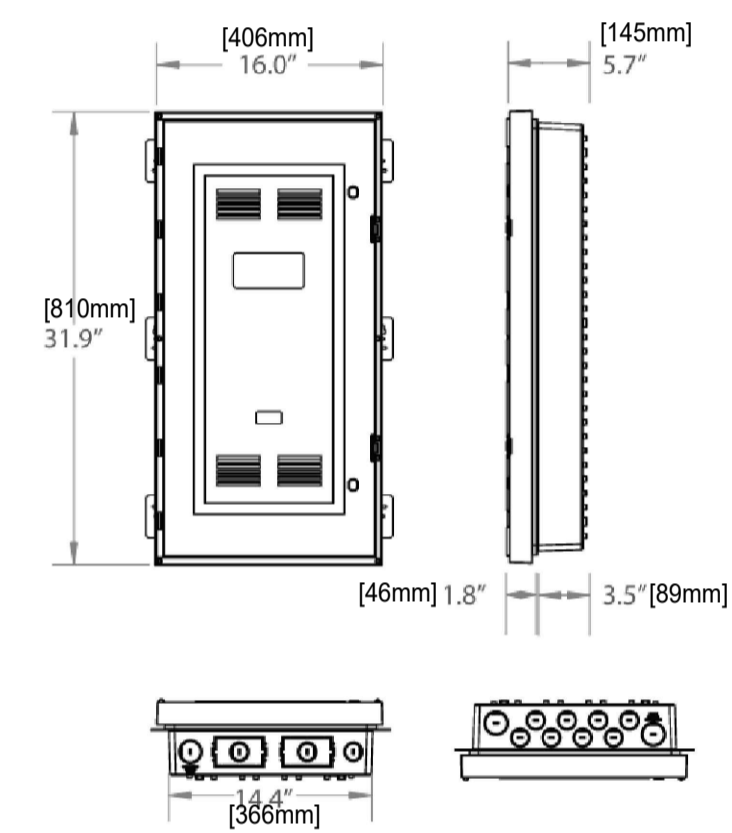
TYPICAL NORMAL PANEL STANDARD OF ACCEPTANCE: SCHNEIDER, HOMELINE COMBINATION LOAD CENTER, 40 SPACE, 80 CIRCUITS, HOM4080M200PCVP. (TYPICAL)

MANUAL TRANSFER SWITCH, DOUBLE THROUGH, NON FUSIBLE, 30A, 240V, 3 POLES, NEMA 1, (TYPICAL)

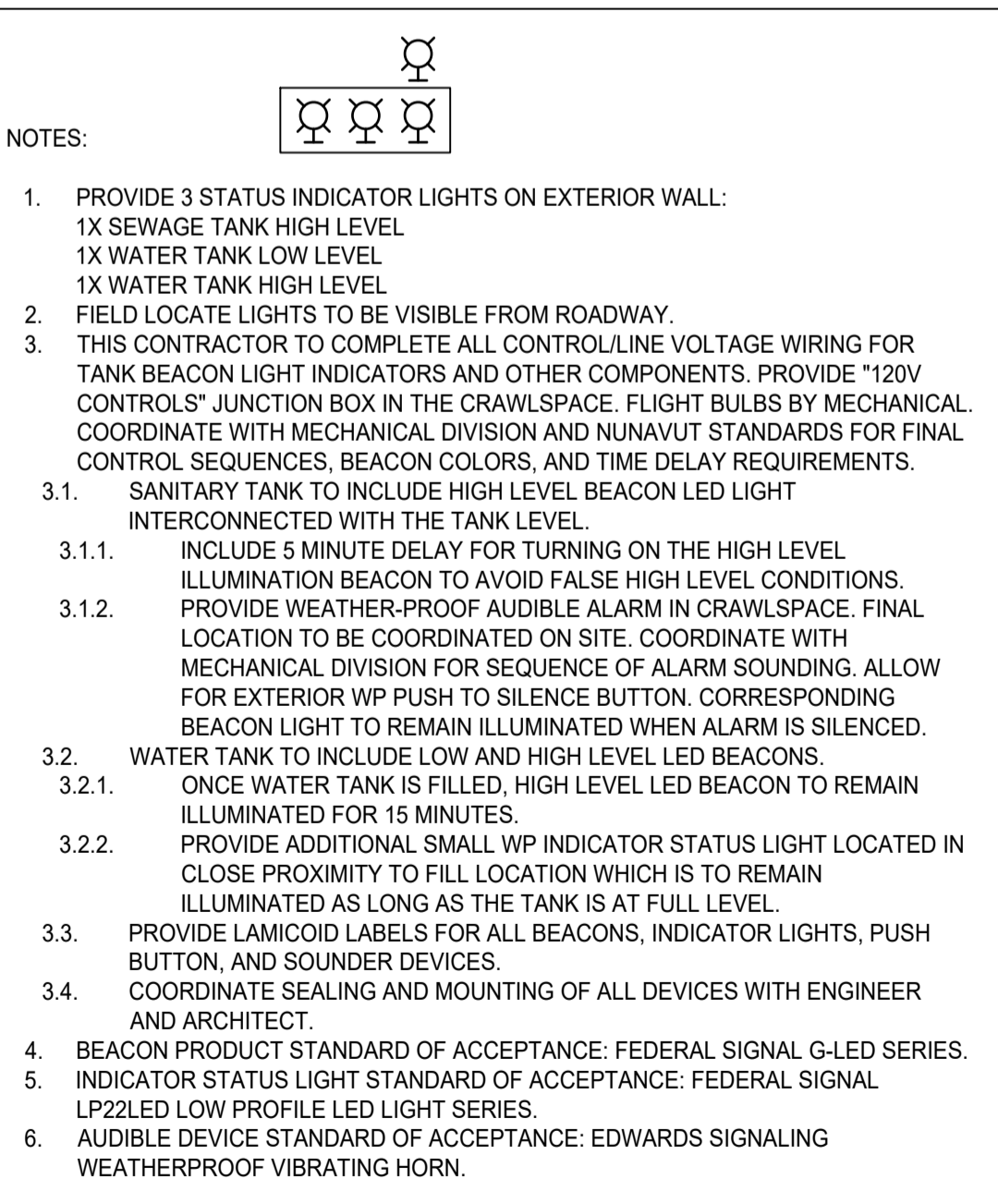
TYPICAL GENERATOR PANEL STANDARD OF ACCEPTANCE: SCHNEIDER, HOMELINE MAIN LUGS LOAD CENTER, 120/240V, 24CCT. (TYPICAL)



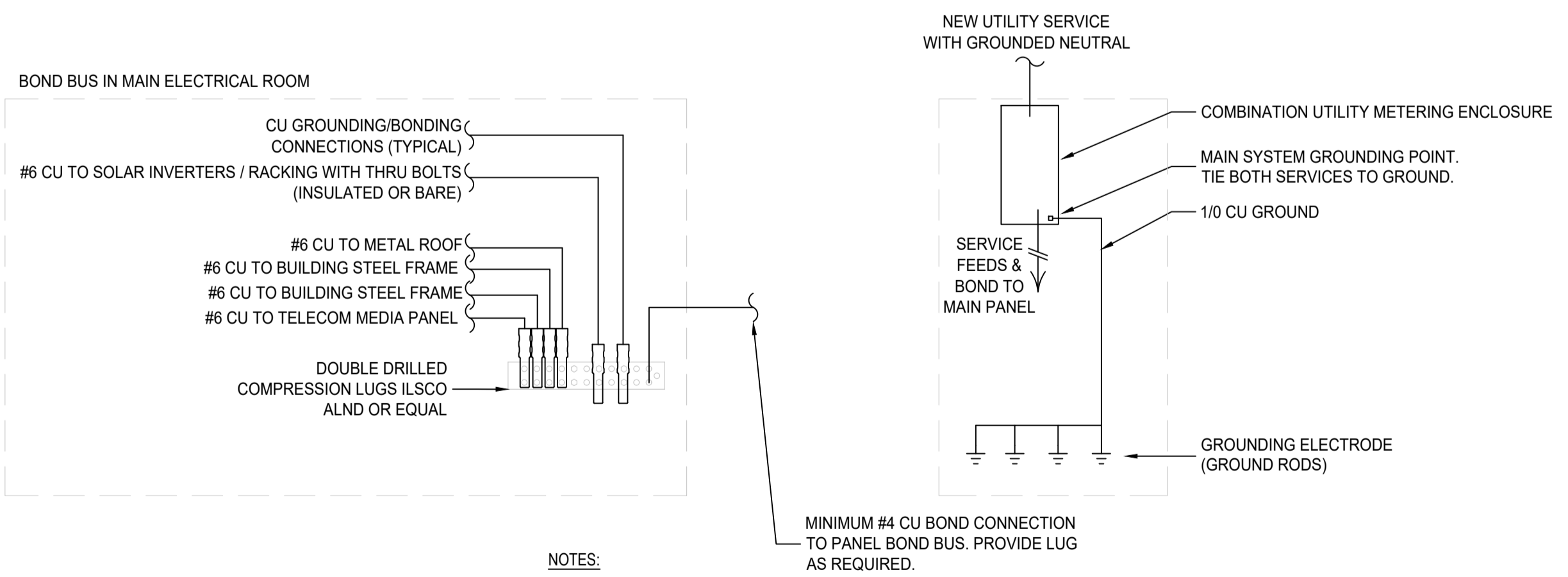
3 TELEVISION DETAIL
E6.01 NTS



5 MEDIA PANEL DETAILS
E6.01 NTS



2 TANKED SERVICE - BEACON/CONTROL DETAILS
E6.01 NTS



6 GROUNDING/BONDING DETAIL
E6.01 NTS

Revision/	Description/Description	Date/Date
5	RE-ISSUED FOR TENDER	2022/02/16
4	ISSUED FOR 99%	2021/12/15
3	ISSUED FOR 66%	2021/09/08
2	ISSUED FOR 33% DESIGN REVIEW	2021/08/13
1	ISSUED FOR DESIGN DEVELOPMENT	2021/06/03
0	PRELIM REVIEW	2021/03/03

Client/client
PARKS CANADA AGENCY

Project title/Titre du projet
GREENING NORTHERN HOUSING - POND INLET

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Designed by/Concept par
PIO

Drawn by/Dessiné par
JNT

PWGSC Project Manager/Administrateur de Projets TPSPC
-

Regional Manager, Architectural and Engineering Services
Gestionnaire régionale, Services d'architectural et de génie, TPSPC
-

Drawing title/Titre du dessin
ELECTRICAL DETAILS

Project No./No. du projet	Sheet/Fauille	Revision no./La Révision no.
0049	E6.01 OF 11	4

PANEL: A									
NOTE	DESCRIPTION	BRKR	CCT	PHASE	CCT	BRKR	DESCRIPTION	NOTE	
	RANGE	2/40	1	A	2	1/15	ENTRY, STORAGE OUTLETS, RH-1	2	
	DRYER	2/30	3	B	4	1/15	DINING & LIVING ROOM OUTLETS	2	
	KITCHEN COUNTER PLUG	1/20	9	A	10	1/15	MAIN & SECOND FLR BEDROOM OUTLETS	2	
2	SPARE	1/15	11	B	12	1/20	MAIN AND SECOND HALLWAYS AND STAIR	2	
	PV INVERTER	2/30	13	A	14	1/20	ERV-1	3	
	DISHWASHER	1/15	15	B	16	1/15	WASHING MACHINE	2	
	MAIN FLOOR BATHROOM	1/15	19A	B	20	1/15	MICROWAVE	2	
	SECOND FLOOR BATHROOM	1/15	19B	B	20	1/15	MAIN & SECOND FLR BEDROOM OUTLETS	2	
	FUTURE EV CHARGING STATION	2P40	21	A	22	2/40	EXTERIOR DECK PLUGS	2	
2	SPARE	1/15	25	A	26	2/40	FUTURE COOKTOP	2	
	SPARE	1/15	27	B	28	2/40	SURGE PROTECTION DEVICE	2	
2	SPARE	1/15	29	A	30	1/15	TELECOM RECEPTACLE	3	
	SPARE	1/15	31	B	32	1/15	P-11, P-5	3	
	SPARE	1/15	33	A	34				
	SPARE	1/15	35	B	36				
2	EXTERIOR PARKING OUTLETS	2/15	37	A	38	2/30	PANEL GA		
	SPARE		39	B	40				

ELECTRICAL DETAILS
REFER TO SINGLE LINE & CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.

PANEL NOTES:

- PROVIDE TIE LOCK ON BREAKER.
- PROVIDE AFCI CIRCUIT BREAKER
- PROVIDE AFCI BREAKER IF EQUIPMENT IS PLUG-IN TYPE

PANEL: GA									
NOTE	DESCRIPTION	BRKR	CCT	PHASE	CCT	BRKR	DESCRIPTION	NOTE	
2	UTILITY ROOM CRAWLSPACE RECEPTACLE	1/20	1	A	2	1/15	CRAWLSPACE LIGHTS, MAIN FLOOR LIGHTS, SMOKE/CO ALARM	1	
3	DHW HEATER H-1, P-3	1/15	3	B	4	1/15	EXTERIOR, SECOND FLOOR LIGHTS		
3	DHW HEATER H-2, P-4	1/15	5	A	6	1/15	MECH ROOM RECEPTACLE		
	P-2, P-7, P-8	1/15	7	B	8	1/15	SEWAGE INDICATOR LIGHTS, CONTROLS		
	P-6	1/15	9	A	10	1/15	ARCTIC VENT HEAT TRACE	3	
	P-9	1/15	11	B	12	1/30	P-1	4	
	KITCHEN COUNTER PLUG	1/20	13	A	14	1/15	P-10		
2	DEEP FREEZER RECEPTACLE	1/15	15	B	16	1/15	SPARE	2	
	FRIDGE	1/15	17	A	18	1/15	SPARE		
			19	B	20	1/15	SPARE		
			21	A	22				
			23	B	24				

ELECTRICAL DETAILS
REFER TO SINGLE LINE & CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.

PANEL NOTES:

- PROVIDE TIE LOCK ON BREAKER.
- PROVIDE AFCI CIRCUIT BREAKER
- PROVIDE AFCI BREAKER IF EQUIPMENT IS PLUG-IN TYPE
- ALLOW FOR CONVERSION OF THIS BREAKER TO 2P15A IF REVISED BY MECHANICAL. COORDINATE WITH MECH.

PANEL: B									
NOTE	DESCRIPTION	BRKR	CCT	PHASE	CCT	BRKR	DESCRIPTION	NOTE	
	RANGE	2/40	1	A	2	1/15	ENTRY, STORAGE PLUGS, RH-1	2	
	DRYER	2/30	3	B	4	1/15	DINING & LIVING ROOM OUTLETS	2	
	KITCHEN COUNTER PLUG	1/20	9	A	10	1/15	MAIN FLOOR BEDROOM OUTLETS	2	
2	SPARE	1/15	11	B	12	1/20	MAIN AND SECOND HALLWAYS AND STAIR	2	
	PV INVERTER	2/30	13	A	14	1/20	ERV-1	3	
	DISHWASHER	1/15	15	B	16	1/15	WASHING MACHINE	2	
	MAIN FLOOR BATHROOM	1/15	19A	B	20	1/15	MICROWAVE	2	
	SECOND FLOOR BATHROOM	1/15	19B	B	20	1/15	MAIN & SECOND FLR BEDROOM OUTLETS	2	
	FUTURE EV CHARGING STATION	2P40	21	A	22	2/40	EXTERIOR DECK PLUGS	2	
2	SPARE	1/15	25	A	26	2/40	FUTURE COOKTOP	2	
	SPARE	1/15	27	B	28	2/40	SURGE PROTECTION DEVICE	2	
2	SPARE	1/15	29	A	30	1/15	TELECOM RECEPTACLE	3	
	SPARE	1/15	31	B	32	1/15	P-11, P-5	3	
	SPARE	1/15	33	A	34				
	SPARE	1/15	35	B	36				
2	EXTERIOR PARKING OUTLETS	2/15	37	A	38	2/30	PANEL GB		
	SPARE		39	B	40				

ELECTRICAL DETAILS
REFER TO SINGLE LINE & CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.

PANEL NOTES:

- PROVIDE TIE LOCK ON BREAKER.
- PROVIDE AFCI CIRCUIT BREAKER
- PROVIDE AFCI BREAKER IF EQUIPMENT IS PLUG-IN TYPE

PANEL: GB									
NOTE	DESCRIPTION	BRKR	CCT	PHASE	CCT	BRKR	DESCRIPTION	NOTE	
2	UTILITY ROOM CRAWLSPACE RECEPTACLE	1/20	1	A	2	1/15	CRAWLSPACE LIGHTS, MAIN FLOOR LIGHTS, SMOKE/CO ALARM	1	
3	DHW HEATER H-1, P-3	1/15	3	B	4	1/15	EXTERIOR, SECOND FLOOR LIGHTS		
3	DHW HEATER H-2, P-4	1/15	5	A	6	1/15	MECH ROOM RECEPTACLE		
	P-2, P-7, P-8	1/15	7	B	8	1/15	SEWAGE INDICATOR LIGHTS, CONTROLS		
	P-6	1/15	9	A	10	1/15	ARCTIC VENT HEAT TRACE	3	
	P-9	1/15	11	B	12	1/30	P-1	4	
	KITCHEN COUNTER PLUG	1/20	13	A	14	1/15	P-10		
2	DEEP FREEZER RECEPTACLE	1/15	15	B	16	1/15	SPARE	2	
	FRIDGE	1/15	17	A	18	1/15	SPARE		
			19	B	20	1/15	SPARE		
			21	A	22				
			23	B	24				

ELECTRICAL DETAILS
REFER TO SINGLE LINE & CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.

PANEL NOTES:

- PROVIDE TIE LOCK ON BREAKER.
- PROVIDE AFCI CIRCUIT BREAKER
- PROVIDE AFCI BREAKER IF EQUIPMENT IS PLUG-IN TYPE
- ALLOW FOR CONVERSION OF THIS BREAKER TO 2P15A IF REVISED BY MECHANICAL. COORDINATE WITH MECH.

MECHANICAL EQUIPMENT SCHEDULE

DESCRIPTION	LOCATION	SPECIFICATIONS										DISCONNECT		CONTROLS		FEEDER	NOTES						
		HORSE POWER	LOAD (KW)	FLA (A)	MCA (A)	MOP (A)	VOLTAGE (V)	PHASE	FIRE ALARM	EMERGENCY	SUPPLIED	INSTALLED	SUPPLIED	INSTALLED	CONNECTED			INSTALLED	TYPE	FED FROM	BREAKER		
HEATING & VENTILATION																							
ERV-1	TempEff ERV RGSF-K	Mechanical Room	-	0.54	-	-	-	120	1	-	-	-	E	E	E	M	M	M	INT	UNIT	1P15	2C#14 CU +BOND NMD90	COORDINATE CONNECTION ON SITE (REC: HARDWIRED)
RH-1	Kitchen range hood	Kitchen	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	ON/OFF	UNIT	1P15	2C#14 CU +BOND NMD90	
AFV-1	Air flow Valve	WC Main	-	-	-	-	-	24	-	-	-	-	M	M	M	M	M	M	-	UNIT	1P15	2C#14 CU +BOND NMD91	
AFV-2	Air flow Valve	WC Second	-	-	-	-	-	24	-	-	-	-	M	M	M	M	M	M	-	UNIT	1P15	2C#14 CU +BOND NMD92	
AFV-3	Air flow Valve	Kitchen	-	-	-	-	-	24	-	-	-	-	M	M	M	M	M	M	-	UNIT	1P15	2C#14 CU +BOND NMD93	COORDINATE WITH MECH TO PROVIDE 120V CONTROL POWER TO 24V TRANSFORMER.
CD-1	Control Dampers	Crawlspace	-	-	-	-	-	24	-	-	-	-	M	M	M	M	M	M	-	UNIT	1P15	2C#14 CU +BOND NMD94	
CD-2	Control Dampers	Crawlspace	-	-	-	-	-	24	-	-	-	-	M	M	M	M	M	M	-	UNIT	1P15	2C#14 CU +BOND NMD95	
PLUMBING																							
H-1	DHW Heater	Mechanical Room	1/8 Hp	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	COORDINATE CONNECTION ON SITE (REC: HARDWIRED)
H-2	DHW Heater	Mechanical Room	1/8 Hp	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	COORDINATE CONNECTION ON SITE (REC: HARDWIRED)
PUMPS																							
P-1	DCW Pressure Pump	Crawlspace	0.75	0.2	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P30	2C#10 CU +BOND NMD90	TEMPERATURE CONTROL, ALLOW FOR 2P15A BREAKER
P-2	DHW R pump	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P-3	Primary heating pumps	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P-4	Primary heating pumps	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P-5	Secondary zone heating pumps	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P-6	Secondary zone heating pumps	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P-7	Secondary zone heating pumps	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P-8	Secondary zone heating pumps	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P-9	Secondary zone heating pumps	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	TEMPERATURE CONTROL
P10	Glycol fill pump	Mechanical Room	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD90	PROVIDE RECEPTACLE
P11	Condensate Pump	Crawlspace	frac	-	-	-	-	120	1	-	-	-	E	E	E	M	M	M	DISC	UNIT	1P15	2C#14 CU +BOND NMD91	LEVEL CONTROL
OTHER																							
HT-1	ARCTIC VENT HEAT TRACE	-	-	0.3	-	-	-	-	-	-	-	-	-	E	E	E	E	E	E	UNIT	1P15	2C#14 CU +BOND NMD90	ALLOW FOR GROUND FAULT RECEPTACLE

NOTES

- COORDINATE AND CONFIRM SIZE, LOCATION, MOUNTING HEIGHT, STARTER, CONTROL AND WIRING REQUIREMENTS OF FOR ALL MECHANICAL EQUIPMENT PRIOR TO ORDERING ASSOCIATED EQUIPMENT.
- REVIEW MECHANICAL DRAWINGS AND COORDINATE WITH MECHANICAL CONTRACTOR TO CONFIRM ALL INFORMATION.
- REFER TO PANEL SCHEDULES FOR CIRCUIT NUMBERS.

STARTER ABBREVIATIONS
FNVR - FULL VOLTAGE NON REVERSING
INT - INTEGRAL TO UNIT
HOA - HAND-OFF-AUTO
MAG - MAGNETIC MOTOR STARTER
MMS - MANUAL MOTOR STARTER
MPS - MOTOR PROTECTION SWITCH
R - RELAY/CONTACTS
VFD - VARIABLE FREQUENCY DRIVE
BRK - BREAKER
SS - SOFT STARTER

CONTROL DEVICES
BAS - BUILDING AUTOMATION SYSTEM
DDC - DIRECT DIGITAL CONTROL
DS - DUCT STAT
FS - FLOAT SWITCH
H - HUMIDISTAT
PS - PRESSURE SWITCH
SW - MANUAL SWITCH
TC - TIME CLOCK
TSTAT - THERMOSTAT
ASTAT - AQUASTAT
RSTAT - REVERSE ACTING TSTAT

ABBREVIATIONS
D/S - DUTY/STANDBY OPERATION
L/L - LEAD/LAG OPERATION
SIMPL - SIMPLEX OPERATION
CONT - CONTINUOUS OPERATION
R - RELAY/CONTACTS
PL - PILOT LIGHT

DIVISION
M - MECHANICAL
E - ELECTRICAL
C - VARIES WITH SUPPLIER

LUMINAIRE SCHEDULE

TYPE	GENERAL DESCRIPTION	LUMEN OUTPUT	CRI	COLOR TEMPERATURE	MOUNTING	VOLTS (V)	WATTS (W)	NOTES / OPTIONS
F01	DINING ROOM LIGHT DMF DCC LED CYLINDER - DCC-C-S-M-4-D-10-G-0-00-0-27-B-T-00-RBW OR SENSO 693 A90 27 10 01 951 01 00 01 DIM 120	1000	90	2700K	PENDANT	120	12	FINAL PENDANT LENGTH AND COLOR OF FIXTURES TO BE CONFIRMED PHASE DIMMING COMPATIBLE
F02	UNDERCABINET LIGHTS U TECHNOLOGY MIKRA SERIES - UT-CLS-R-BK-27K OR ELITE LED HU 41 240L 27K 90+ BK	200	90	2700K	UNDER CABINET	120	3	PHASE DIMMING COMPATIBLE
F03	WAFER LIGHTS DMF - DRD5S-4-R-10-9-27-DF OR ELITE RL575 900L DIMTR 120 27K 90+ WH	1000	90	2700K	RECESSED	120	12	PHASE DIMMING COMPATIBLE
F04	LED FLUSH LUMINAIRE OMSD1 LED 18 2000L DIMTR 120 27 90	~2400	90	2700K	FLUSH	120	~30W	PHASE DIMMING COMPATIBLE
F05	KITCHEN PENDANT LIGHTS DMF DCC LED CYLINDER - DCC-C-S-M-4-D-10-F-0-00-0-27-B-T-00-R OR SENSO 695 A90 645 27 10 00 01 951 01 00 01 DIM 120	1000	90	2700K	PENDANT	120	12	FINAL PENDANT LENGTH AND COLOR OF FIXTURE TO BE CONFIRMED PHASE DIMMING COMPATIBLE
F06	BATHROOM VANITY LIGHT FRICI WALL - W93-21-LI-A-U-O-JB-WH OR LUMINII EXPV 22 LL72VHO 27K F SA SURFACE STRIP 1219MM	1520-1800	90	2700K	WALL	120	12,16	PHASE DIMMING COMPATIBLE
F07A	U TECHNOLOGY - UT-LLW-4FT-36W-30K OR ORACLE LIGHTING 4 OEC LED 3000/4000/5000L DIM10 MVOLT 30K 85	3000/4000/5000	80	3000K	SURFACE	120	36	ADJUSTABLE LUMEN OUTPUT
F08	EXTERIOR WALL FIXTURE C CATELYA (GLASS FIXTURE) BLACK, MOTION SENSING, DUSK TO DAWN PHOTOCELL, WALL SONCE, A19 BASE PROVIDE 60W EQUIVALENT LED BULB (COMMERCIAL TYPE BULB, RATED FOR COLD LOCATIONS)	650	80	3000K	WALL	120	8	
F09	CLOSET FIXTURE LEVITON 9864-LED OR ELITE RL417 600L-12							



A	ISSUED FOR TENDER	22/01/26
Revision/Revision	Description/Description	Date/Date

PARKS CANADA AGENCY

Project title/Titre du projet

GREENING NORTHERN HOUSING - POND INLET

Consultant Signature Only

Designed by/Concept par
E.L.

Drawn by/Dessine par
E.L.

PWGSC Project Manager/Administrateur de Projets TPSCG
A.O.

PWGSC, Regional Manager, Architectural and Engineering Services /
Gestionnaire régionale, Services d'architectural et de génie, TPSCG

Drawing title/Titre du dessin

SITE GRADING PLAN
Scale: AS SHOWN

Project No./No. du projet 5P420-20-0171	Sheet/Feuille C1.01 1 OF 1	Revision no./ La Révision no. A
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- NOTES:
1. CONTOURS SHOWN ARE APPROXIMATE BASED ON AVAILABLE INFORMATION FROM THE GOVERNMENT OF NUNAVUT. CONTRACTOR TO VERIFY ELEVATIONS IN THE FIELD.
 2. MINIMUM 4% SLOPE AWAY FROM THE BUILDING WITHIN 2 m OF THE BUILDING PERIMETER.
 3. EMBANKMENT MATERIAL AND GRANULAR BASE TO BE SUPPLIED BY CONTRACTOR.
 4. SOIL STRIPPING TO BE REPLACED ON ALL SURFACES UNLESS OTHERWISE NOTED.
 - 4.1. IN THE EVENT OF A STRIPPING MATERIAL DEFICIT, STEEP SLOPES SHALL BE PRIORITY.
 5. REFER TO STRUCTURAL DRAWINGS FOR GRANULAR FOUNDATION UNDER BUILDING.

1 PLAN 1:100



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SAVE DATE: 11/7/2022 10:02:37 AM SAVED BY: LATOSE
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